



TOWN OF MELBOURNE BEACH

PLANNING & ZONING BOARD MEETING

TUESDAY, JANUARY 6, 2026

AGENDA PACKET

Town of Melbourne Beach

PLANNING & ZONING BOARD MEETING TUESDAY, JANUARY 6, 2026 @ 6:30 PM COMMUNITY CENTER – 509 OCEAN AVENUE

PUBLIC NOTICE AGENDA

Board Members:

Chairman David Campbell
Vice-Chairman Kurt Belsten
Member April Evans
Member Dan Harper
Member Gabor Kishegyi

Alternate Board Members

Alternate Todd Albert
Alternate Jason Judge

Staff Members:

Interim Town Manager Lisa Frazier
Town Clerk Amber Brown
Building Official Jeff Parsons

1. **CALL TO ORDER**
2. **ROLL CALL**
3. **APPROVAL OF MINUTES**
 - A. December 2, 2025 minutes – Pages 3-6
4. **NEW BUSINESS**
 - A. Site plan approval for 1806 Pine – new home – Pages 7-72
 - B. Site plan approval for 2003 Oak – addition – Pages 73-95
 - C. Appointment of the 2026 Chairperson – Page 96
 - D. Appointment of the 2026 Vice Chairperson – Page 97
 - E. 2026 Planning and Zoning Board meeting schedule and enabling act ordinance – Pages 98-103
5. **PUBLIC HEARINGS**
6. **OLD BUSINESS**
 - A. Discussion on the proposed Chapter 9A: Landscaping and Trees ordinance – Pages 104-129
7. **PUBLIC COMMENT**

Please limit comments to items that are not on the agenda
8. **REPORTS: TOWN MANAGER AND TOWN ATTORNEY**
9. **ITEMS TO BE ADDED TO THE AGENDA FOR FUTURE MEETINGS**
10. **ADJOURNMENT**

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, THE TOWN HEREBY ADVISES THE PUBLIC THAT: In order to appeal any decision made at this meeting, you will need a verbatim transcript of the proceedings. It will be your responsibility to ensure such a record is made. Such person must provide a method for recording the proceedings verbatim as the Town does not do so. In accordance with the Americans with Disability Act and Section 286.26, Florida Statutes, persons needing special accommodations for this meeting shall, at least 5 days prior to the meeting, contact the Office of the Town Clerk at (321) 724-5860 or Florida Relay System at 711.

Planning and Zoning Meeting

Section: Approval of Minutes

Meeting Date: January 6, 2026

From: Town Clerk Amber Brown

RE: Approval of the December 2, 2025 Minutes

Background Information:

Approval of the December 2, 2025, Planning and Zoning Board minutes.

Town of Melbourne Beach

MINUTES

PLANNING & ZONING BOARD MEETING

MONDAY, DECEMBER 2, 2025 @ 6:30 PM

COMMUNITY CENTER – 509 OCEAN AVENUE

Board Members:

Chairman David Campbell
 Vice Chairman Kurt Belsten
 Member April Evans
 Member Dan Harper
 Member Gabor Kishegyi

Alternate Board Members

Alternate Todd Albert
 Alternate Jason Judge

Staff Members:

Interim Town Manager Lisa Frazier
 Town Clerk Amber Brown

1. CALL TO ORDER

Chairman David Campbell called the meeting to order at 6:30 p.m.

2. ROLL CALL

Town Clerk Amber Brown conducted the roll call.

Present:

Chairman David Campbell
 Vice Chairman Kurt Belsten
 Member April Evans
 Member Dan Harper
 Member Gabor Kishegyi
 Alternate Todd Albert
 Alternate Jason Judge

Staff Present:

Interim Town Manager Lisa Frazier
 Town Planner Corey O’Gorman
 Building Admin Steve Freeman
 Town Clerk Amber Brown

3. APPROVAL OF MINUTES

A. November 3, 2025 minutes

Vice Chairman Kurt Belsten made a motion to approve; Member April Evans seconded; Motion carried 5-0.

4. NEW BUSINESS

A. Site plan approval for 305 Oak St. – new home

Member Dan Harper spoke about asking for the landscaping plan which was provided.

Member Dan Harper made a motion to approve;

Member April Evans asked about clarification from Corey O’Gorman regarding finished floor elevation and total elevation.

Town Planner Corey O’Gorman confirmed that yes, the elevations were reviewed pursuant to the amended ordinance and are conforming.

Member Gabor Kishegyi seconded; Motion carried 5-0.

B. Site plan approval for 206 Riverside Dr. – new home

Member Dan Harper spoke about his confirmation of everything being in compliance for this residence.

Member April Evans asked if approval contingent on approval from the Town Engineer is still a valid recommendation.

Interim Town Manager Lisa Frazier confirmed that the Town Engineer only approves drainage calculations.

Member April Evans made a motion to approve contingent on approval from the Town Engineer; Vice Chairman Kurt Belsten seconded; Motion carried 5-0.

5. PUBLIC HEARINGS

6. OLD BUSINESS

7. PUBLIC COMMENT

8. REPORTS: TOWN MANAGER AND TOWN ATTORNEY

Interim Town Manager Lisa Frazier introduced Steve Freeman as the Town’s new Building Admin.

Building Admin Steve Freeman spoke about his professional background.

Interim Town Manager Lisa Frazier spoke about our Building Official and Inspector still being outsourced from CAP.

Interim Town Manager Lisa Frazier spoke about the responsibilities of each party involved in the site plan review process and a discussion ensued.

9. ITEMS TO BE ADDED TO THE AGENDA FOR FUTURE MEETINGS

10. ADJOURNMENT

Member April Evans motioned to adjourn; Vice Chairman Kurt Belsten seconded; Motion carried 5-0.

The meeting adjourned at 6:54 p.m.

ATTEST:

David Campbell
Chairman

Amber Brown
Town Clerk

Planning and Zoning Meeting

Section: New Business

Meeting Date: January 6, 2026

From: Building Department

RE: Site Plan Approval for 1806 Pine St. – New Home

Background Information:

The Town received plans for a new home at 1806 Pine St.

Recommendation:

Approve the site plan for 1806 Pine St.

Attachments:

- Town Planner Letter – Pages 8-10
- Town Engineer Letter – Page 11
- Letter of Transmittal – Page 12
- Development Application – Pages 13-16
- Project Narrative – Pages 17-21
- Warranty Deed – Pages 22-23
- BCPAO Property Details – Page 24
- MelBeach Investments, LLC SunBiz Report – Page 25
- Original Plans and Survey – Pages 26-36
- Property Plat – Page 37
- Stormwater Calculations Report – Pages 38-64
- Geotechnical Engineering Evaluation – Pages 65-72

Site Plan Review

Applicable Codes:

**Town of Melbourne Beach Land Development Code
Current Florida Building Code**

Date: January 6, 2026

Owner: MelBeach Investments, LLC

Owner Address: 1806 Pine Street, Melbourne Beach, FL 32951

Site Address: 1806 Pine Street, Melbourne Beach, FL 32951

Parcel ID: 28-38-07-50-* -1

Zoning: 2RS

Proposed Project: Demolition of existing single-family home and construction of new single-family home

References: Town of Melbourne Beach Code of Ordinances:
7A-32 Single-Family Residential District
7A-51.1, Site Plan Approval For Single-Family Residential Districts

Request: Site Plan Approval in Accordance with 7A-51.1

Staff Review: The property lies in Zoning District 2RS

- 1) Project is the demolition of the existing single-family home and construction of a new two-story single-family home with 4,238 AF under air, plus garage and porches totaling 6,766 SF.
- 2) The Building Lot Zoning District requirements of min. lot area, width and depth.
Lot area is 20,766 sq. ft. (min. 11,250 sq. ft.)
Lot width is +/- 90 ft. (min. 90 ft. measured from the front building line)
Lot depth is +/- 170 ft. (min. 100 ft.)
- 3) Lot coverage has a maximum of 30% for principal structure.
Lot coverage per plan is 25.8%
Footprint of Primary Structure is 5,358 SF.
Max allowed for Primary Structure is 6,229.8 sq. ft. for Lot Area of 20,766 sq. ft.
Minimum pervious area per lot is 30%. Pervious area is 59.51.
- 4) Structure maximum height for zoning district is 28 ft.
The proposed height provided is 27.67' from FFE.
Flood Zone: X/AE-4 per survey

- 5) Zoning District Setback requirements:
 Proposed Primary Structure Front Setback: 26.4' (min. 25'.)
 Proposed Primary Structure Rear Setback: 28' 4" (min. 25')
 Proposed Primary Structure West Side Setback: 15' 2" ft. (min. 15')
 Proposed Primary Structure East Side Setback 15.3' ft. (min. 25')
- 6) Sediment and Erosion control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.
- 7) On-site Storm water Retention Control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.
- 8) Town Engineer will submit a review of the drainage plan per Ordinance 2019-06. The Town Engineer will require a final inspection before a Certificate of Occupancy will be issued. This applies to new home construction and construction values greater than 50% of the existing structure. Minimum landscaping standards will be met.
- 9) The applicant has provided a landscape plan that proposes preservation of seven (7) existing trees and installation of twenty (20) trees and palms including Royal Poincianas, Live Oaks, Montgomery Palms and Green Malayan Coconut Palms.

Based on the above review, I find the proposed site plan for the referenced property is in compliance with The Town of Melbourne Beach Code of Ordinances.



Corey W. O'Gorman
 Town Planner

2003 Oak Street

IMPERVIOUS		PERVIOUS	
Primary Structure	5,358	Open areas	12,358
Pool & Deck	1,350		
Driveway	1,500		
Accessory Bldg			
Concrete areas	200		
Total Paved Area	8.408		
<hr/>		<hr/>	
Total Lot Area	20,766	Total Lot Area	20,000
<hr/>		<hr/>	
% IMPERVIOUS	40.49%	% PERVIOUS	59.51%



December 3, 2025

Via E-mail

Mr. Jeffrey Parsons
Town of Melbourne Beach
507 Ocean Avenue
Melbourne Beach, FL 32951
E-mail address: building@melbournebeachfl.org

**Re: *Site Plan Review – 1806 Pine Street*
 *B.S.E. File #11440.100.38***

Dear Jeffrey:

We have reviewed the above-referenced plan and calculations (received by e-mail on December 2, 2025) and find that they meet the Town Code, we therefore recommend approval.

Due to recent occurrences, we request that the Engineer of Record review the as-built plans for compliance prior to the applicant requesting Town Engineer sign off. This will save time and expense for the applicant as well as the Town.

Should you have any questions, feel free to contact me.

Very truly yours,

Scott M. Glaubitz, P.E., P.L.S

Scott M. Glaubitz, P.E., P.L.S.
President
B.S.E. Consultants, Inc. an LJA company

SMG/alm
11440.100.38.town.corr.25-s6061.dec

LETTER OF TRANSMITTAL

To: Town of Melbourne Beach - Building Department

Date: 12/02/25

Address: 507 Ocean Avenue
Melbourne Beach, FL 32951

Re: Site Plan Application - Submission
(1806 Pine Street, Melbourne Beach, FL 32951)

Attn: All Relevant Departments

From: MelBeach Investments, LLC - Corey Runte, Owner

Project Address: 1806 Pine Street, Melbourne Beach, FL 32951

List of Transmitted Documents:

COPIES	DATE	DESCRIPTION
1	12/02/25	Electronic/Digital Copy of All Required Documents
1	12/02/25	Complete/Executed Site Plan Application & Check Payment for Fees Due
2	12/02/25	Signed & Sealed Surveys
2	12/02/25	Full Size Sets of Professionally Prepared Plans in compliance with Ord. 2019-06
10	12/02/25	11x17 Copies of all documents Required per Site Plan Application

Received By (Name & Title):

Signature:

Date:

Submitted By (Name & Title): MelBeach Investments, LLC - Corey Runte, Owner

Date: 12/02/25

Signature:



TOWN OF MELBOURNE BEACH DEVELOPMENT APPLICATION

I. SUBMITTAL REQUIREMENTS:

- ✓ 1. Fees per current schedule.
- ✓ 2. Deed to property.
- ✓ 3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting. 12/01/25
- ✓ 4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
- ✓ 5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

II. REQUEST:

- | | |
|--|---|
| <ul style="list-style-type: none"> <input type="checkbox"/> Land Use Plan Amendment <input type="checkbox"/> Special Exception <input type="checkbox"/> Variance <input checked="" type="checkbox"/> Site Plan Review Single Family (1RS, 2RS, 3RS) <input type="checkbox"/> Site Plan Review Commercial (6B, 7C, 8B, 9I) | <ul style="list-style-type: none"> <input type="checkbox"/> Rezoning <input type="checkbox"/> Coastal Construction Variance <input type="checkbox"/> Appeal (Application must be filed within 30 days) <input type="checkbox"/> Site Plan Review Multifamily (4RM, 5RMO) <input type="checkbox"/> Amendment to the Land Development Code <input type="checkbox"/> Other (specify) _____ |
|--|---|

III. PROPERTY INFORMATION:

General Location: Harbor East Sec 1 Lot 10

Address: 1806 Pine Street, Melbourne Beach, FL 32951

Parcel Number(s): 28-38-07-50-* - 10

Area (in acreage): 0.47 Acres Area (in square feet): 20,766.00 SF

Current Zoning: 2-RS Proposed Zoning: 2-RS

Current Future Land Use: Single Family Proposed Future Land Use: Single Family

Brief Description of Application: New Construction of Single-Family Residence

Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable): 12/01/25

IV. APPLICANT INFORMATION:

Property Owner

Name: MelBeach Investments, LLCPhone: 321-368-5428Address: 1806 Pine StreetFax: N/AMelbourne Beach, FL 32951Email: crunte@cgcfloida.com

Applicant (if other than property owner)

Name: _____

Phone: _____

Address: _____

Fax: _____

Email: _____

V. OWNER AUTHORIZATION:*

The undersigned hereby affirms the following:

1. That I/we are the fee simple title owner/contract purchaser (circle one) of the property described in this application.
2. That I/we have read and understands the entire application and concurs with the request.
3. That I/we have appointed the Applicant to represent the application, and empowers the Applicant to accept any and all conditions of approval imposed by the Town of Melbourne Beach.

Signature: Date: 11/26/25Print Name: Corey RunteTitle: Manager

*Must sign in front of notary.

State of Florida

County of Brevard.

The foregoing application is acknowledged before me
 this 26th day of NOVEMBER, 2025, by COREY RUNTE,
 who is/are personally known to me, or who has/have produced _____
 as identification.


 Signature of Notary Public, State of Florida



VI. APPLICANT CERTIFICATION:*

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

Signature:  Date: 11/26/25

Print Name: Corey Runte Title: Manager

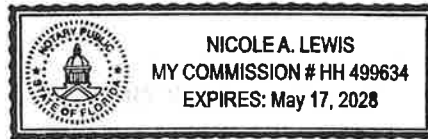
*Must sign in front of notary.

State of Florida

County of Brevard.

The foregoing application is acknowledged before me
this 26th day of NOVEMBER, 2025, by COREY RUNTE,
who is/are personally known to me, or who has/have produced _____
as identification.


Signature of Notary Public, State of Florida



VII. PROJECT DESCRIPTION:

Describe Application: New Construction of 2-Story Single Family Residence, Demolition of
Existing Dilapidated 1-Story Single Family Residence. New Residence is 4,238 SF.

Provide attachment if more space is needed.

Describe Existing Conditions: Existing Dilapidated 1-Story Single Family Residence.

Provide attachment if more space is needed.

Site Plan for Single Family Development

A site plan must be reviewed and evaluated by the Town Engineer, Building Official and or Zoning Official and Planning and Zoning Board and approved by the Town Commission. The applicant shall provide the following in support of their application for site plan approval of a single family home:

1. Narrative description of proposed improvements and demolitions.
2. Two (2) Sealed Surveys of the existing conditions prepared by a professional surveyor. All elevations should be NGVD/DAVD or Comparable for FEMA reference. (Include Lot Dimensions, Square footage & Coverage Percentage)
 - a. All existing structures (including but not limited to outbuildings, sheds, pools, etc), major features, trees and fences shall be fully dimensioned, including the height of all structures and the distance between principal and accessory structures on site and the distance between structures and driveways, and property or lot lines.
3. Two (2) Professionally prepared plans in compliance with Ordinance 2019-06 showing the following:
 - a. Name, location, owner, and designer of the proposed development and the intended use
 - b. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties
 - c. Date, north arrow, and graphic scale (not less than one inch equals 20 feet)
 - d. Location of all property lines, existing streets adjacent to the subject property, easements, as well as proposed driveways and general lot layout
 - e. All existing and/or proposed structures, major features, and fences shall be fully dimensioned, including the height of all structures and the distance between principal and accessory structures on site and the distance between structures and driveways, and property or lot lines
 - f. Site data providing all information needed to confirm compliance with zoning regulations including "required" and "provided" information:
 - i. Proposed principal use and/or any proposed accessory uses
 - ii. Lot size and dimensions
 - iii. Lot coverage
 - iv. Proposed living area square footage (e.g., square footage under air), and square footage of any other spaces including garage, covered entries, covered porches, screen rooms, etc.
 - v. Number of enclosed parking spaces
 - vi. Setbacks from all property lines
 - vii. Number of stories
 - viii. Height of structure
 - ix. Floor plan – a fully dimensioned floor plan shall be provided depicting all existing and/or proposed spaces corresponding to the square footages on the site data breakdown above.
 - x. Architectural elevations of each building façade professionally prepared plan drawn to scale and depicting the height dimension of the proposed structure, construction, or expansion or redevelopment thereof.
 - xi. Landscaping & irrigation plan
4. Drainage Site Plan showing flow paths and retention areas to meet certification requirements. (3A-80 & 7A-51.1)
5. Ten (10) 11X17 Complete sets of plans (all information as outlined in item 3 above) including a copy of the survey both existing and proposed and the Drainage Site Plan.

1806 PINE STREET RESIDENCE

1806 Pine Street, Melbourne Beach, FL 32951



OWNER

MelBeach Investments, LLC
Corey Runte & Krista Runte

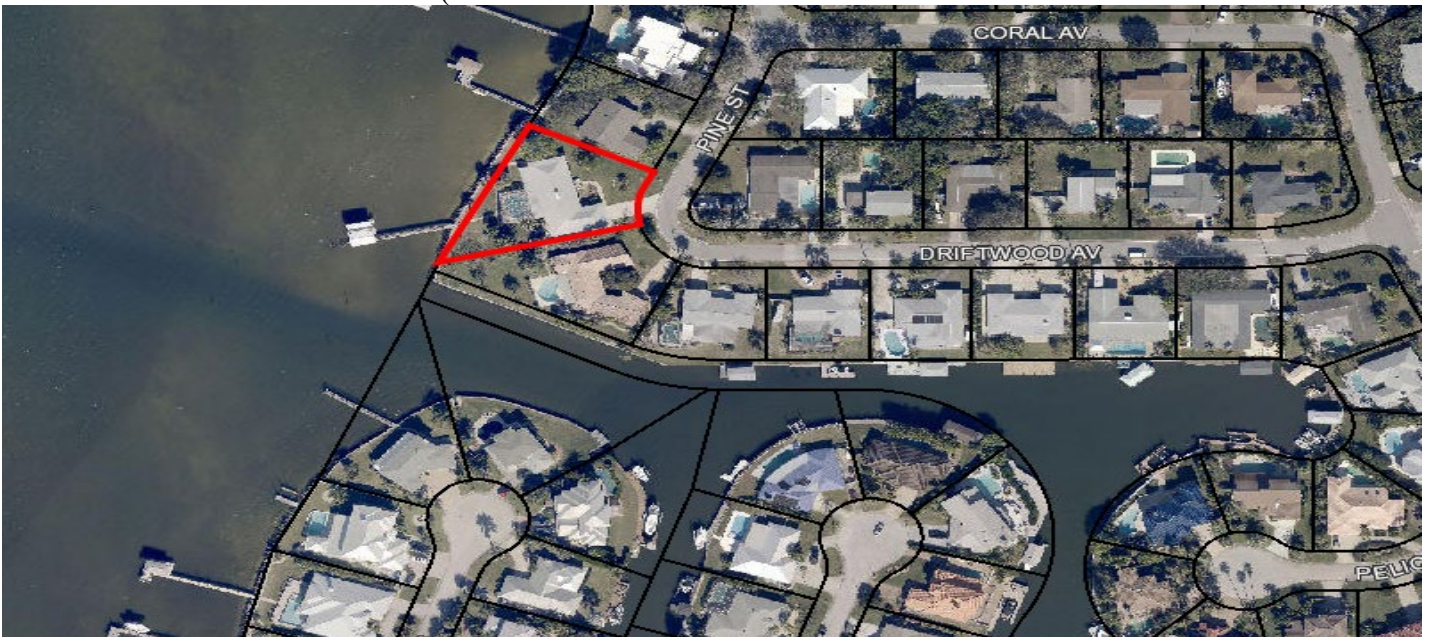
PROJECT INFORMATION

1806 Pine Street, Melbourne Beach, FL 32951

Legal Description: LOT 10, HARBOR EAST SECTION ONE, ACCRODING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 17, PAGE 90, PUBLIC RECORDSOF BREVARD COUNTY, FLORIDA

Parcel ID: 28-38-07-50-*-10

Tax Account Number: 2847708 (Per BCPAO



ARCHITECT

Mitz Design Group, Inc.
 Alex Mitz – President
 587 West Eau Gallie Blvd. Suite 201 Melbourne FL. 32935
alex@mitzdesigngroup.com
 321-745-8609

STRUCTURAL ENGINEER

MK Structural Engineering, Inc.
 Mike Kalajian – President
 587 West Eau Gallie Blvd. Suite 200 Melbourne FL. 32935
mike@mkstructural.com
 321-600-0672

SURVEYOR

Kane Surveying, Inc.
 Joel A. Seymour – President
 505 Distribution Dr., Melbourne FL. 32904
kanesurveying@bellsouth.net
 321-676-0427

GEOTECHNICAL ENGINEER

KSM Engineering & Testing, Inc.
 Julie Keller – President
 11345 U. S. Highway 1, Sebastian, Florida 32958
julie@ksmengineering.net
 772-370-3545

PROJECT NARRATIVE

The 1806 Pine Street Residence is a single-family, coastal contemporary, two-story home located in Melbourne Beach, FL.. The main living areas and Owner's Suite is located on the first floor. The guest bedrooms are located on the second floor. The residence has (1) connected 3-car garage. There is an existing sea wall, dock, and lift which shall be preserved. The exterior of the residence features stucco, Hardie siding, and a standing seam aluminum metal roof. The new residence replaces an existing single-story single-family residence built in the late 60s. The existing structure will be donated to the MB Fire Department for training purposes prior to demolition. Unfortunately, due to substantial long-term foundation deficiencies and recent flood damage that are not economically or structurally feasible to remediate, the existing residence must be demolished

General Location::

Located on the west side of Pine Street, adjacent to the Indian River Lagoon, in Harbor East Sec1 Lot 10.

Legal Description: LOT 10, HARBOR EAST SECTION ONE, ACCRODING TO THE PLAT THEREOF,

AS RECORDED IN PLAT BOOK 17, PAGE 90, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA

General Lot Information:

Area (in acreage): 0.47 Acres

Area (in square feet): 20,766.00

Setback Lines:

- Front: 25'-0"
- Sides: 15'-0"
- Rear: 25'-0"

Zoning Classification: 2-RS (Single-Family Residential)

Lot Dimensions: Irregular Shaped Lot (Please refer to Survey & Site Plan for Precise Lot Dimensions)

General Project Information:

Proposed Use: Single-Family Residential

Number of Stories: 2

Garage Spaces: 3

Crown of Road: 3.65'

Finish Floor Elevation (Existing): 5.23'

Finish Floor Elevation (Proposed): 6.0'

Building Height (Proposed): 35'0 (27.67' A.F.F)

Lot Coverage - Principal Building Footprint: 25.8% (5,358.00 SF / 20,766.00 SF)

Other Lot Coverage Calculations – See below (Per Sheet C-1)

SITE DRAINAGE COVERAGE CALCULATIONS

<u>PROPOSED LOT COVERAGE</u>	<u>SF</u>	<u>ACRE</u>	<u>PERCENT</u>
IMPERVIOUS:	10,032	0.23	44%
PERVIOUS:	12,587	0.29	56%
TOTAL GROSS AREA:	20,766	0.47	100%

Area Tabulation:

Per Architectural Drawings

FIRST FLOOR LIVING	3,230 SF
SECOND FLOOR LIVING	1,008 SF
TOTAL LIVING	4,238 SF
3 CAR GARAGE	860 SF
ENTRY	226 SF
REAR COVERED PORCH	912 SF
MASTER PORCH	130 SF
GRAND TOTAL	6,366 SF

Landscaping Calculations:

Please refer to Sheet L-1 for the Landscape & Irrigation Plan provided by Trauger Consulting Engineers. Existing Trees are noted as well as annotated on the Survey. Unfortunately, there are very few existing trees, (specifically zero existing hardwood/canopy trees; i.e. Live Oak etc.), only palm trees and a Schefflera. We acknowledge and understand the importance of the landscape code and have provided a design that meets all criteria and requirements of the code. An Existing 2" Deep Artesian well shall be preserved & reused for irrigation along with code-required irrigation system featuring a New Hunter Irrigation Pump with Smart Programmable Digital Controls along with an automatic Rain Sensor.

LANDSCAPING CALCULATIONS:

Tree Requirement:

Plant One (1) Canopy Tree Per 2,000 SF of lot area. = 0.47 ACRES = 20766 SF = 10.4 TREES = 11 TREES

Existing Preserved Trees = 7 TREES = 2 CANOPY TREES + 2 EQUIVALENT CANOPY TREES

One (1) 24" Schefflera

One (1) 8" Fig Fruit Tree

Five (5) Existing Cabbage Palms = Equivalent to Two (2) Canopy Trees

Proposed Trees = 20 TREES = 4 CANOPY TREES + 3 EQUIVALENT CANOPY TREES

Two (2) Royal Poincianas

Two (2) Live Oaks

Three (3) Montgomery Palms = Equivalent to One (1) Canopy Trees

Thirteen (13) Green Malayan Coconut Palms = Equivalent To Three (2) Canopy Trees

Sincerely,

Alex Mitz – President, Mitz Design Group

Mike Kalajian – President, MK Structural Engineering, Inc.

Corey Runte – Owner, MelBeach Investments, LLC

Erin Trauger – Owner, Trauger Consulting Engineers

Joel A. Seymour – President, Kane Surveying, Inc.

Julie Keller – President, KSM Engineering & Testing, Inc.

Pre App Date: 12/01/25 (11:30AM) – COMPLETED

Submission Date: 12/02/25

Prepared by and return to:

Diegues & Stoller LLC
1928 South Patrick Drive
Indian Harbour Beach, FL 32937
321-802-3589
 File Number: **Gunthorpe to Me**
 Will Call No.:

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this **24th** day of **October, 2025** between **Sandra Diane Gunthorpe, a single woman, Individually and as Trustee, of the C.H. Gunthorpe and Lucy A. Gunthorpe Revocable Trust, dated the 27th day of July, 2018** whose post office address is **1806 Pine Street, Melbourne Beach, FL 32951**, grantor, and **Melbeach Investments, LLC, a Florida limited liability company**, whose post office address is **402 Riverview Lane, Melbourne Beach, FL 32951**, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of **TEN AND NO/100 DOLLARS (\$10.00)** and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Brevard County, Florida** to-wit:

Lot 10, Harbor East Section One, according to the map or plat thereof as recorded in Plat Book 17, Page 90, Public Records of Brevard County, Florida.

Subject to taxes for 2025 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2024**.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Witness Name: Paul A. Dieguez

Witness Address: 1928 S. Patrick Dr.
Indian Harbour Beach, FL 32937

Sarah Svendsen

Witness Name: Sarah Svendsen

Witness Address: 1928 South Patrick Dr.
Indian Harbour Beach, FL 32951

Sandra Diane Gunthorpe
Sandra Diane Gunthorpe, Individually and as Successor
Trustee

State of Florida
County of Brevard

The foregoing instrument was acknowledged before me by means of [X] physical presence or [] online notarization, this 23 day of October, 2025 by Sandra Diane Gunthorpe, Individually and as Successor Trustee of the C.H. Gunthorpe and Lucy A. Gunthorpe Revocable Trust, dated the 27th day of July 2018, who [] is personally known or [X] has produced a driver's license as identification.

[Notary Seal]



Sarah Svendsen

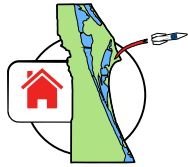
Notary Public

Printed Name:

Sarah Svendsen

My Commission Expires:

12/11/2026

**REAL PROPERTY DETAILS**
Account 2847708 - Roll Year 2025

Owners	C H GUNTHORPE & LUCY A GUNTHORPE REVOCABLE TRUST
Mailing Address	1806 PINE ST MELBOURNE BEACH FL 32951
Site Address	1806 PINE ST MELBOURNE BEACH FL 32951
Parcel ID	28-38-07-50-*10
Taxing District	34X0 - MELBOURNE BEACH
Exemptions	HEX1 - HOMESTEAD FIRST HEX2 - HOMESTEAD ADDITIONAL
Property Use	0110 - SINGLE FAMILY RESIDENCE
Total Acres	0.47
Site Code	0110 - RIVER FRONT
Plat Book/Page	0017/0090
Subdivision	HARBOR EAST SEC 1
Land Description	HARBOR EAST SEC 1 LOT 10

**VALUE SUMMARY**

Category	2025	2024	2023
Market Value	\$1,330,590	\$1,341,760	\$1,423,320
Agricultural Land Value	\$0	\$0	\$0
Assessed Value Non-School	\$561,990	\$546,360	\$530,450
Assessed Value School	\$561,990	\$546,360	\$530,450
Homestead Exemption	\$25,000	\$25,000	\$25,000
Additional Homestead	\$25,722	\$25,000	\$25,000
Other Exemptions	\$0	\$0	\$0
Taxable Value Non-School	\$511,268	\$496,360	\$480,450
Taxable Value School	\$536,990	\$521,360	\$505,450

SALES / TRANSFERS

Date	Price	Type	Instrument
01/27/2023	--	DC	9717/0898
07/27/2018	--	WD	8227/0661
02/28/1989	--	QC	2984/0919
03/01/1969	\$11,500	--	1070/0821

BUILDINGS**PROPERTY DATA CARD #1****Building Use:** 0110 - SINGLE FAMILY RESIDENCE

Materials		Details	
Exterior Wall:	STUCCO	Year Built	1969
Frame:	MASNRYCONC	Story Height	8
Roof:	ASPH/ASB SHNGL	Floors	1
Roof Structure:	HIP/GABLE	Residential Units	1
		Commercial Units	0
Sub-Areas		Extra Features	
Base Area (1st)	2,394	All Screen - 1 Story	1,235
Garage	678	Dock Roof - Metal	725
Open Porch	66	Paving - Stone	702
Total Base Area	2,394	Pool - Residential	1
Total Sub Area	3,138	Fireplace	1
		Spa - Residential Attached	1
		Paving - Stone	60
		Screen Enclosure	756
		Dock	946

2025 FLORIDA LIMITED LIABILITY COMPANY ANNUAL REPORT

DOCUMENT# L21000188552

Entity Name: MELBEACH INVESTMENTS LLC

Current Principal Place of Business:

402 RIVERVIEW LANE
MELBOURNE BEACH, FL 32951

Current Mailing Address:

402 RIVERVIEW LANE
MELBOURNE BEACH, FL 32951 US

FEI Number: 86-3673763

Certificate of Status Desired: No

Name and Address of Current Registered Agent:

RUNTE, COREY R.
402 RIVERVIEW LANE
MELBOURNE BEACH, FL 32951 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE: COREY R. RUNTE

02/06/2025

Electronic Signature of Registered Agent

Date

Authorized Person(s) Detail :

Title MGR
Name RUNTE, COREY R
Address 402 RIVERVIEW LANE
City-State-Zip: MELBOURNE BEACH FL 32951

Title MGR
Name RUNTE, KRISTA
Address 402 RIVERVIEW LANE
City-State-Zip: MELBOURNE BEACH FL 32951

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am a managing member or manager of the limited liability company or the receiver or trustee empowered to execute this report as required by Chapter 605, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: COREY RUNTE

MANAGER

02/06/2025

Electronic Signature of Signing Authorized Person(s) Detail

Date

Custom Design For

RUNTE RESIDENCE

1806 PINE STREET MELBOURNE BEACH FL. 32951
PLANS FOR PLANNING AND ZONING



PROJECT SUMMARY

PROJECT NAME : RUNTE RESIDENCE
PROJECT ADDRESS : 1806 PINE STREET
MELBOURNE BEACH FL. 32951
EXISTING USE : SINGLE FAMILY RESIDENCE
CONTRACTOR: TBD
APPLICABLE CODES

FLORIDA EXISTING BUILDING CODE: FBC 2023 8TH EDITION
FLORIDA BUILDING CODE: FBC 2023 8TH EDITION
MECHANICAL CODE : 2023
PLUMBING CODE : 2023
ELECTRICAL CODE : NEC 2023
FIRE CODE : FLORIDA FIRE PREVENTION CODE 2023
CONSTRUCTION TYPE: 5B

UTILITIES: CITY WATER/SEWER
AUTHORITY / JURISDICTION : TOWN OF MELBOURNE BEACH

SCHEDULE OF DRAWINGS

SHEET	DESCRIPTION
C/	COVER SHEET
A1	EXISTING FLOOR PLANS
A2	EXISTING ROOF PLAN
A3	EXISTING ELEVATIONS
A4	FIRST & SECOND FLOOR DEMO PLANS
A5	NEW FIRST FLOOR PLAN
A6	NEW SECOND FLOOR PLAN
A7	NEW ROOF PLAN
A8	NEW EXTERIOR ELEVATIONS
A9	NEW EXTERIOR ELEVATIONS
A10	BUILDING SECTIONS
A11	INTERIOR ELEVATIONS
E/	NEW FIRST & SECOND FLOOR ELEC. PLANS

WALL LEGEND

	NEW 4" OR 8" FRAME WALL
	NEW 8" MASONRY PARTITION

AREA TABULATION

FIRST FLOOR LIVING	3,230 SF
SECOND FLOOR LIVING	1,008 SF
TOTAL LIVING	4,238 SF
3 CAR GARAGE	860 SF
ENTRY	226 SF
REAR COVERED PORCH	912 SF
MASTER PORCH	130 SF
GRAND TOTAL	6,366 SF



RESIDENTIAL PLANNING & DESIGN
•587 WEST EAU GALLIE BLVD•
•SUITE 201 MELBOURNE FL. 32935•
•321-745-8609•
•ALEX@MITZDESIGNGROUP.COM•
•MITZDESIGNGROUP.COM•

JOB NO.	25-039
DESIGNED	AAM
DRAWN	AAM
CHECKED	AAM
SCALE	AS SHOWN
DATE	11.19.25

REVISIONS	BY	DATE

CUSTOM DESIGN FOR
RUNTE RESIDENCE

ADDRESS:
1806 PINE STREET
MELBOURNE BEACH FL. 32951

SHEET TITLE
COVER SHEET

THE DRAWINGS ARE THE PROPERTY OF MITZ DESIGN GROUP WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. COPY OR USE FOR OTHER PROJECTS IS PERMITTED ONLY BY WRITTEN CONTRACT WITH MITZ DESIGN GROUP. UNAUTHORIZED USE WILL BE PROSECUTED PURSUANT TO THE COPYRIGHT LAWS.

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A1



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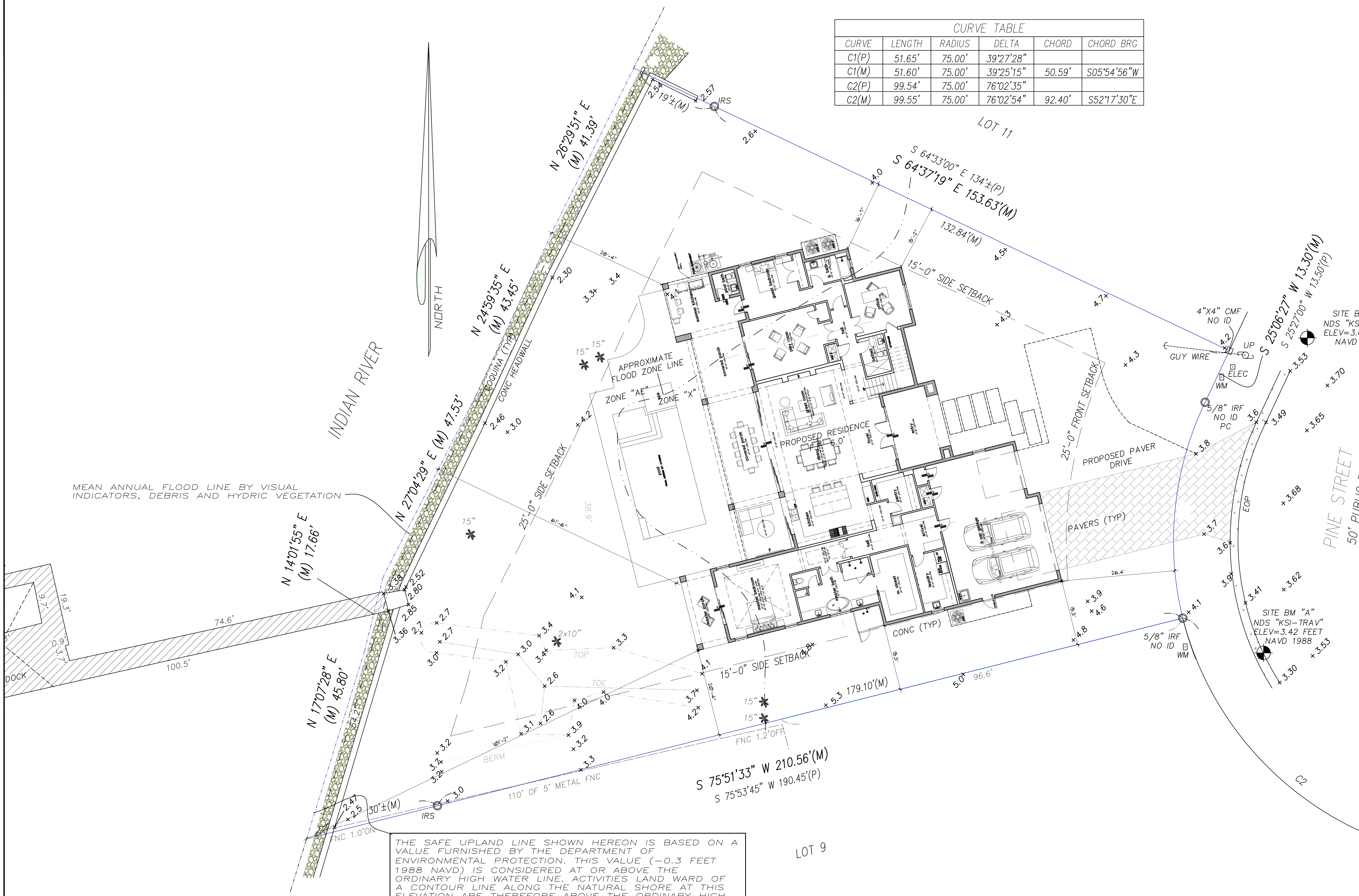
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RUNTE RESIDENCE
ADDRESS:
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MELBOURNE BEACH FL. 32951

SHEET TITLE
PLOT PLAN
SCALE: 1"=10'

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CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BRG
C1(P)	51.65'	75.00'	39°27'28"		
C1(M)	51.60'	75.00'	39°25'15"	50.59'	S05°54'56"W
C2(P)	99.54'	75.00'	76°02'35"		
C2(M)	99.55'	75.00'	76°02'54"	92.40'	S52°17'30"E



THE SAFE UPLAND LINE SHOWN HEREON IS BASED ON A VALUE FURNISHED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION. THIS VALUE (-0.3 FEET 1988 NAVD) IS CONSIDERED AT OR ABOVE THE ORDINARY HIGH WATER LINE. ACTIVITIES LAND WARD OF A CONTOUR LINE ALONG THE NATURAL SHORE AT THIS ELEVATION ARE THEREFORE ABOVE THE ORDINARY HIGH WATER LINE AT THE SUBJECT LOCATION.



JOB. NO.	25-039
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CHECKED	AAM
SCALE	AS SHOWN
DATE	11.19.25

[illegible]

CUSTOM DESIGN FOR

ADDRESS:
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MELBOURNE BEACH FL. 32951

SHEET TITLE

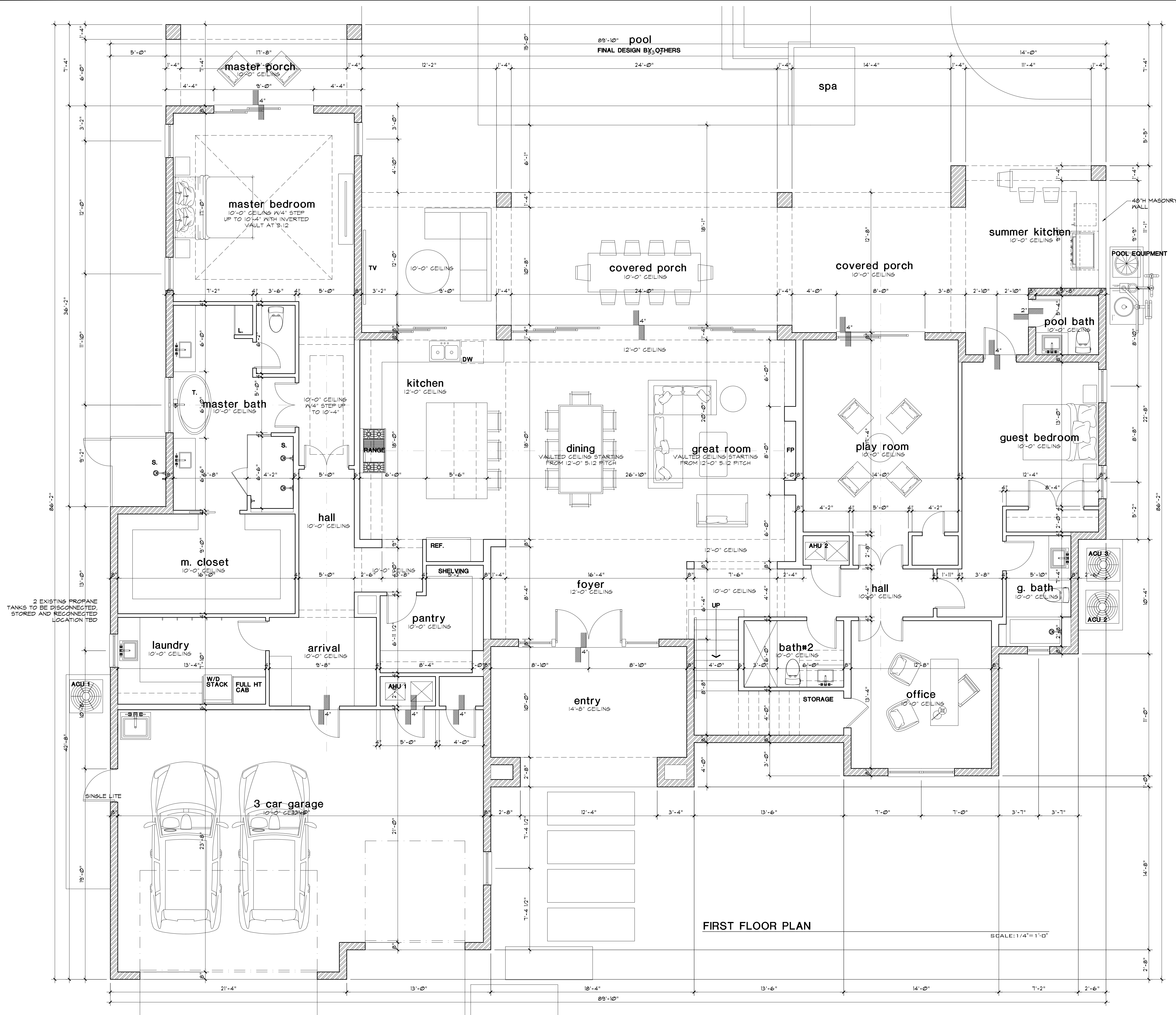
FIRST FLOOR PLAN

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A3

SHEET 3





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CUSTOM DESIGN FOR
**RUNTE
RESIDENCE**

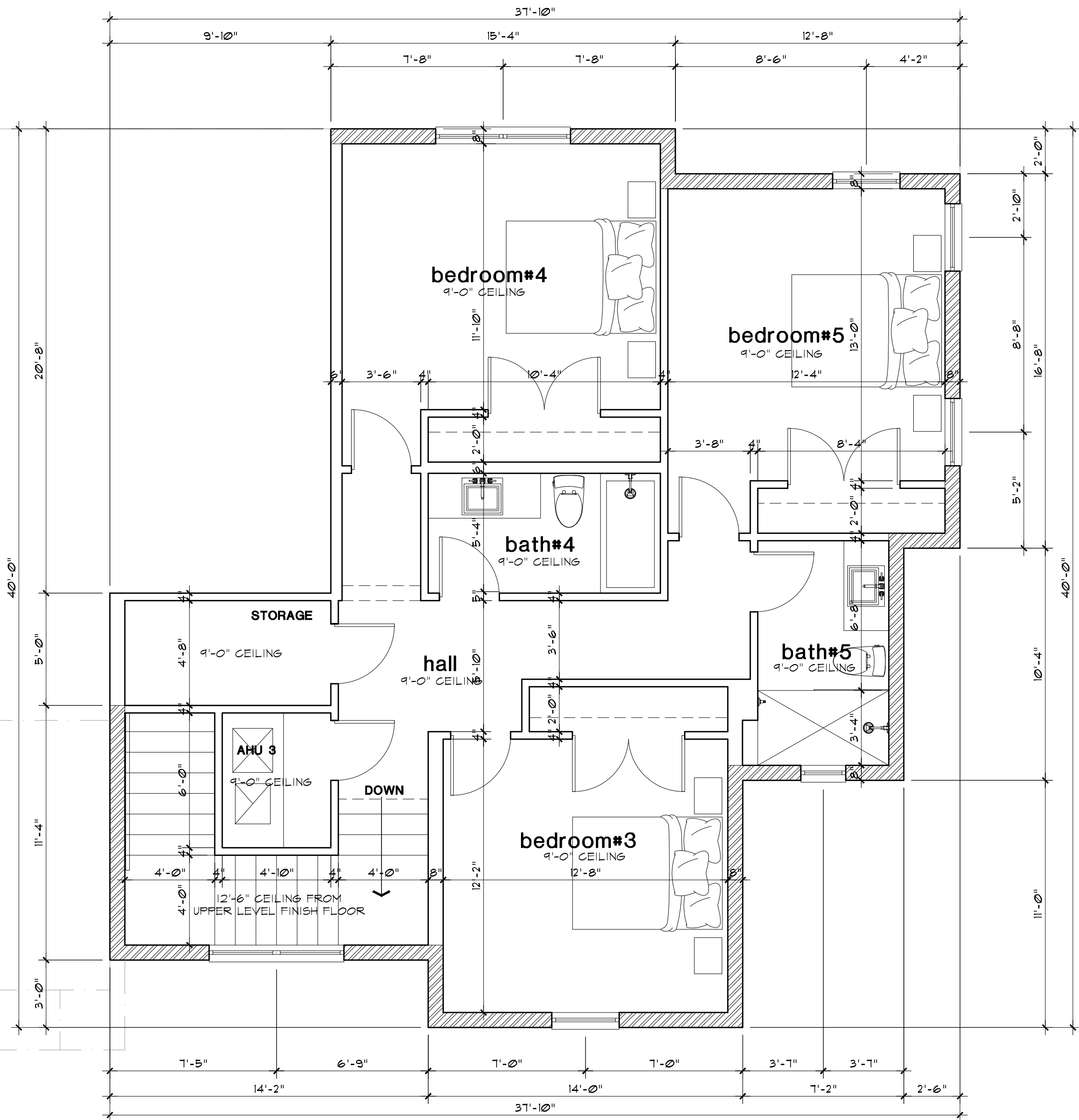
ADDRESS:
1806 PINE STREET
MELBOURNE BEACH FL. 32951

SHEET TITLE
SECOND FLOOR PLAN

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A4
SHEET 4



SECOND FLOOR PLAN

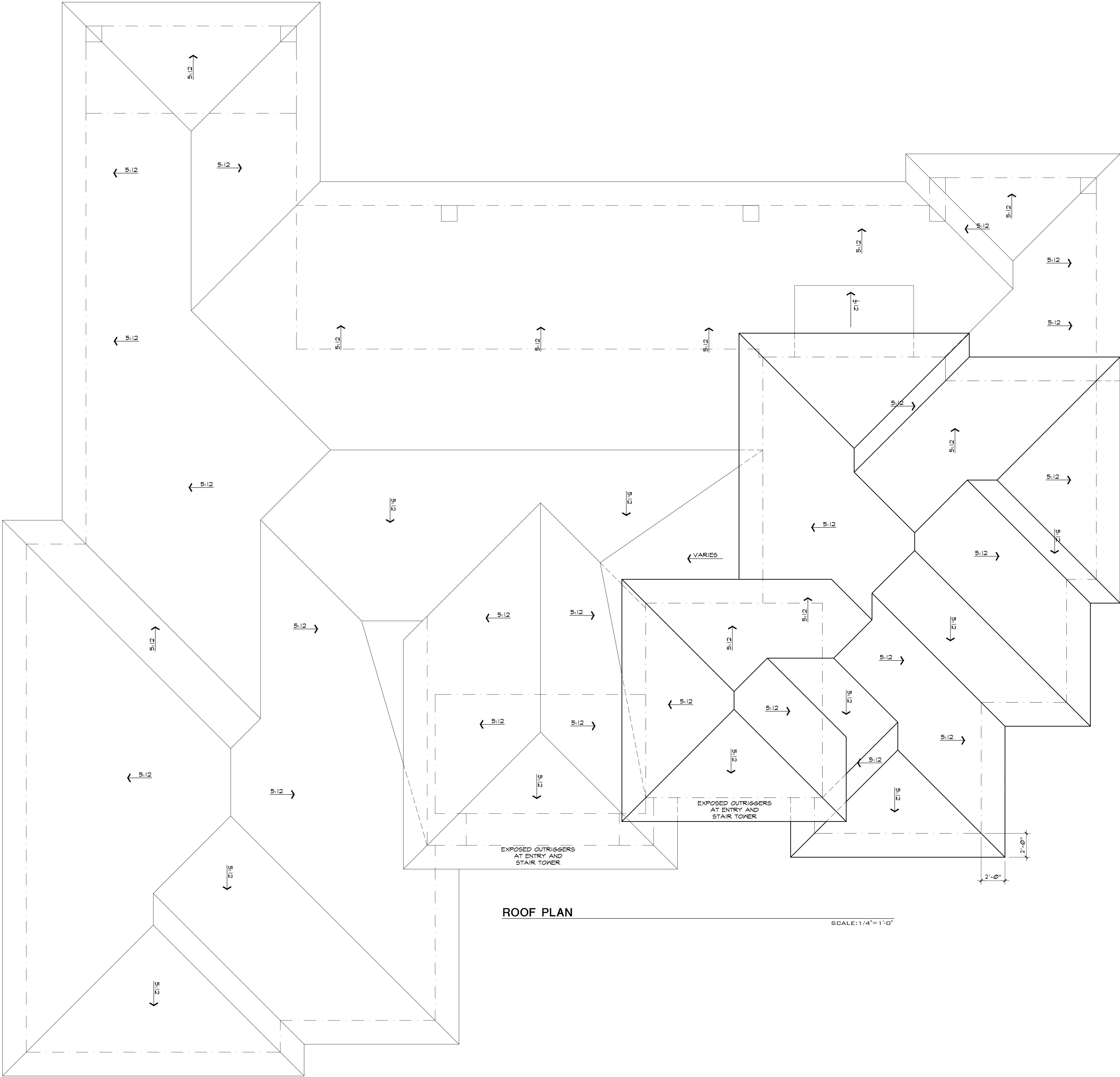
SCALE: 1/4" = 1'-0"

WALL LEGEND

- NEW 4" 6" OR 8" FRAME WALL
- NEW 8" MASONRY PARTITION

AREA TABULATION

FIRST FLOOR LIVING	3,230 SF
SECOND FLOOR LIVING	1,008 SF
TOTAL LIVING	4,238 SF
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DATE	11.19.25

REVISIONS	BY	DATE

CUSTOM DESIGN FOR
**RUNTE
RESIDENCE**

ADDRESS:
1806 PINE STREET
MELBOURNE BEACH FL. 32951

SHEET TITLE
ROOF PLAN

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DESIGNED	AAM
RAWN	AAM
CHECKED	AAM
SCALE	AS SHOWN
DATE	11.19.25

[illegible]

CUSTOM DESIGN FOR

RUNTE
RESIDENCE

ADDRESS:
306 PINE STREET
MELBOURNE BEACH FL. 32951

SHEET TITLE

EXTERIOR ELEVATIONS

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A6

SHEET 6



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



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SCALE	AS SHOWN
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REVISIONS	BY	DATE

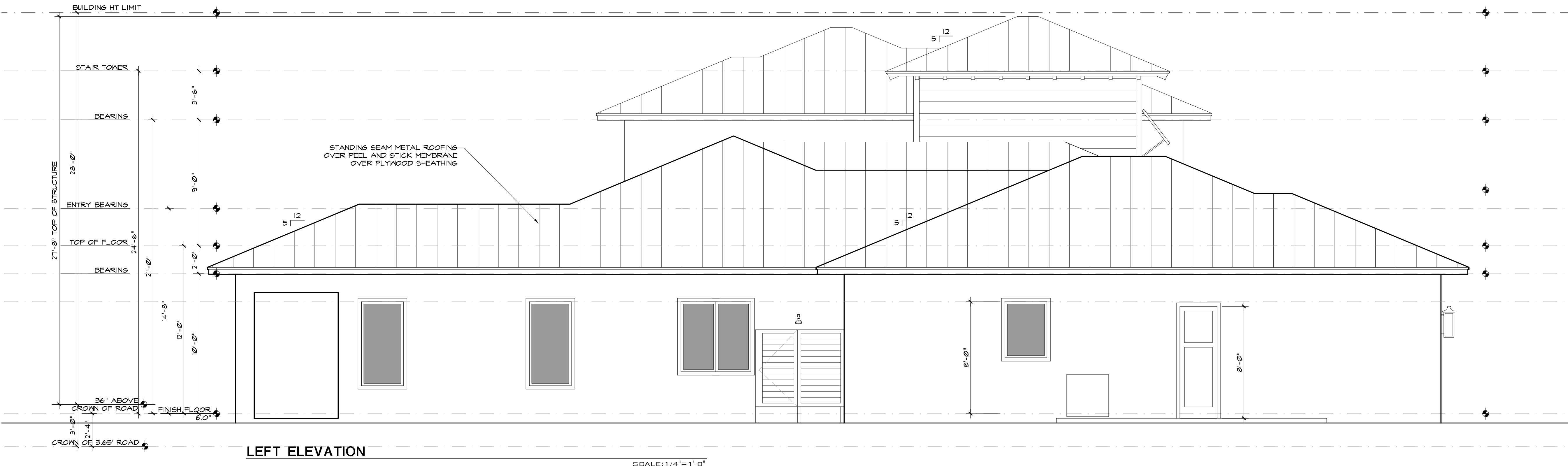
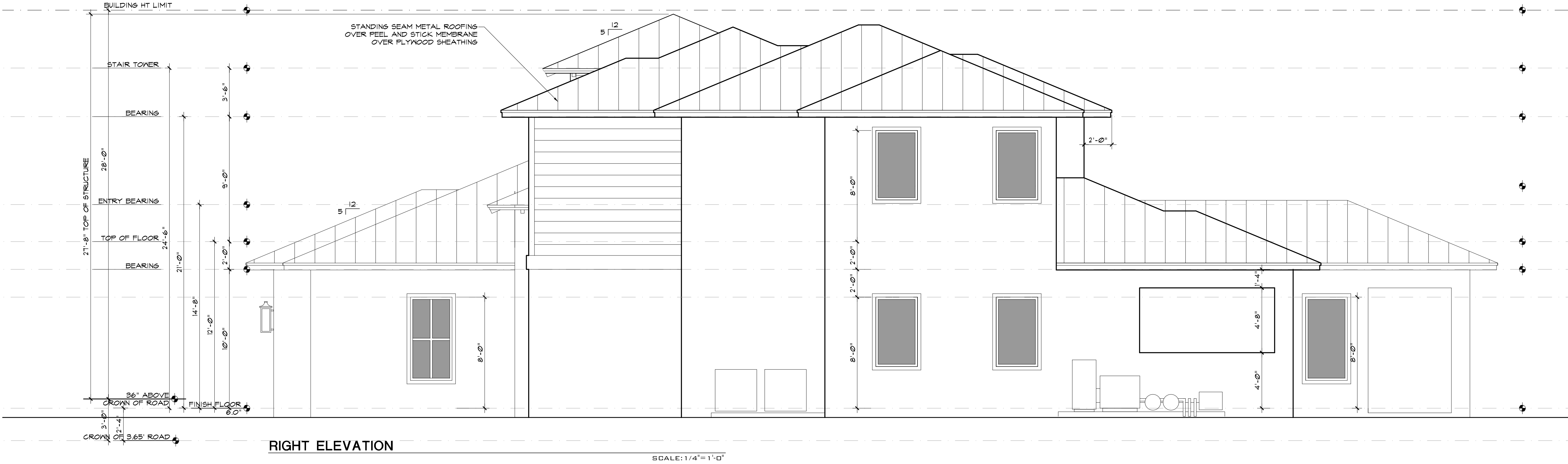
CUSTOM DESIGN FOR
**RUNTE
RESIDENCE**

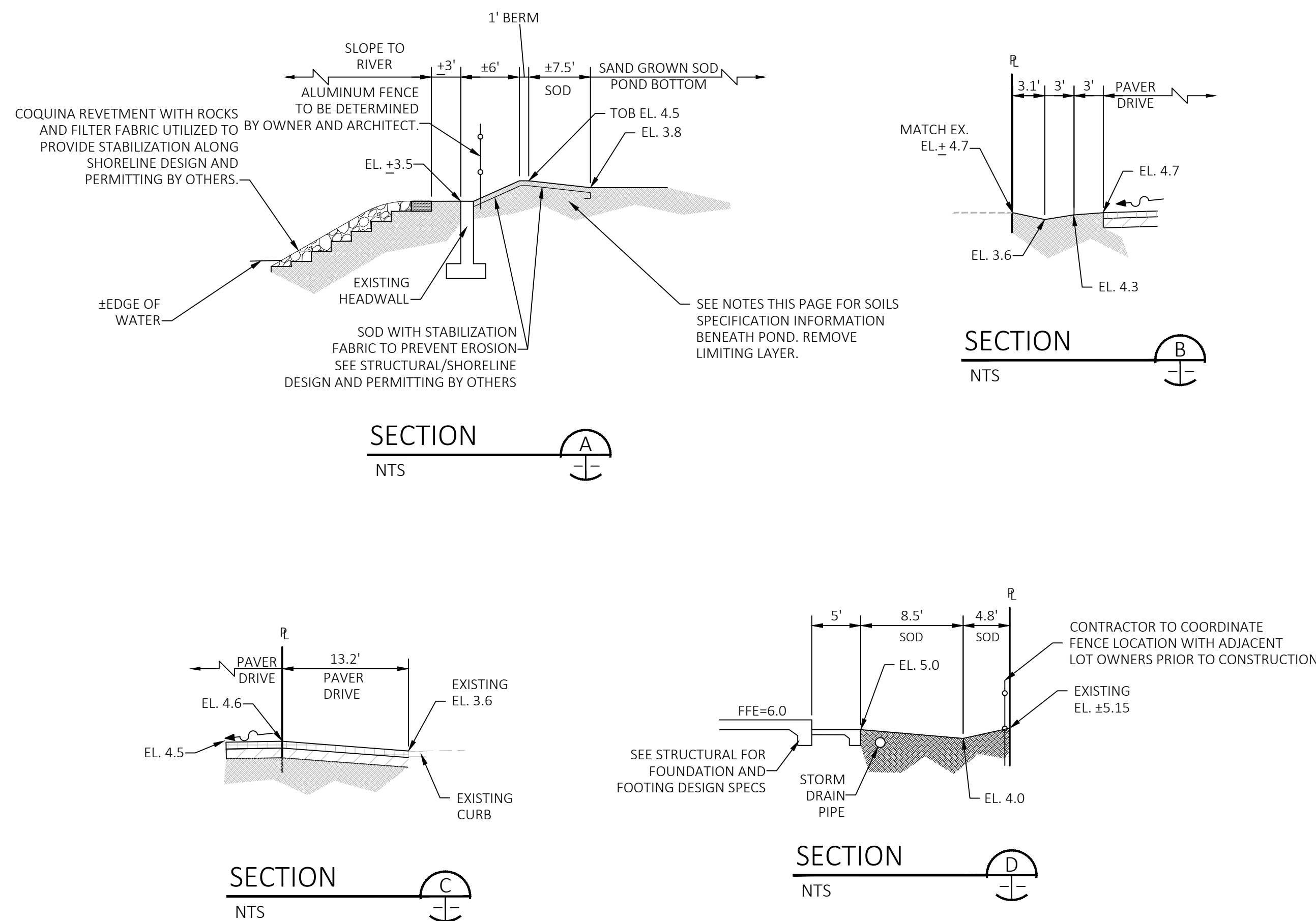
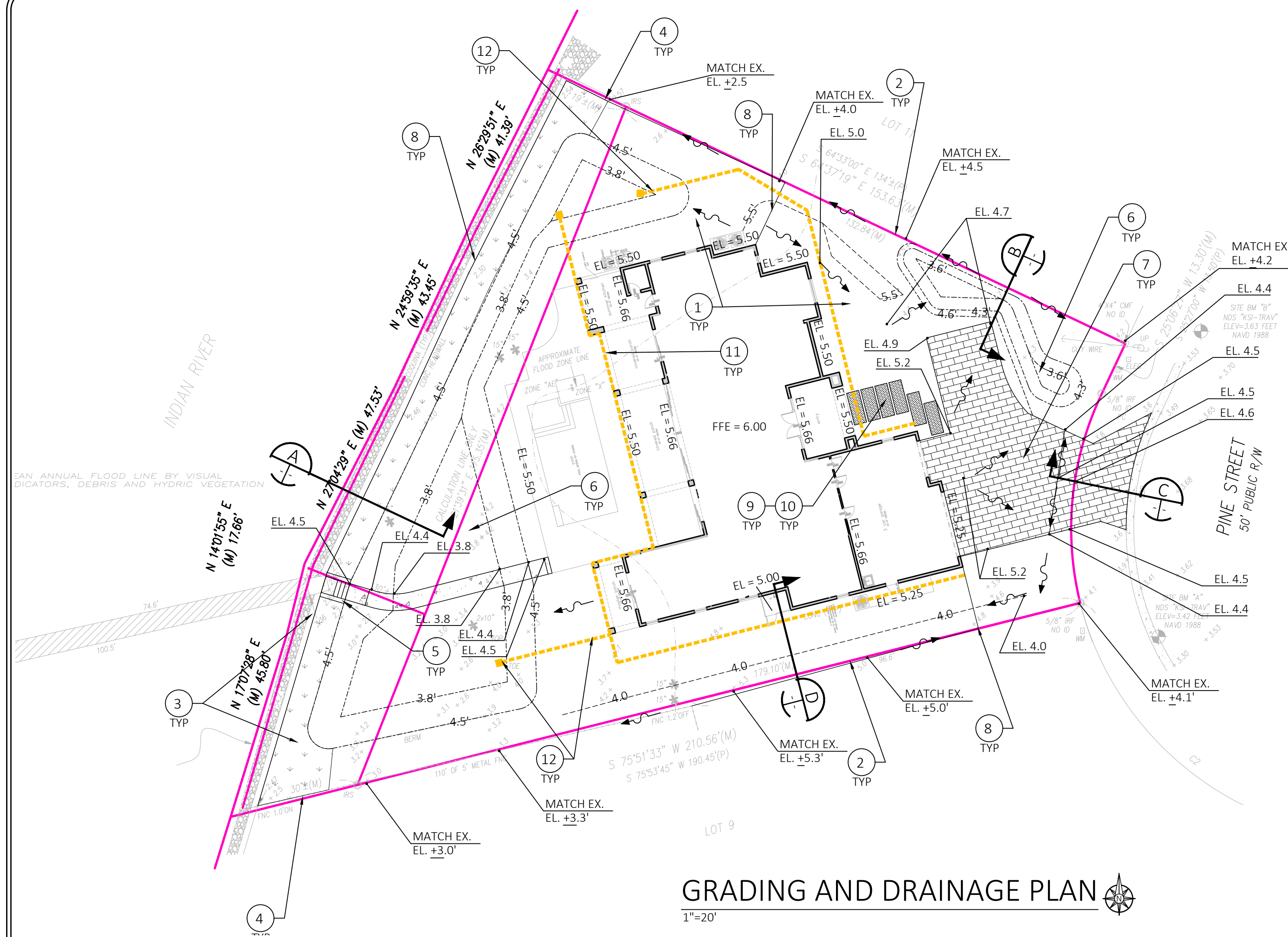
ADDRESS:
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SHEET TITLE
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CIVIL SITE GRADING NOTES:

- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE PATHS TO DESIGNATED STORMWATER COLLECTION AND TREATMENT AREAS.
- CONTRACTOR TO COORDINATE GRADING ALONG COMMON LOT LINES WITH ADJACENT NEIGHBORS TO ENSURE CONTINUED POSITIVE DRAINAGE. CARE TO BE TAKEN DURING GRADING EFFORTS TO MAINTAIN EXISTING DRAINAGE PATHS OF ADJACENT NEIGHBORS WHICH SHALL NOT BE BLOCKED BY ADDED HARDSCAPES, LANDSCAPES, OR MATERIAL STOCKPILES.
- SHORELINE IMPROVEMENTS TO INCLUDE EXISTING RIP RAP TO REMAIN WITH RETAINING WALL ALONG SHORELINE TO BE RAISED 1 FOOT. PROVIDE NEW STABILIZED GRASSED BACKSLOPE FROM TOP OF BANK AT ELEVATION 4.5 TO NEW WALL ELEVATION AT APPROXIMATELY 3.5' USING GEOGRID TIED INTO THE RETAINING WALL FOR EROSION PREVENTION. ALL IMPROVEMENTS TO MEET FDEP AND SIRMWD REQUIREMENTS (INCLUDING ANY ADDED ROCK SIZE MIN/MAX DISTRIBUTIONS). SEE STRUCTURAL AND SHORELINE IMPROVEMENT PLANS FOR ALL DETAILS AND SPECIFICATIONS. REVETMENT DESIGN AND PERMITTING BY OTHERS.
- CONTRACTOR TO TRANSITION PROPOSED SHORELINE IMPROVEMENTS TO EXISTING IMPROVEMENTS AND CONTOURS. FIELD COORDINATION REQUIRED TO VERIFY LENGTHS OF RETAINING WALL RETURNS NECESSARY FOR SMOOTH TRANSITIONS. CONTRACTOR TO COORDINATE CONSTRUCTION RETAINING WALLS IF FIELD CONDITIONS DICTATE TO CONNECT MODIFIED REVETMENT ALONG PROPERTY LINES. APPROVED DESIGN ALTERNATIVE INCLUDES PERMISSION FROM NEIGHBOR FOR REGRADING EFFORTS TO RESTORE REVETMENT NEAR EXISTING DOCK. RETAINING WALL AND/OR REVETMENT DESIGN AND PERMITTING BY OTHERS.
- PROVIDE CONCRETE SIDEWALK WITH STEPS AND LANDINGS TO ACCESS EXISTING DOCK TO BE INSTALLED AT ELEVATIONS SHOWN. SEE STRUCTURAL AND ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS AND SPECIFICATIONS. STAIR AND WALL DESIGN AND PERMITTING BY OTHERS. CONTACT FOR IF TOP OF STAIR ELEVATION CANNOT BE MAINTAINED AT TOP OF BANK ELEVATIONS FOR UPDATES PRIOR TO CONSTRUCTION.
- GRASS COVER WITHIN BOUNDARY OF STORMWATER POND BOTTOM SHALL BE EITHER SEED AND MULCH OR SAND GROWN SOD. REMOVE AND REPLACE ANY DELETERIOUS MATERIALS OR LIMITING SOILS WITH PERCOLATION VALUES LESS THAN 10 INCHES PER HOUR PLACED AT A DENSITY OF APPROXIMATELY 92% OF THE MODIFIED PROCTOR TEST OR PER GEOTECHNICAL ENGINEER RECOMMENDATIONS BENEATH THE STORMWATER PONDS. CONTRACTOR TO INCLUDE MATERIAL TESTING DURING CONSTRUCTION FROM GEOTECHNICAL ENGINEER.
- CONTRACTOR TO PITCH DRIVEWAY TOWARD SIDE YARD STORMWATER COLLECTION AREAS FOR TREATMENT.
- PROVIDE FENCE ALONG SHORELINE AND PROPERTY LINE WITH SWING GATES PER OWNER. CONTRACTOR TO COORDINATE CONSTRUCTION LOCATIONS WITH NEIGHBORS FOR ANY IMPACTS OR REVISIONS TO FENCING. MINIMUM FENCING REQUIREMENTS TO BE PROVIDED TO MEET FLORIDA BUILDING CODE FOR POOL ACCESS PREVENTION AND EDGE PROTECTION FOR DROP HAZARDS. SEE ARCHITECTURAL DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION. DESIGN AND PERMITTING BY OTHERS.
- DRIVEWAY, SIDEWALK, PORCH, RESIDENCE AND FENCE DESIGN INCLUDING DETAILS WITH SPECIFICATIONS BY OTHERS.
- FOOTPRINT AND POOL LAYOUT PROVIDED BY ARCHITECT AND OWNER. ANY DIMENSIONS ON GRADING PLAN FOR REFERENCE ONLY. CONTRACTOR TO ENSURE CORRECT DIMENSIONS INCLUDED PRIOR TO CONSTRUCTION. CONTACT ENGINEER OF RECORD WITH ANY SIZE OR SHAPE CHANGES TO THE OVERALL POOL/DECK, PAVEMENT WALKWAY OR FOOTPRINT.
- SEE ARCHITECTURAL PLAN FOR ROOF DRAINAGE AND DOWNSPOUT COLLECTION. RUNOFF COLLECTION SHOULD BE DIRECTED TO PROPOSED DRY RETENTION AREAS.
- PROVIDE 6" ADS N-12 UNDERGROUND STORMWATER COLLECTION PIPE WITH WATER TIGHT JOINTS TO EXTEND AT A MINIMUM 1% SLOPE WITH A MINIMUM COVER OF 12" FROM GUTTER AND DOWNSPOUT COLLECTION SYSTEM FOR ROOF ADJACENT TO POOL TO STORMWATER COLLECTION AREA PROVIDE 12" YARD DRAIN BUBBLE UP CONNECTION IN STORMWATER POND WITH TOP OF DRAIN AT ELEVATION 3.8 AND INVERT FIELD CUT. INCLUDE ROCK FOR EROSION PROTECTION AROUND DRAIN LOCATION.

SURVEYOR NOTES:

- NOTES:**
- BEARINGS BASED ON THE S. R/W LINE BEING S 89°57'00" W AS PER PLAT (SEE SKETCH)
 - ELEVATIONS BASED ON BREVARD COUNTY BENCHMARK K8A06 BEING AN ELEVATION OF 9.83 FEET NAVD 1988.
 - FLOOD ZONE "X" AND "AE", MAP No. 1209C0612H COMMUNITY No. 125126, FIRM INDEX DATE: JANUARY 29, 2021. FLOOD ZONE INFORMATION DEPICTED HEREON IS APPROXIMATE. FEMA RETAINS SOLE AUTHORITY REGARDING BOUNDARY AND EXTENT OF SFHA.
 - HORIZONTAL CLOSURE MEETS OR EXCEEDS THE ACCURACY REQUIREMENTS FOR SUBURBAN LAND AS PER FLORIDA STATUTE 51-17-6.003.
 - BEARINGS, DISTANCES OR ANGLES SHOWN ARE THE SAME AS PLAT, DEED OR RECORD UNLESS SHOWN OTHERWISE.
 - NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL, OR THE DIGITAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 - THE SURVEYOR HAS NOT LOCATED NOR ATTEMPTED TO LOCATE ANY UNDERGROUND UTILITIES, FOUNDATIONS, OR STRUCTURES OTHER THAN THOSE THAT MAY BE SHOWN HEREON.
 - ONLY BOUNDARY CORNER MONUMENTS AS SHOWN HEREON ARE TO BE USED FOR THE LOCATION AND CONSTRUCTION OF IMPROVEMENTS.
 - UNLESS OTHERWISE INDICATED THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE SEARCH OR ATTORNEY'S TITLE OPINION.

SURVEYOR LEGEND:

LEGEND		
A = ARC	FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY	PCC = POINT OF COMPOUND CURVATURE
A/C = AIR CONDITIONER	FF = FINISHED FLOOR	PCP = PERMANENT CONTROL POINT
BFE = BASE FLOOD ELEVATION	FF = FINISHED FLOOR	PI = POINT OF INTERSECTION
BLD = BUILDING	FNC = FENCE	PLS = PROFESSIONAL LAND SURVEYOR
BLK = BLOCK	FND = FOUND	POB = POINT OF BEGINNING
BM = BENCHMARK	FP&L = FLORIDA POWER & LIGHT COMPANY	POC = POINT OF COMMENCEMENT
BRG = BEARING	ID = IDENTIFICATION	PRC = POINT OF REVERSE CURVATURE
CAL = CALCULATED	IRP = IRON PIPE FOUND	PRM = PERMANENT REFERENCE MONUMENT
CATV = CABLE TELEVISION	IRC = IRON ROD & CAP FOUND	PSM = PROFESSIONAL SURVEYOR AND MAPPER
CBS = CONCRETE BLOCK STRUCTURE	IRS = IRON ROD FOUND	PT = POINT OF TANGENCY
CHD = CHORD	IRS = 5/8" IRON ROD SET "LB 7838"	PUDE = PUBLIC UTILITY & DRAINAGE EASEMENT
C/L = CENTERLINE	LB = LICENSED BUSINESS NUMBER	PUE = PUBLIC UTILITY EASEMENT
CLF = CHAIN LINK FENCE	LS = (RLS) or (PLS) REGISTERED OR MEASURED PROFESSIONAL LAND SURVEYOR	R = RADIUS
CMF = CONCRETE MONUMENT FOUND	MAFL = MEAN ANNUAL FLOOD LINE	REF = REFERENCE
CMP = CORRUGATED METAL PIPE	NAVD = NORTH AMERICAN VERTICAL DATUM	RNG = RANGE
CNC = CONCRETE	NDT = NAIL & DISK FOUND	R/W = RIGHT OF WAY
COR = CORNER	NDS = 1 1/4" NAIL & DISK SET "LB 7838"	SEC = SECTION
DA = DEED BOOK	No. = NUMBER	SFHA = SPECIAL FLOOD HAZARD AREAS
DEL = DELTA ANGLE	O/H = OVERHEAD	SUL = SAFE UPLAND LINE
ELEC = ELECTRIC	ORD = OFFICIAL RECORDS BOOK	TEL = TELEPHONE RISER
ELEV = ELEVATION	O/S = OFFSET	TWP = TOWNSHIP
ENC = ENCROACHMENT	OP = OFFSET	TYP = TYPICAL
EOP = EDGE OF PAVEMENT	PB = PLAY BOOK	UP = UTILITY POLE
ESMT = EASEMENT	PC = POINT OF CURVATURE	WD = WOOD
FB = FIELD BOOK		WIT-COR = 5/8" IRON ROD SET WITH CAP WITNESS LB 7838"
		WM = WATER METER

GENERAL INFORMATION:

CONTACT INFORMATION		
OWNER MELBEACH INVESTMENTS, LLC 1806 PINE STREET MELBOURNE BEACH, FL 32901	SURVEYOR: KANE SURVEYING, INC 505 DISTRIBUTION DRIVE MELBOURNE, FL 32904 TEL: 321-676-0427	CIVIL ENGINEER: TRAUGER CONSULTING ENGINEERS, INC. ERIN TRAUGER, P.E. 2210 FRONT STREET STE 204 MELBOURNE, FL 32901 TEL: 321-652-5316 E-MAIL: ERIN.TRAUGER@GMAIL.COM
		ARCHITECT: MITZ DESIGN GROUP ALEX MITZ, ARCHITECT 587 WEST EAU GALIE BOULEVARD MELBOURNE, FL 32935 TEL: 321-745-8609

LEGAL DESCRIPTION:

LOT 10, HARBOR EAST SECTION ONE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 17, PAGE 90, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

DRAINAGE CALCULATIONS:

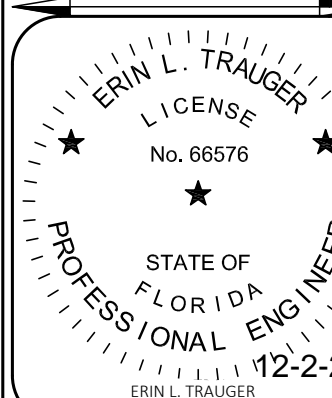
SITE DATA			
TOTAL ACREAGE: 0.47 ACRES			
F.L.R.M. #1209C0612H THIS PROPERTY LIES IN FLOOD ZONES "AE" AND "X"			
PARCEL ID: 28-38-07-50-4-10			
TAX ACCOUNT NUMBER: 2847708			
ADDRESS: 1806 PINE STREET, MELBOURNE BEACH, FL 32951			
SITE DRAINAGE COVERAGE CALCULATIONS			
PROPOSED LOT COVERAGE	SF	ACRE	PERCENT
IMPERVIOUS:	10,032	0.23	44%
PERVIOUS:	12,587	0.29	56%
TOTAL GROSS AREA:	20,766	0.47	100%

GENERAL NOTES: (ALL CIVIL DRAWINGS)

- CONTRACTOR SHALL BECOME FAMILIAR AND COMPLY WITH ALL PERMITS AND PERMIT CONDITIONS. CONTRACTOR SHALL OBTAIN PERMISSION FROM ALL NECESSARY PERMIT AGENCIES PRIOR TO COMMENCING SITE WORK.
- ALL AREAS DISTURBED OFF-SITE SHALL BE RESTORED TO EQUAL OR BETTER CONDITION THAN PRE-CONSTRUCTION.
- ANY SHORELINE REVETMENTS REQUIRE DESIGN AND PERMITTING BY OTHERS WITH INFORMATION INCLUDED FOR ELEVATION REFERENCE AS PART OF STORMWATER DESIGN.
- SLOPE ALL SIDEWALKS TO FLOW AWAY FROM BUILDING WITH MAXIMUM 2% CROSS SLOPE.
- PROVIDE CONSTANT SLOPE BETWEEN ALL SPOT ELEVATIONS.
- CONTRACTOR SHALL PROVIDE SILT FENCE AROUND PROJECT AREA AS REQUIRED BY FDEP AND MELBOURNE BEACH.
- ALL WASTE SHALL BE DISPOSED OF OFF-SITE IN A SAFE AND LEGAL MANNER UNLESS OWNER SPECIFICALLY REQUESTS OTHERWISE.
- ALL SLOPES 4H:1V OR STEEPER SHALL BE SODDED. ALL SLOPES STEEPER THEN 3H:1V SHALL BE SODDED AND STAKED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PUBLIC ROADWAYS, EASEMENTS, CURBS, SIDEWALKS, DRAINAGE SYSTEM, BENCHMARKS, OR UTILITIES AS A DIRECT RESULT OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING ALL BOUNDARY CORNERS AND BENCHMARKS DISTURBED OR DESTROYED DURING CONSTRUCTION REPLACED BY A FLORIDA LICENSED LAND SURVEYOR.
- EXCEPT AT DOORWAYS, FINISHED GRADE ADJACENT TO HOUSE SHALL BE 6" BELOW FINISHED FLOOR UNLESS IDENTIFIED OTHERWISE BY ARCHITECT/HOME BUILDER OR ON GRADING PLAN. ALL LOT GRADING SHALL COMPLY WITH APPLICABLE FLORIDA BUILDING CODES.
- THIS PLAN HAS BEEN PREPARED WITH A BASE SURVEY, FOOT PRINT AND LAYOUT PROVIDED BY MITZ DESIGN GROUP AND KANE SURVEYING, INC. CIVIL ENGINEER DOES NOT WARRANT THE ACCURACY OF THE RECORD SURVEY NOR HAVE THEY COMPLETED THE DESIGN FOR THE SITE LAYOUT.
- SEE ARCHITECTURAL/HOME BUILDER DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT, SEE PLUMBING, MECHANICAL, ELECTRICAL AND LANDSCAPING DRAWINGS FOR UTILITY CONNECTION LOCATIONS, HEATING/AC, ELECTRICAL AND LANDSCAPING INFORMATION.
- SWPPP IS NOT INCLUDED. CIVIL ENGINEER IS NOT RESPONSIBLE FOR THE DESIGN OF EROSION AND SEDIMENT CONTROLS OR OTHER POLLUTION PREVENTION PRACTICES FOR THIS PROJECT.
- CLEARING SPECIFICATIONS, UTILITY DESIGN, PAVING AND OTHER SITE MATERIALS AND SPECIFICATIONS ARE NOT INCLUDED. CIVIL ENGINEER NOT RESPONSIBLE FOR THE DESIGN SPECIFICATIONS RELATED TO THESE ITEMS. CONTRACTOR TO CONSULT GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION TO ENSURE SOILS AS ANTICIPATED FOR DESIGN.
- BOUNDARY, TOPOGRAPHIC AND EXISTING INFORMATION INDICATED ON THESE DRAWINGS ARE PER FIELD DATA SUPPLIED BY KANE SURVEYING, INC. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE INFORMATION AND PROTECT SAME FROM DAMAGE DURING THE CONSTRUCTION PHASE. DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- THIS IS A SPECIFIC PURPOSE DRAWING SET. FOR THE PERMITTING AND THE CONSTRUCTION OF A STORMWATER TREATMENT AREA THE ENGINEER CERTIFIES THESE DRAWINGS ONLY FOR THE CONSTRUCTION OF THAT INFORMATION AND NO OTHER PERMITTING AND CONSTRUCTION USES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SETBACKS PRIOR TO STARTING CONSTRUCTION.
- ANY REQUIRED REPLACEMENT SOIL/SAND FOR THE STORMWATER MANAGEMENT AREAS TO BE CONSTRUCTED WITH CLEAN TYPE A SOIL/SAND WITH A MINIMUM PERCOLATION RATE OF 20FT/DAY AT A DENSITY OF APPROXIMATELY 92% OF THE MODIFIED PROCTOR TEST OR PER GEOTECHNICAL ENGINEER RECOMMENDATIONS. CONTRACTOR SHALL PROVIDE SOIL SOIL TEST RESULTS VERIFYING THE PERCOLATION RATE OF THE MATERIAL TO THE ENGINEER OF RECORD AND TOWN OF MELBOURNE BEACH PRIOR TO INSPECTION.

1806 Pine Street
SINGLE FAMILY RESIDENCE
BREVARD COUNTY, FLORIDA

GRADING AND DRAINAGE PLAN



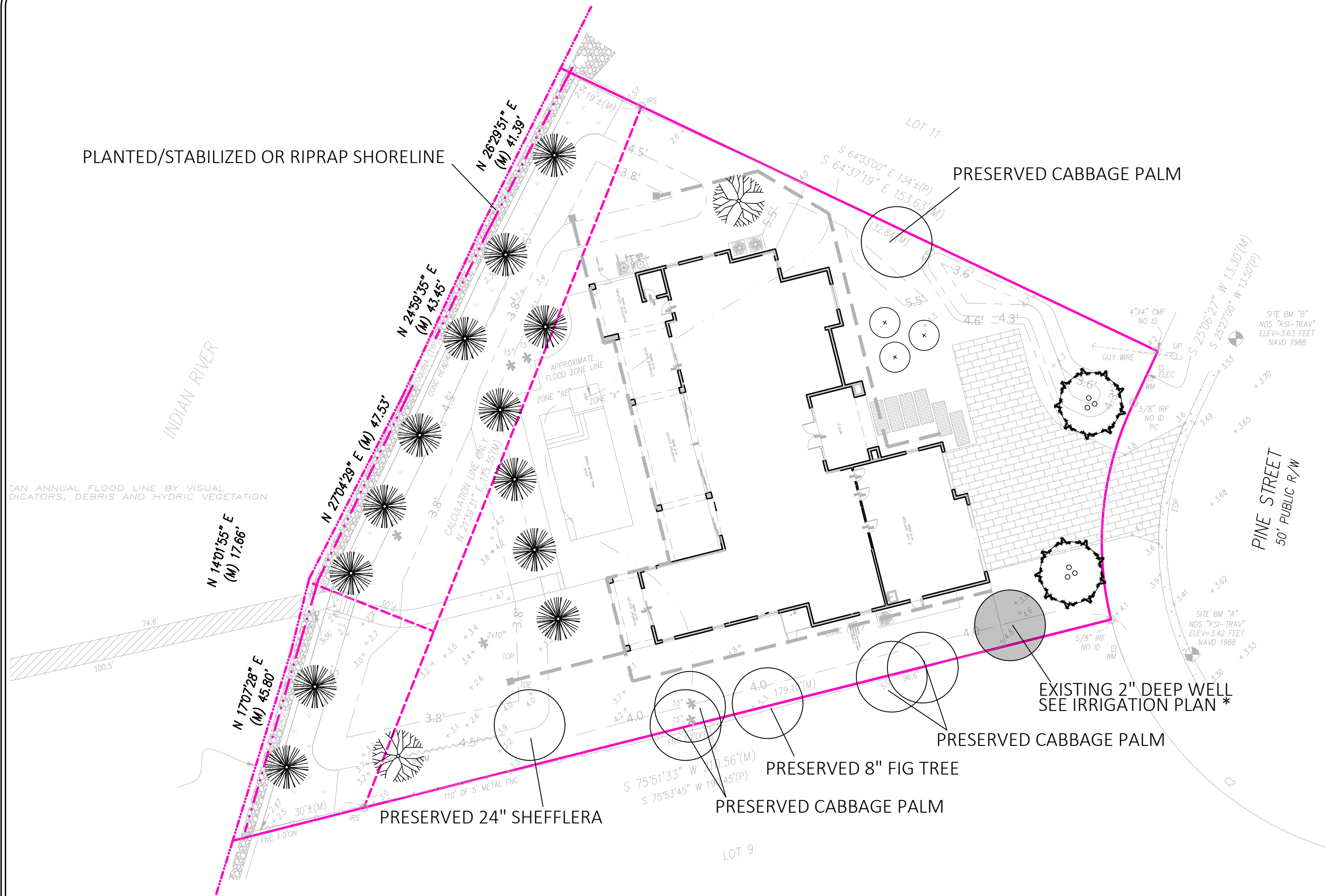
DATE:	11-24-25
TOWNSHIP:	28
RANGE:	38
SECTION:	07
SCALE:	1"=20'
DRAWING NO.	C-1
DRAWN BY:	TLW
PROJECT:	25-PRE

THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ERIN TRAUGER, P.E. ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Erin Trauger
Erin.Trauger@gmail.com
O(321) 372-3060
C(321) 652-5316

TRAUGER CONSULTING ENGINEERS

2210 FRONT STREET STE 204, MELBOURNE, FL 32901



LANDSCAPE PLAN
1"=20'

PLANT SCHEDULE:

SYMBOL	QUANTITY	COMMON NAME
	2	LIVE OAK
	13	GREEN MALAYAN COCONUT PALMS
	2	ROYAL POINCIANAS
	3	MONTGOMERY PALMS

LANDSCAPING CALCULATIONS:

- Tree Requirement:
Plant One (1) Canopy Tree Per 2,000 SF of lot area. = 0.47 ACRES = 20766 SF = 10.4 TREES = 11 TREES
- Existing Preserved Trees = 7 TREES = 2 CANOPY TREES + 2 EQUIVALENT CANOPY TREES
One (1) 24" Shefflera
One (1) 8" Fig Fruit Tree
Five (5) Existing Cabbage Palms = Equivalent to Two (2) Canopy Trees
- Proposed Trees = 20 TREES = 4 CANOPY TREES + 3 EQUIVALENT CANOPY TREES
Two (2) Royal Poincianas
Two (2) Live Oaks
Three (3) Montgomery Palms = Equivalent to One (1) Canopy Trees
Thirteen (13) Green Malayan Coconut Palms = Equivalent To Three (2) Canopy Trees
- NOTE THAT EXISTING 2" IRRIGATION WELL IS PROPOSED TO BE MAINTAINED. HUNTER IRRIGATION PUMP WITH SMART CONTROLS TO BE UTILIZED FOR IRRIGATION ONSITE.
 - NOTE THAT EXISTING PRESERVED TREE LOCATIONS HAVE BEEN INCLUDED BASED ON CLIENT FIELD REVIEW AND SKETCH. NO FIELD INSPECTION WAS COMPLETED BY ENGINEER. LOCATION OF TREES ARE NOT WARRANTED.
 - PLANTING LOCATION AND TREES PROVIDED BY OWNER AND SHOULD BE REVIEWED WITH OWNER PRIOR TO CONSTRUCTION.



REV#	DATE	REVISION

TRAUGER
CONSULTING ENGINEERS

2210 FRONT STREET STE 204, MELBOURNE, FL 32901
Erin.Trauger@gmail.com O)321.372.3060 C) 321.652.5316

1806 Pine Street
SINGLE FAMILY RESIDENCE
BREVARD COUNTY, FLORIDA

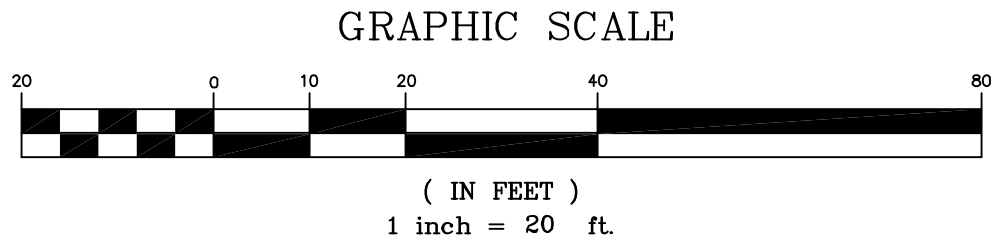
LANDSCAPE PLAN

ERIN L. TRAUGER
FL P.E. #860376

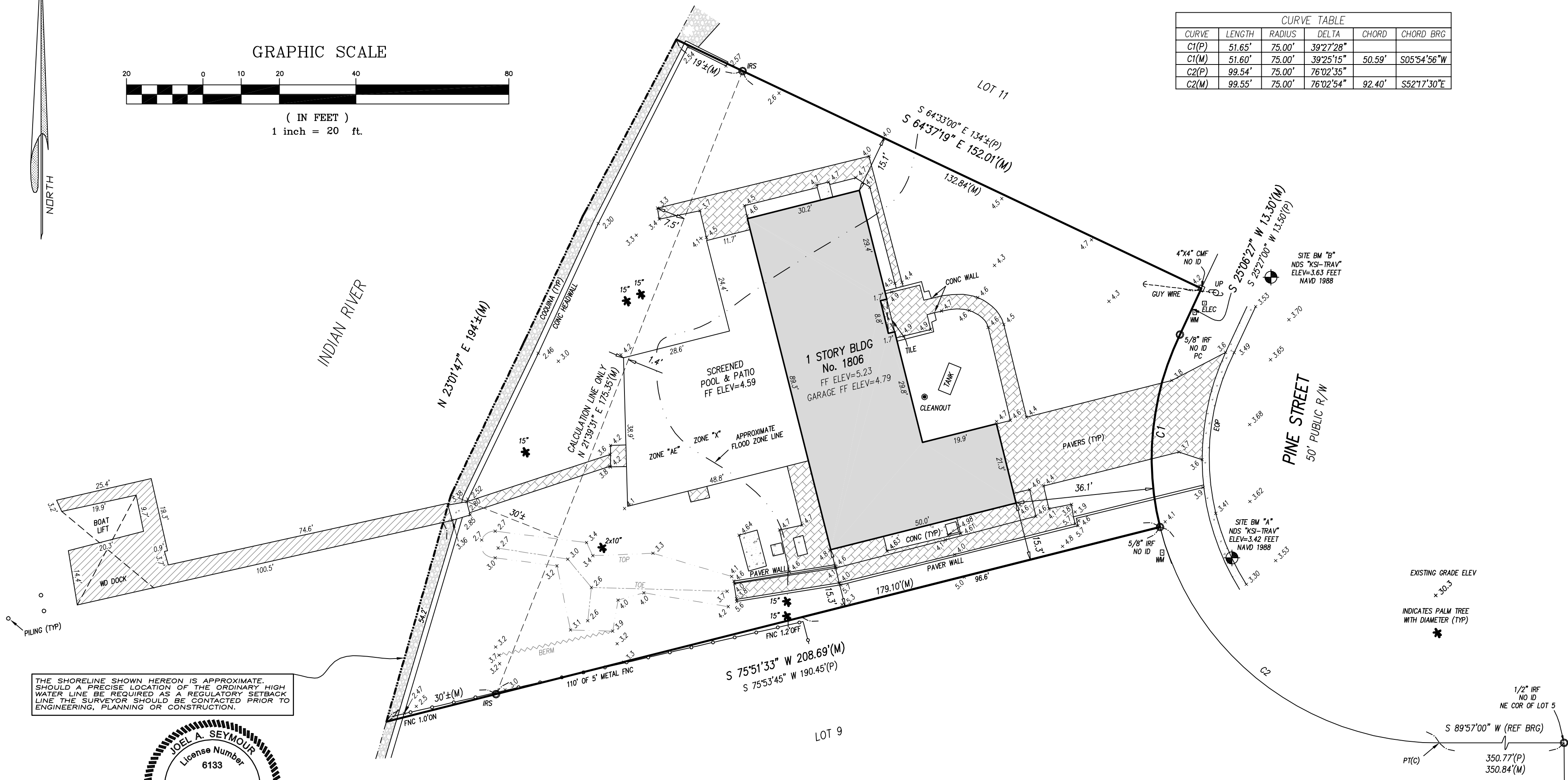
CONTRACT/PROJECT/CLIENT
THESE DOCUMENTS AND THEIR CONTENTS ARE THE PROPERTY OF TRAUGER CONSULTING ENGINEERS, INC. AND ARE LOANED TO YOU FOR THE PROJECT ONLY. THEY ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF TRAUGER CONSULTING ENGINEERS, INC.

DATE: 11-24-25
TOWNSHIP: 28
RANGE: 38
SECTION: 07
SCALE: 1"=20'
DRAWING NO. L-1
DRAWN BY: TLW
PROJECT: 25-PRE

MAP OF BOUNDARY & TOPOGRAPHIC SURVEY



CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BRG
C1(P)	51.65'	75.00'	39°27'28"		
C1(M)	51.60'	75.00'	39°25'15"	50.59'	S05°54'56"W
C2(P)	99.54'	75.00'	76°02'35"		
C2(M)	99.55'	75.00'	76°02'54"	92.40'	S52°77'30"E



JOB No. 44467
FB 25-6-50
HRBREAST/L10

CERTIFIED TO:
COREY RUNTE

CERTIFICATION:

I HEREBY CERTIFY: THAT THE ATTACHED SURVEY WAS DONE UNDER MY DIRECTION AND MEETS THE STANDARDS AND PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

DATE: 10/6/25
JOEL A. SEYMOUR PROFESSIONAL LAND SURVEYOR AND MAPPER
STATE OF FLORIDA No. 6133

DRAWN BY: JIL

SCALE 1 INCH = 20 FEET

NOTES:

1. BEARINGS BASED ON THE S. R/W LINE BEING S 89°57'00" W AS PER PLAT (SEE SKETCH).
2. ELEVATIONS BASED ON BREVARD COUNTY BENCHMARK K8A06 BEING AN ELEVATION OF 9.83 FEET NAVD 1988.
3. FLOOD ZONE "X" AND "AE", MAP NO. 12009C0612H COMMUNITY NO. 125128, FIRM INDEX DATE: JANUARY 29, 2021. FLOOD ZONE INFORMATION DEPICTED HEREON IS APPROXIMATE. FEMA RETAINS SOLE AUTHORITY REGARDING BOUNDARY AND EXTENT OF SFHA.
4. HORIZONTAL CLOSURE MEETS OR EXCEEDS THE ACCURACY REQUIREMENTS FOR SUBURBAN LAND AS PER FLORIDA STATUTE 5J-17-6.003.
5. BEARINGS, DISTANCES OR ANGLES SHOWN ARE THE SAME AS PLAT, DEED OR RECORD UNLESS SHOWN OTHERWISE.
6. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL, OR THE DIGITAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
7. THE SURVEYOR HAS NOT LOCATED NOR ATTEMPTED TO LOCATE ANY UNDERGROUND UTILITIES, FOUNDATIONS, OR STRUCTURES OTHER THAN THOSE THAT MAY BE SHOWN HEREON.
8. ONLY BOUNDARY CORNER MONUMENTS AS SHOWN HEREON ARE TO BE USED FOR THE LOCATION AND CONSTRUCTION OF IMPROVEMENTS.
9. UNLESS OTHERWISE INDICATED THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE SEARCH OR ATTORNEY'S TITLE OPINION.

A = ARC
A/C = AIR CONDITIONER
BFE = BASE FLOOD ELEVATION
BLDG = BUILDING
BLK = BLOCK
BM = BENCHMARK
BRG = BEARING
(C) = CALCULATED
CATV = CABLE TELEVISION
CBS = CONCRETE BLOCK STRUCTURE
CHD = CHORD
C/L = CENTERLINE
CLF = CHAIN LINK FENCE
CMF = CONCRETE MONUMENT FOUND
CMP = CORRUGATED METAL PIPE
CONC = CONCRETE
COR = CORNER
(D) = DEED
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ESMT = EASEMENT
FB = FIELD BOOK

LEGEND

FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY
FF = FINISHED FLOOR
FNC = FENCE
FND = FOUND
FP&L = FLORIDA POWER & LIGHT COMPANY
ID = IDENTIFICATION
IPF = IRON PIPE FOUND
IRC = IRON ROD & CAP FOUND
IRF = IRON ROD FOUND
IRS = 5/8" IRON ROD SET "LB 7838"
LB = LICENSED BUSINESS NUMBER
LS = (RLS) or (PLS) REGISTERED OR
PROFESSIONAL LAND SURVEYOR
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NAVD = NORTH AMERICAN VERTICAL DATUM
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 WD = WOOD
 WIT-COR = 5/8" IRON ROD SET WITH CAP
 "WINLESS LB 7838"
 WM = WATER METER
 XCF = CROSS CUT FOUND

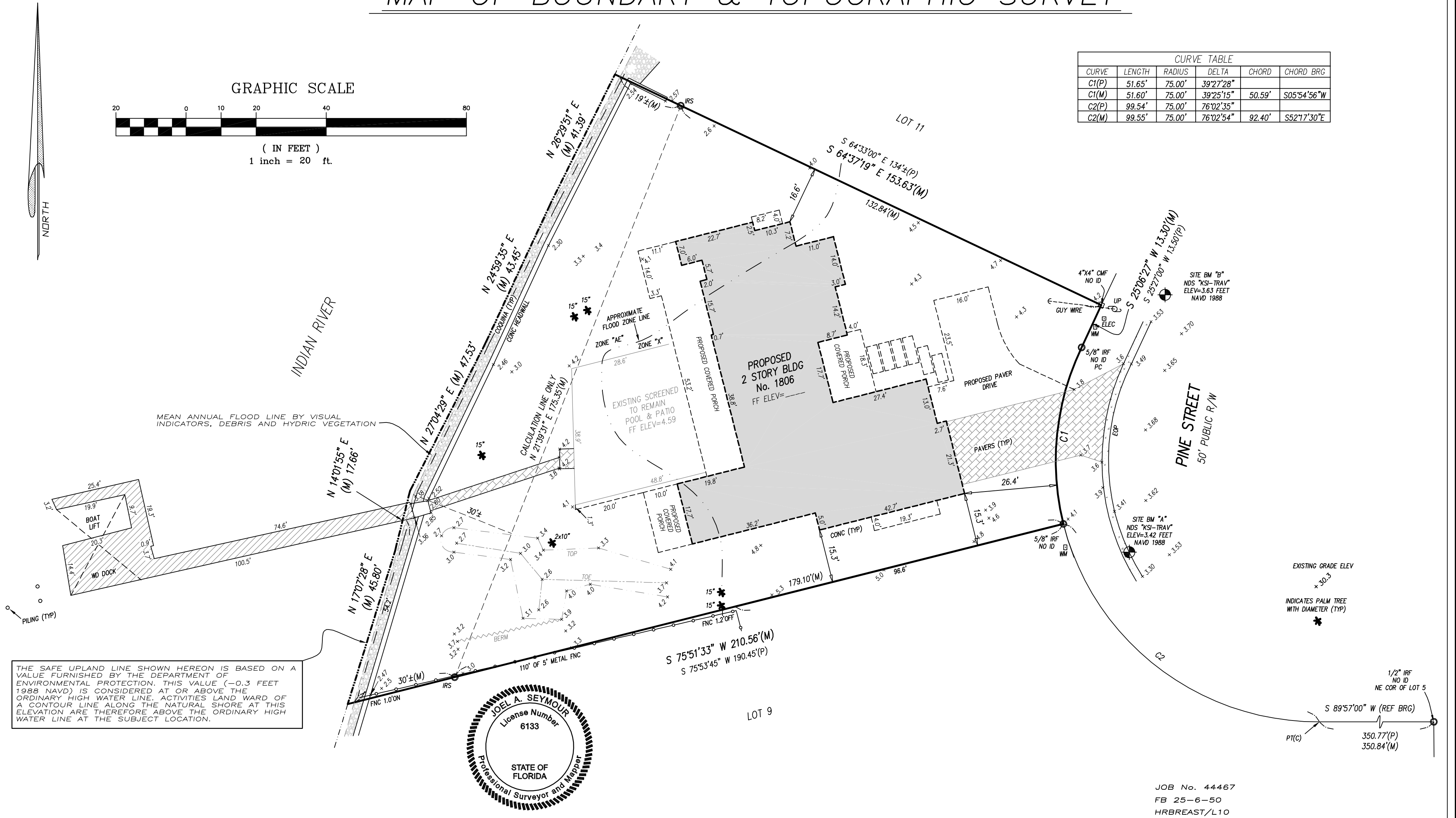
LEGAL DESCRIPTION:

LOT 10, HARBOR EAST SECTION ONE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 17, PAGE 90, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA

BOUNDARY & TOPOGRAPHIC SURVEY	DATE: 10/1/25

Kane Surveying, Inc.
FLORIDA LICENSED BUSINESS No. LB 7838
505 DISTRIBUTION DRIVE
MELBOURNE, FLORIDA 32904
(321) 676-0427

MAP OF BOUNDARY & TOPOGRAPHIC SURVEY



CERTIFIED TO:
COREY RUNTE

CERTIFICATION:

I HEREBY CERTIFY: THAT THE ATTACHED SURVEY WAS DONE UNDER MY DIRECTION AND MEETS THE STANDARDS AND PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

DATE: 11/17/25
JOEL A. SEYMOUR PROFESSIONAL LAND SURVEYOR AND MAPPER
STATE OF FLORIDA No. 6133

DRAWN BY: JIL

SCALE 1 INCH = 20 FEET

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WIT-COR = 5/8" IRON ROD SET WITH CAP
 "WITNESS LB 7838"
WM = WATER METER

LEGAL DESCRIPTION:

LOT 10, HARBOR EAST SECTION ONE, ACCORDING TO THE PLAT
THEREOF, AS RECORDED IN PLAT BOOK 17, PAGE 90, PUBLIC
RECORDS OF BREVARD COUNTY, FLORIDA

BOUNDARY & TOPOGRAPHIC SURVEY	DATE: 10/1/25
SUL & MAFL ADDED	DATE: 11/14/25

Kane Surveying, Inc.
FLORIDA LICENSED BUSINESS No. LB 7838
505 DISTRIBUTION DRIVE
MELBOURNE, FLORIDA 32904
(321) 676-0427

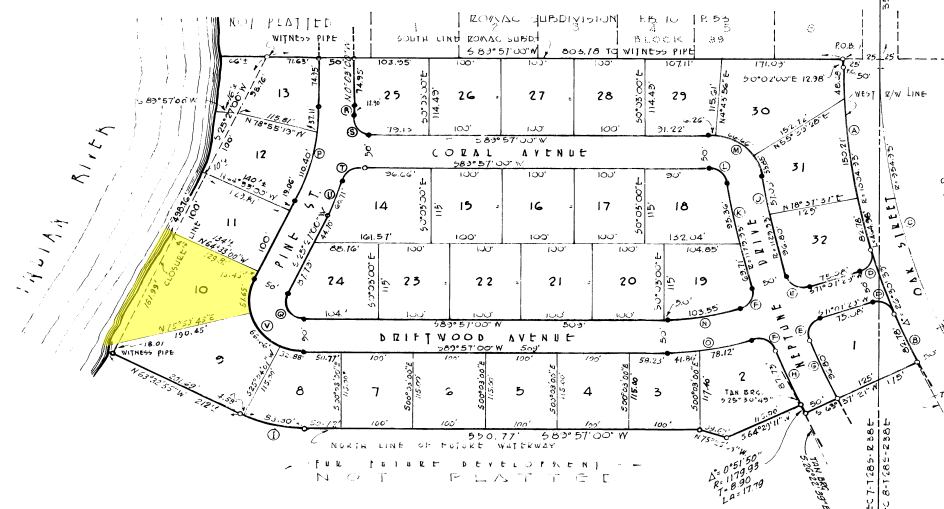
HARBOR EAST

SECTION ONE

Melbourne Beach, Brevard County Florida

A SUBDIVISION OF A PART OF SECTION 7 AND SECTION 8, TOWNSHIP 28 SOUTH, RANGE 38 EAST, BREVARD COUNTY, FLA.

BEGIN AT A POINT ON THE SOUTH LINE OF ROMAC SUBDIVISION ACCORDING TO THE PLAT THEREOF IN PLAT BOOK 10, PAGE 53 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, SAID POINT BEING 25 FT. WESTERLY OF THE SOUTHEAST COR. OF BLK. 39, SAID ROMAC SUBDIVISION. FOR THE FIRST CALL OF THE LANDS HEREIN DESCRIBED RUN S 83° 57' 00" W ALONG THE SAID SOUTH LINE OF ROMAC SUBDIVISION, AND ON A PROJECTION THEREOF A DIST. OF 66 FT. MORE OR LESS, TO THE EASTERLY MEAN HIGH WATER LINE OF THE INDIAN RIVER, PASSING OVER A WITNESS PIPE AT A DIST. OF 803.78 FT.; RETURN THENCE TO THE POINT OF BEGINNING AND RUN THENCE S 00° 02' 00" E ALONG THE WESTERLY RIGHT-OF-WAY LINE OF OAK STREET 12.98 FT. TO THE P.C. OF A RIGHT-OF-WAY CURVE CONCAVE TO THE N.E. HAVING A RADIUS OF 1004.93 FT. AND A CENTRAL ANGLE OF 26° 30' 59"; THENCE ALONG THE ARC OF SAID CURVE 464.98 FT. TO A POINT, THENCE FROM A TANGENT BEG. OF S 26° 22' 53" E RUN S 63° 37' 21" W A DIST. OF 175 FT. TO A POINT ON A CURVE CONCAVE TO THE N.E. HAVING A RADIUS OF 1179.93 FT. AND A CENTRAL ANGLE OF 0° 51' 50"; THENCE FROM A TANGENT BEG. OF S 26° 22' 53" E RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE 17.75 FT. TO A POINT, THENCE FROM A TANGENT BEG. OF S 25° 27' 00" W A DIST. OF 428.76 FT. FROM THE WITNESS PIPE OF THE FIRST CALL AFORESAID, THENCE N 75° 25' 33" W A DIST. OF 39.67 FT.; THENCE S 83° 57' 00" W A DIST. OF 550.77 FT. TO THE P.C. OF A CURVE CONCAVE TO THE N.E. HAVING A RADIUS OF 190.00 FT. AND A CENTRAL ANGLE OF 26° 30' 59"; THENCE 87.85 FT. ALONG THE ARC OF SAID CURVE; THENCE N 63° 32' 25" W A DIST. OF 212 FT. MORE OR LESS, TO THE SAID EASTERLY MEAN HIGH WATER LINE OF THE INDIAN RIVER, PASSING OVER A WITNESS PIPE AT A DIST. OF 201.65 FT.; SAID WITNESS PIPE BEING 5° 27' 00" W A DIST. OF 428.76 FT. FROM THE WITNESS PIPE OF THE FIRST CALL AFORESAID; THENCE NORTHERLY ALONG THE SAID EASTERLY MEAN HIGH WATER LINE OF THE INDIAN RIVER TO CLOSE ON THE FIRST CALL AFORESAID.



MARK	Δ	Δ	Δ	Δ	Δ
A	16° 03' 34"	1004.93	141.77	261.67	280.75
B	4° 43' 11"	1004.93	41.41	82.78	87.75
C	28° 30' 39"	254.93	234.81	441.85	437.63
D	87° 15' 09"	25.00	23.81	36.06	34.49
E	72° 35' 57"	25.00	26.16	40.40	36.15
F	87° 37' 18"	25.00	23.98	36.23	34.61
G	4° 54' 51"	1123.93	48.45	96.80	96.77
H	5° 07' 26"	1179.93	52.80	105.52	105.48
I	26° 30' 05"	150.00	44.74	87.85	87.10
J	7° 48' 01"	1123.93	77.03	153.89	153.71
K	8° 00' 56"	1179.93	82.67	165.07	164.94
L	01° 54' 01"	25.00	21.57	35.59	32.66
M	61° 34' 07"	75.00	64.70	106.77	97.98
N	18° 49' 51"	515.16	52.25	103.55	103.08
O	18° 49' 51"	363.16	60.55	119.98	119.44
P	23° 37' 00"	351.48	75.00	147.91	146.20
Q	115° 30' 00"	25.00	39.62	50.40	42.29
R	1° 56' 16"	381.45	6.45	12.90	12.00
S	92° 02' 15"	25.00	25.01	40.16	35.98
T	73° 37' 05"	25.00	18.71	32.12	29.36
U	3° 07' 45"	861.45	50.42	60.71	60.65
V	115° 30' 00"	75.00	118.87	151.19	126.86

GENERAL NOTES:

1. OPEN CIRCLE DENOTES PERMANENT REFERENCE MONUMENTS. (CLOSED CIRCLE DENOTES INTERIOR MON.)
2. A 75 FT. PUBLIC UTILITIES AND DRAINAGE EASEMENT IS RESERVED ALONG THE REAR OF ALL LOTS (EXCEPT THOSE LOTS ON THE RIVER AND ON OAK ST.)
3. ALL LOTS WITH CURVED FRONT LINES HAVE A MINIMUM BLDG. SET-BACK OF 30 FT.
4. BLDGS. SHOWN ARE BASED ON THE EAST LINE OF SEC. 7 BEING N 0° 02' 00" W AND DO NOT REFER TO TRUE MERIDIAN.
5. ALL DIST. SHOWN ON CURVED LINES REFER TO ARC DIMENSIONS.

KNOW ALL MEN BY THESE PRESENTS, That LEROY F. HIXBY, Trustee for RADIATION EMPLOYEES Trust Fund, owner & holder of a certain mortgage dated Sept. 1, 1962, and filed Oct. 2, 1962 in O.R. BK 531, Pp. 134, Brevard County Public Records, said mortgage encumbering the property described herein, do hereby consent and join in the recording of this plat.

IN WITNESS WHEREOF, I have hereunto set my hand & seal this 1st day of December, 1962.

Notary Public - State of Florida
My Commission Expires

KNOW ALL MEN BY THESE PRESENTS, That MELBOURNE INVESTMENT CORPORATION, owner & holder of a certain mortgage dated May 15, 1961, and filed May 18, 1961 in O.R. BK 483, Pp. 642, Brevard County Public Records, said mortgage encumbering the property described herein, do hereby consent and join in the recording of this plat.

IN WITNESS WHEREOF, I have hereunto set my hand & seal this 1st day of December, 1962.

Notary Public - State of Florida
My Commission Expires

KNOW ALL MEN BY THESE PRESENTS, That JAMES O. BROWARD, Trustee for JAMES O. BROWARD, owner & holder of a certain mortgage dated May 15, 1961, and filed May 18, 1961 in O.R. BK 483, Pp. 642, Brevard County Public Records, said mortgage encumbering the property described herein, do hereby consent and join in the recording of this plat.

IN WITNESS WHEREOF, I have hereunto set my hand & seal this 1st day of December, 1962.

Notary Public - State of Florida
My Commission Expires

OUTLAW, TUCKER & ASSOCIATES, INC.
CONSULTING ENGINEERS
EAU GALIE, FLORIDA

PLAT BOOK 17
AND PAGE 90

311511

DEDICATION

KNOW ALL MEN BY THESE PRESENTS, That the Corporation named below, being the owner in fee simple of the lands described in the foregoing caption to this plat, hereby dedicates said lands and plat for the uses and purposes therein expressed and dedicates the Streets, alleys, thoroughfares, parks, canals and drainage easements shown hereon to the perpetual use of the public, and

IN WITNESS WHEREOF, has caused these presents to be signed and attested to by the officers named below and its corporate seal to be affixed hereto on this 21st day of December, 1962.

By: Martin J. McQuinn Jr. President

Attest: Bernice M. McQuinn Secretary

Signed and sealed in the presence of:

Charles L. Mullen

Charles L. Mullen

STATE OF Florida COUNTY OF Brevard

THIS IS TO CERTIFY, That on November 12, 1962 before me, an officer duly authorized to take acknowledgments in the State and County aforesaid, personally appeared Martin J. McQuinn Jr. and Bernice M. McQuinn, respectively President and Secretary

of the above named corporation incorporated under the laws of the State of Florida, to me known to be the individuals and officers described in and who executed the foregoing Dedication and severally acknowledged the execution thereof to be their free act and deed as such officers thereto duly authorized; that the official seal of said corporation is duly affixed thereto; and that the said Dedication is the act and deed of said corporation.

IN WITNESS WHEREOF, I have hereto set my hand and seal on the above date.

Notary Public

My Commission Expires

SEAL

CERTIFICATE OF SURVEYOR

KNOW ALL MEN BY THESE PRESENTS, That the undersigned, being a licensed and registered land surveyor, does hereby certify that on

March 18, 1963 he completed the survey of the lands as shown in the foregoing plat, that said plat is a correct representation of the lands therein described and that permanent reference monuments have been placed as shown thereon as required by Chapter 177, Florida Statutes; and that said land is located in Brevard County, Florida, dated March 28, 1963

William L. Hoffman Registration No. 1824

CERTIFICATE OF APPROVAL BY MUNICIPALITY

THIS IS TO CERTIFY, That on October 23, 1962 the

Board of Melbourne Beach, Brevard County, Florida approved the foregoing plat.

James J. McQuinn Jr. MAYOR.

ATTEST: Thomas J. McQuinn Jr. CITY CLERK.

CERTIFICATE OF APPROVAL BY BOARD OF COUNTY COMMISSIONERS

THIS IS TO CERTIFY, That on October 23, 1962 the foregoing plat was approved by the Board of County Commissioners of Brevard County, Florida.

Attest: Chairman of the Board.

Clerk of the Board.

Approved County Engineer

CERTIFICATE OF APPROVAL BY ZONING COMMISSION

THIS IS TO CERTIFY, That on October 22, 1962 the Zoning Commission of the above Municipality approved the foregoing plat.

James J. McQuinn Jr. Zoning Director.

CERTIFICATE OF CLERK

I HEREBY CERTIFY, That I have examined the foregoing plat and find that it complies in form with all the requirements of Chapter 177, Florida Statutes, and was filed for record on April 3, 1963 at 11:11 AM File No. 1111

Clara H. Homan

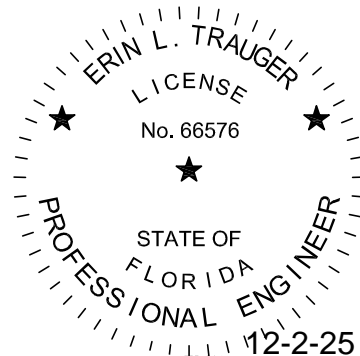
Clerk of the Circuit Court in and for Brevard County, Fla.



STORMWATER CALCULATIONS

SUBMITTED TO:
Town of Melbourne Beach

REVISION DATE: 12-2-25



THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ERIN TRAUGER, PE ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Erin Trauger, P.E.
FL License No. 66576

1806 Pine Street
Residence

I. Introduction

The goal of this report is to detail requirements of compliance of the stormwater treatment system for the proposed improvements. The proposed single family residence improvements include a new single-family house located at 1806 Pine Street in the Town of Melbourne Beach, Florida. The Brevard County Property Appraiser Aerial and Details have been included for reference.

II. Existing Conditions

There is currently a house on this lot but there is no existing stormwater treatment. Much of the lot drains toward the east directly to the river with the remainder of the lot drainage to Third Avenue that ultimately discharges directly to the river.

III. Proposed Conditions

The proposed site improvements involve the construction of the new single-family house with porch as well as driveway and garage connected by a breezeway. A treatment swale is proposed mostly along the shoreline of the property to provide for stormwater treatment required on the lot before discharge to the river. Stormwater runoff created by the impervious surface for this project will be collected on-site and directed to the dry retention swales to treat the stormwater runoff. The 10 year 24 hour storm event was evaluated using the combined volume of the swales to verify retainage of the 8" storm event.

IV. Required Stormwater Calculations

A complete summary report has been provided in the attachments to include volume calculations for the proposed stormwater system, HydroCAD stormwater modeling information for the 10 year 24 hour storm event and a MODRET recovery analysis to ensure the Town of Melbourne Beach stormwater requirements are met. Also included in attached calculations are the soils reports provided by KSM Engineering identifying the season high water table and the percolation test results for conditions at the property. The following considerations were included in the evaluation.

- 8" of runoff from a 10-yr/24 hour storm event was evaluated for the 0.47 acre drainage basin at 1806 Pine Street (including the proposed improvements) using HydroCAD and zero discharge is proposed from the storm collection ponds for this storm event.
- 25-Canaveral-Palm Beach-Urban land Complex and 72-Welaka sand has been determined to be the soils mapped according to the Soils Survey Map of Brevard County which is reflect in the weighted average CN value using A soil values for grass.

- The Season High Water Table information is provided in the table below and the soils report completed by KSM Engineering and Testing is provided in the attachments for review. The highest value encountered was utilized for recovery analysis purposes.

Boring#	Natural Ground	Existing Ground Water Elevation	Estimated Wet Season Ground Water Table
HA-1	4.0	0.6	1.5

- The peak stage of the storm ponds remains below the top of bank.
- The pond area is proposed to include removal of any organic build up under the ponds such that the horizontal and vertical percolation rate are maintained. Based on the soils report these high percolations rate sands are available onsite and therefore the pond volume recovery will be less than 72 hours for the 8 inch storm event.

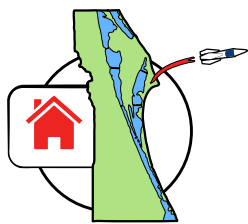
V. Summary

As presented in the details above it has been determined that the proposed dry retention stormwater treatment system satisfies the design requirements of the Town of Melbourne Beach for the 10 year 24 hour-8 inch storm event.

LOCATION INFORMATION



All BCPAO maps and/or map applications are maintained for assessment and illustrative purposes only and do not represent surveys, plats, or any other legal instrument. Likewise, measurement and location tools are for assessment and illustrative purposes only and do not necessarily reflect real-world conditions. Due to the nature of Geographic Information Systems (GIS) and cadastral mapping, map layers may not precisely align and may not represent precise location, shape, and/or legal boundaries. Only a Florida-licensed surveyor can determine legally-relevant property boundaries, elevation, distance, area, and/or location in Florida.



Dana Blickley, CFA, Brevard County Property Appraiser
Titusville • Viera • Melbourne • Palm Bay

(321) 264-6700
www.bcpao.us
Disclaimer

REAL PROPERTY DETAILS
Account 2847708 - Roll Year 2025

Owners	C H GUNTHORPE & LUCY A GUNTHORPE REVOCABLE TRUST
Mailing Address	1806 PINE ST MELBOURNE BEACH FL 32951
Site Address	1806 PINE ST MELBOURNE BEACH FL 32951
Parcel ID	28-38-07-50-* -10
Taxing District	34X0 - MELBOURNE BEACH
Exemptions	HEX1 - HOMESTEAD FIRST HEX2 - HOMESTEAD ADDITIONAL
Property Use	0110 - SINGLE FAMILY RESIDENCE
Total Acres	0.47
Site Code	0110 - RIVER FRONT
Plat Book/Page	0017/0090
Subdivision	HARBOR EAST SEC 1
Land Description	HARBOR EAST SEC 1 LOT 10



VALUE SUMMARY

Category	2025	2024	2023
Market Value	\$1,330,590	\$1,341,760	\$1,423,320
Agricultural Land Value	\$0	\$0	\$0
Assessed Value Non-School	\$561,990	\$546,360	\$530,450
Assessed Value School	\$561,990	\$546,360	\$530,450
Homestead Exemption	\$25,000	\$25,000	\$25,000
Additional Homestead	\$25,722	\$25,000	\$25,000
Other Exemptions	\$0	\$0	\$0
Taxable Value Non-School	\$511,268	\$496,360	\$480,450
Taxable Value School	\$536,990	\$521,360	\$505,450

SALES / TRANSFERS

Date	Price	Type	Instrument
01/27/2023	--	DC	9717/0898
07/27/2018	--	WD	8227/0661
02/28/1989	--	QC	2984/0919
03/01/1969	\$11,500	--	1070/0821

BUILDINGS

PROPERTY DATA CARD #1

Building Use: 0110 - SINGLE FAMILY RESIDENCE			
Materials		Details	
Exterior Wall:	STUCCO	Year Built	1969
Frame:	MASNRYCONC	Story Height	8
Roof:	ASPH/ASB SHNGL	Floors	1
Roof Structure:	HIP/GABLE	Residential Units	1
		Commercial Units	0
Sub-Areas		Extra Features	
Base Area (1st)	2,394	Spa - Residential Attached	1
Garage	678	Paving - Stone	702
Open Porch	66	All Screen - 1 Story	1,235
Total Base Area	2,394	Pool - Residential	1
Total Sub Area	3,138	Fireplace	1
		Dock Roof - Metal	725
		Screen Enclosure	756
		Paving - Stone	60
		Dock	946

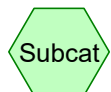
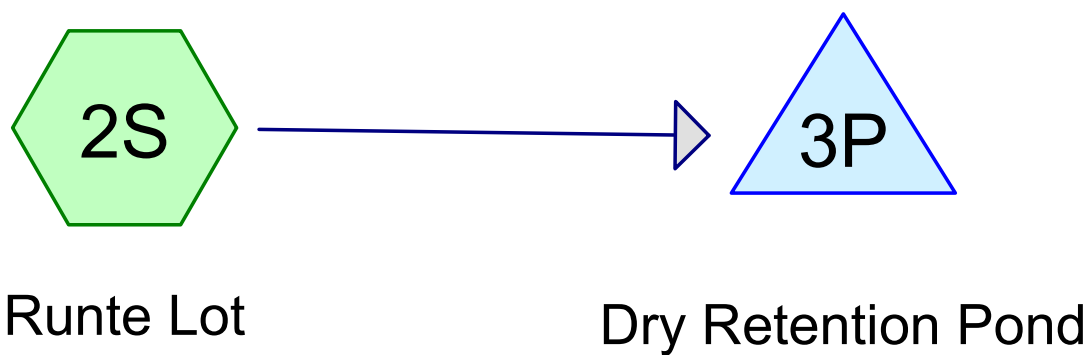
DATA AND CALCULATIONS

STORMWATER CALCULATIONS**Post-Development Drainage Basin Data: Type A Soils**

Cover Type	Area (acres)	CN Value
Impervious	8708.00	98
Pervious	12058.00	39
Total Area	20766.00	64

Stage/Storage Volume of Dry Retention Pond:

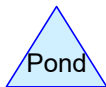
Elevation (Feet)	Area (Sq. Ft.)	Avg. Area (Sq. Ft.)	Volume (Cu. Ft.)	Sum. Volume (Cu. Ft.)
4.50	4,015	2,808	1,965	1,965
3.80	1,600		0	0



Subcat



Reach



Pond



Link

Routing Diagram for Runte on Pine

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Runte on Pine

Prepared by Trauger Consulting Engineers, Inc

Printed 12/1/2025

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Page 2

Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.277	39	>75% Grass cover, Good, HSG A (2S)
0.200	98	Roofs, HSG A (2S)
0.477	64	TOTAL AREA

Runte on Pine

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Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.477	HSG A	2S
0.000	HSG B	
0.000	HSG C	
0.000	HSG D	
0.000	Other	
0.477		TOTAL AREA

Runte on Pine

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Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.277	0.000	0.000	0.000	0.000	0.277	>75% Grass cover, Good	2S
0.200	0.000	0.000	0.000	0.000	0.200	Roofs	2S
0.477	0.000	0.000	0.000	0.000	0.477	TOTAL AREA	

Runte on Pine*Type II FL 24-hr 10 YR 24 HR Rainfall=8.00"*

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Time span=0.00-30.00 hrs, dt=0.01 hrs, 3001 points

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN

Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment 2S: Runte Lot

Runoff Area=20,766 sf 41.93% Impervious Runoff Depth=3.78"

Tc=10.0 min CN=64 Runoff=1.14 cfs 0.150 af

Pond 3P: Dry Retention Pond

Peak Elev=4.22' Storage=921 cf Inflow=1.14 cfs 0.150 af

Outflow=0.67 cfs 0.150 af

Total Runoff Area = 0.477 ac Runoff Volume = 0.150 af Average Runoff Depth = 3.78"
58.07% Pervious = 0.277 ac 41.93% Impervious = 0.200 ac

Runte on Pine

Type II FL 24-hr 10 YR 24 HR Rainfall=8.00"

Prepared by Trauger Consulting Engineers, Inc

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Summary for Subcatchment 2S: Runte Lot

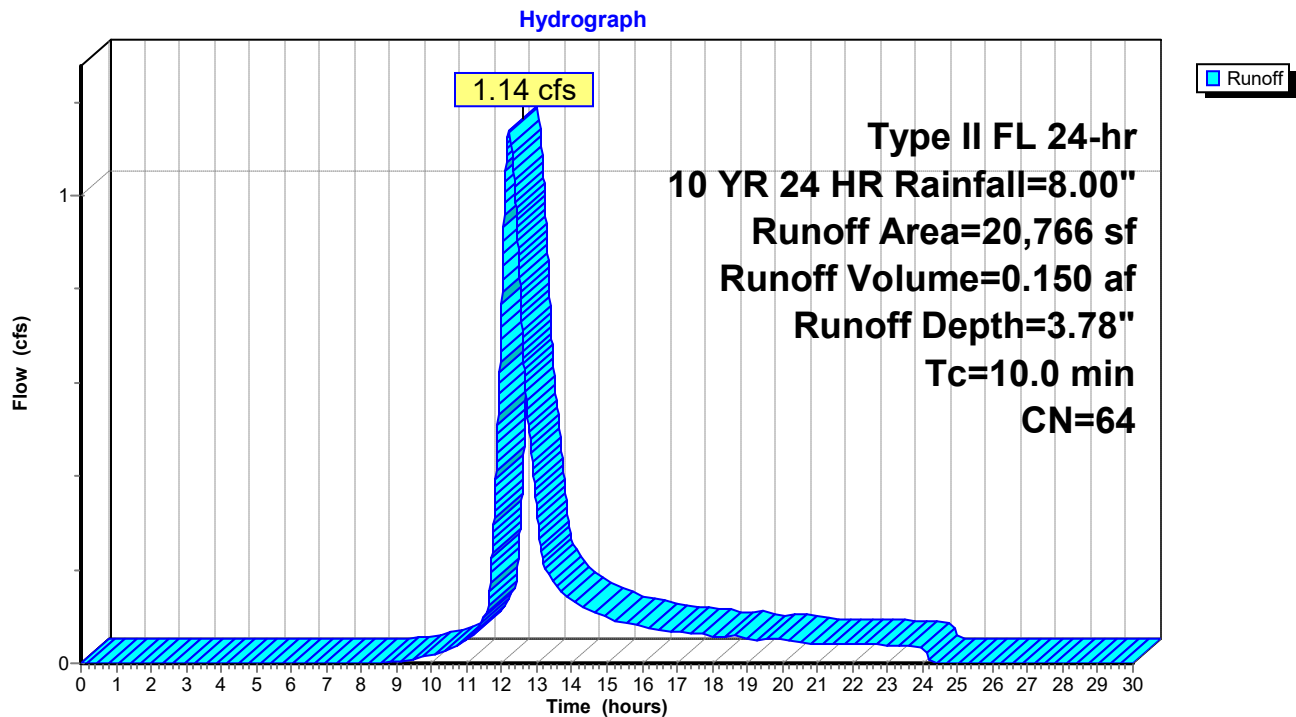
Runoff = 1.14 cfs @ 12.21 hrs, Volume= 0.150 af, Depth= 3.78"

Routed to Pond 3P : Dry Retention Pond

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs
Type II FL 24-hr 10 YR 24 HR Rainfall=8.00"

Area (sf)	CN	Description
8,708	98	Roofs, HSG A
12,058	39	>75% Grass cover, Good, HSG A
20,766	64	Weighted Average
12,058		58.07% Pervious Area
8,708		41.93% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 2S: Runte Lot

Runte on Pine

Type II FL 24-hr 10 YR 24 HR Rainfall=8.00"

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Summary for Pond 3P: Dry Retention Pond

Inflow Area = 0.477 ac, 41.93% Impervious, Inflow Depth = 3.78" for 10 YR 24 HR event
 Inflow = 1.14 cfs @ 12.21 hrs, Volume= 0.150 af
 Outflow = 0.67 cfs @ 12.61 hrs, Volume= 0.150 af, Atten= 41%, Lag= 23.8 min
 Discarded = 0.67 cfs @ 12.61 hrs, Volume= 0.150 af

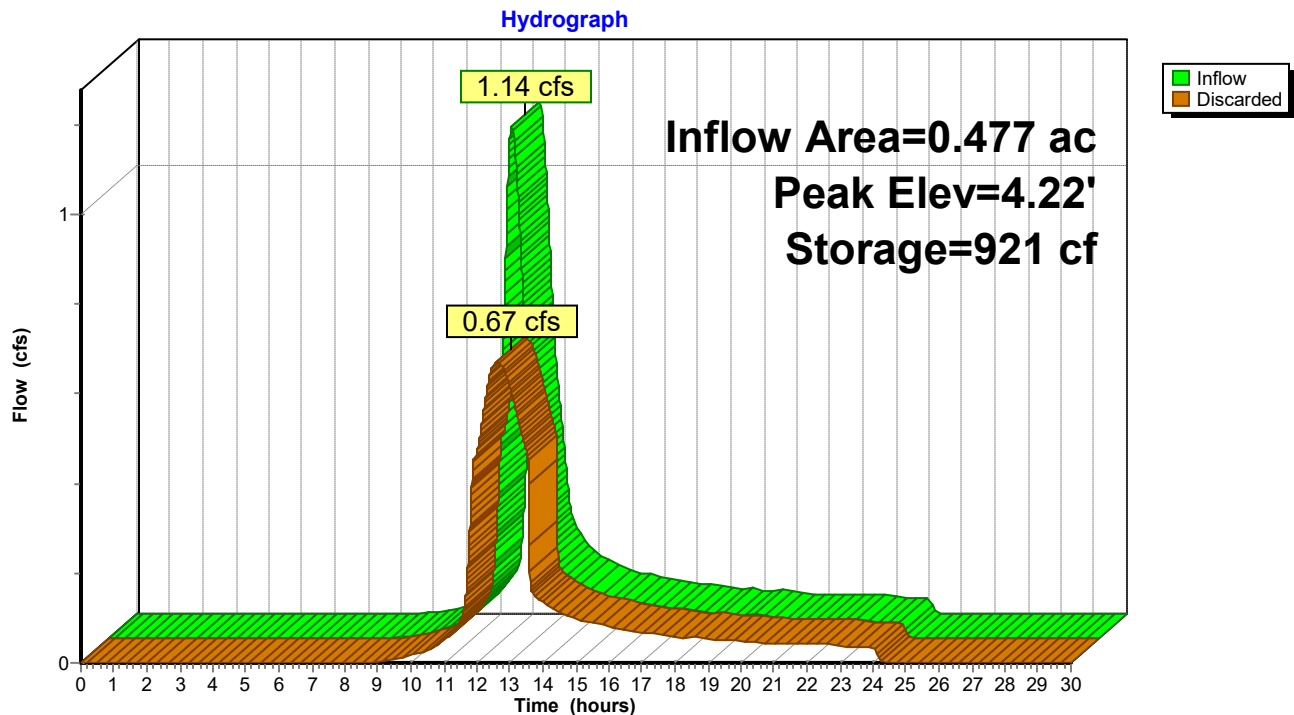
Routing by Dyn-Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs
 Peak Elev= 4.22' @ 12.61 hrs Surf.Area= 2,503 sf Storage= 921 cf

Plug-Flow detention time= 8.5 min calculated for 0.150 af (100% of inflow)
 Center-of-Mass det. time= 8.5 min (866.5 - 858.0)

Volume	Invert	Avail.Storage	Storage Description
#1	3.80'	1,689 cf	30.00'W x 64.00'L x 0.70'H Prismatoid Z=7.0

Device	Routing	Invert	Outlet Devices
#1	Discarded	3.80'	10.000 in/hr Exfiltration over Surface area Conductivity to Groundwater Elevation = 1.50' Phase-In= 0.01'

Discarded OutFlow Max=0.67 cfs @ 12.61 hrs HW=4.22' (Free Discharge)
 ↑1=Exfiltration (Controls 0.67 cfs)

Pond 3P: Dry Retention Pond

MODRET

SUMMARY OF UNSATURATED & SATURATED INPUT PARAMETERS

PROJECT NAME : 1806 Pine Street
POLLUTION VOLUME RUNOFF DATA USED
UNSATURATED ANALYSIS INCLUDED

Pond Bottom Area	1,600.00 ft²
Pond Volume between Bottom & DHWL	1,965.00 ft³
Pond Length to Width Ratio (L/W)	3.00
Elevation of Effective Aquifer Base	0.00 ft
Elevation of Seasonal High Groundwater Table	1.00 ft
Elevation of Starting Water Level	3.80 ft
Elevation of Pond Bottom	3.80 ft
Design High Water Level Elevation	4.50 ft
Avg. Effective Storage Coefficient of Soil for Unsaturated Analysis	0.17
Unsaturated Vertical Hydraulic Conductivity	10.00 ft/d
Factor of Safety	2.00
Saturated Horizontal Hydraulic Conductivity	20.00 ft/d
Avg. Effective Storage Coefficient of Soil for Saturated Analysis	0.19
Avg. Effective Storage Coefficient of Pond/Exfiltration Trench	1.00

Hydraulic Control Features:

Groundwater Control Features - Y/N

Distance to Edge of Pond

Elevation of Water Level

Impervious Barrier - Y/N

Elevation of Barrier Bottom

Top	Bottom	Left	Right
N	N	N	N
0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00

N	N	N	N
0.00	0.00	0.00	0.00

MODRET

TIME - RUNOFF INPUT DATA

PROJECT NAME: 1806 PINE STREET

STRESS PERIOD NUMBER	INCREMENT OF TIME (hrs)	VOLUME OF RUNOFF (ft³)
Unsat	2.28	761.60
1	1.00	1,203.40
2	8.59	0.00
3	8.59	0.00
4	8.59	0.00
5	8.59	0.00
6	8.59	0.00
7	8.59	0.00
8	8.59	0.00
9	8.59	0.00

MODRET
SUMMARY OF RESULTS

PROJECT NAME : 1806 Pine Street

CUMULATIVE TIME (hrs)	WATER ELEVATION (feet)	INSTANTANEOUS INFILTRATION RATE (cfs)	AVERAGE INFILTRATION RATE (cfs)	CUMULATIVE OVERFLOW (ft³)
00.00 - 0.00	1.000	0.000 *		
			0.00000	
0.00	1.000	0.09274		
			0.07985	
3.28	4.164	0.06695		0.00
			0.03323	
11.82	3.800	0.02643		0.00
			0.01962	
20.46	3.581	0.01673		0.00
			0.01385	
29.05	3.429	0.01231		0.00
			0.01078	
37.64	3.310	0.00983		0.00
			0.00888	
46.23	3.212	0.00823		0.00
			0.00758	
54.82	3.129	0.00710		0.00
			0.00662	
63.41	3.056	0.00625		0.00
			0.00588	
72.00	2.991			0.00

Maximum Water Elevation: 4.164 feet @ 3.28 hours Recovery @ 11.817 hours
* Time increment when there is no runoff
Maximum Infiltration Rate: 2.458 ft/day

SOILS REPORT AND MAP INFORMATION

Melbeach Investments LLC
402 Riverview Lane
Melbourne Beach, FL 32951

November 13, 2025
KSM Project No. 2507322-p
Revised December 1, 2025

Attention: Mr. Corey Runte

**Subject: Additional Subsurface Investigation and
Geotechnical Engineering Evaluation
Stormwater Improvements at 1806 Pine Street
Melbourne Beach, Brevard County, Florida**

Dear Mr. Runte:

As requested, **KSM Engineering & Testing (KSM)** has performed an additional subsurface investigation and geotechnical engineering evaluation at the above referenced site. Presentation of the data gathered during the investigation, together with our geotechnical related opinions, are included in this report.

Scope of Work and Professional Service Agreement:

The scope of work for our services provided is based upon KSM Proposal No. 250761, dated October 9, 2025, which was authorized and returned to us later that day.

Site and Location Description:

The 0.47± acre riverfront lot is located on the west side of Pine Street and on the east side of the Indian River, in Melbourne Beach, Brevard County, Florida. At the time of our investigation, the site was developed with a single-family residence with a footprint of 3,138± square feet and an associated swimming pool, which were constructed in 1969.

Project Description:

Based on our conversations and on our review of the provided Boundary and Topographic Survey, prepared by Kane Surveying, Inc., dated October 1, 2025, we understand that this phase of the project entails the design and construction of stormwater improvements at the subject site, and soil and groundwater conditions are required by your engineers to perform their stormwater analysis.

We note that, as requested, our subsurface exploration program for this phase of the project was limited to the location requested and does not include geotechnical explorations or engineering recommendations relative to the proposed structures; such explorations are recommended to explore bearing capacity of on-site soils and to generate data necessary to provide site preparation and bearing capacity recommendations.

If the construction plans differ from our understanding and assumptions of this phase of the project as stated above, we should be notified immediately to allow for re-evaluation of the recommendations in this report.

Scope of Services Performed:

1. Reviewed the United States Department of Agriculture (USDA) Natural Resources Conservation Service (NRCS) Web Soil Survey to determine the predominant surficial soil types within the subject area.
2. Performed a soil boring at an accessible location in the general vicinity of the requested location.
3. Measured the depth to the groundwater level encountered at each boring location.
4. Performed a field Usual Open-Hole Test at a selected location within the area requested.
5. Reviewed the field soil boring logs and visually classified the soil samples in our laboratory.
6. Evaluated the subsurface soil conditions encountered and prepared this report to document our findings and summarize our conclusions and recommendations.

NRCS Surficial Soil Information:

Based on KSM's review of the USDA soils survey for Brevard County, NRCS indicates that the following USDA soil mapping units were identified within the limits of the project.

25: Canaveral-Palm Beach-Urban land complex – The typical profile of this soil reportedly consists of layers of sand that extend to a depth of about 80 inches below the surface. The seasonal high groundwater level is typically within 1 to 3 feet of the natural ground surface.

72: Welaka sand – The typical profile of this soil reportedly consists of layers of sand that extend to a depth of about 80 inches below the surface. The seasonal high groundwater level is typically between 4 to 5 feet of the natural ground surface.

The general location of the subject area is shown on a reproduction of an aerial photograph which was obtained from the USDA Web Soil Survey and is presented as the attached USDA Soils Survey Map.

Subsurface Investigation:

Field Exploration Program – Our site exploration program during this phase of the project consisted of performing one (1) hand auger boring to an approximate depth of 6 feet below the existing ground surface, and one (1) Usual Open-Hole Test at an approximate depth of 5 feet below the existing ground surface, within the general vicinity of the proposed stormwater improvements.

The approximate location of the boring is illustrated on a reproduction of an aerial photograph and is presented as the attached Boring Location Plan. This location was determined in the field by estimating distances from existing site features and other points of reference and should be considered accurate only to the degree implied by the method of measurement used. If a more accurate boring location is required, we recommend that the location be surveyed by a licensed surveyor.

General Soil Profile – The stratification of the boring profile represents our interpretation of the field boring log and the laboratory test results of the recovered samples. The stratification lines represent the approximate boundary between soil types. The actual transitions may be more gradual than implied.

As shown on the soil boring profile, the hand auger boring typically encountered dark brown sand in the upper 1 foot, underlain by light brown sand to the auger termination depth of 6 feet.

Measured Groundwater Level – The groundwater level was measured in the borehole on the day drilled, after stabilization of the downhole water level. As shown on the attached soil boring profile, groundwater was encountered at an approximate depth of 3.4 feet on the date indicated. We estimate the normal seasonal high groundwater level will be about 2.5 feet below the existing ground surface in the general vicinity of the location of our soil boring.

Fluctuations in groundwater levels should be anticipated throughout the year due to a variety of factors including tidal fluctuations due to the proximity of the site to the Indian River, as well as due to seasonal variations in the amount of rainfall, elevated tidal events, and other factors not evident at the time the boring was performed. Therefore, groundwater levels during construction or at other times in the future may be higher or lower than the levels indicated on the soil boring profiles.

Laboratory Testing Program:

Upon completion of our field exploration activities, the field soil boring logs and recovered soil samples were transported to our soils laboratory from the project site for further review and testing. The soil classifications and other pertinent data obtained from our field explorations and laboratory observations are reported on the attached soil boring profiles. All laboratory testing was performed in general accordance with applicable laboratory standards and/or industry standards with a standard practice of care.

Stormwater and Aquifer Parameters:

Based on the results of our exploration, the soils encountered are considered to be relatively permeable.

Factor of Safety – We note that a factor of safety has not been applied to the stormwater and aquifer parameters presented below. An appropriate factor of safety should be applied to these parameters for use in the stormwater design.

Field Test Results – At the test location, a Usual Condition Test was performed in general conformance with the South Florida Water Management District procedures for the ‘Usual Open-Hole Test’ method. The results of this test is presented in the table below.

Field Test Results – Estimated Soil Parameters			
Test Location (See Location Plan)	Approximate Test Depth (ft)	Hydraulic Conductivity (CFS/SF- Ft Head)	Hydraulic Permeability (ft/day)
HA-1	5	1.3×10^{-3}	33.9

Vertical Flow Rates – We consider the measured permeability rate to be indicative of a saturated horizontal permeability. Our experience and published references have indicated that unsaturated vertical permeability as used in some locally available groundwater models is typically about 1/2 to 2/3 the saturated horizontal value.

Hydrologic Soil Group (HSG) Classification and Estimated Fillable Porosity – The HSG classification was estimated based on our interpretation of the estimated aquifer parameters at the time of our investigation and guidance provided by the USDA National Engineering Handbook. KSM has estimated the fillable porosity of the soils above the estimated wet season water table.

HSG and Estimated Fillable Porosity		
Location	HSG	Fillable Porosity
HA-1	A	30%

Closure:

Based upon our subsurface investigation at the above-mentioned project location, the reliance of the recommendations presented within this signed and sealed report is predicated on KSM representative’s involvement in reviewing design plans and performing/monitoring construction testing services. Any design professional utilizing the information within this report are responsible for confirming the accuracy of the project information and assumptions stated in our report and that the soil parameters presented are adequate for the design of the proposed project. If additional parameters are required, KSM is to be notified so that our recommendations can be amended as required.

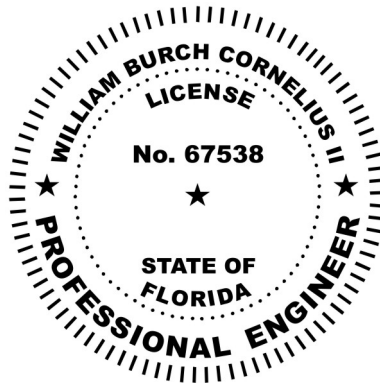
Standard of Care – This report has been prepared in accordance with generally accepted soil and engineering practices and is based on our evaluation of our geotechnical investigation and our stated understanding and assumptions of the proposed project. The procedural standards noted in this report are in reference to methodology in general. In some cases, variations to methods were applied because of local practice or professional judgement. No warranties, either expressed or implied, are intended or made. This report does not reflect any variations which may occur between or away from the borings. If variations appear evident during the course of construction, it would be necessary to re-evaluate the recommendations of this project.

Limitations – Environmental conditions, wetland delineation, karst activity, water quality, and municipal requirements are not a part of this report.

KSM Engineering and Testing should be retained to perform and/or monitor Construction Testing services. If Client elects to not have KSM provide Construction Testing services, the Client shall indemnify and hold KSM and its consultants harmless from and against damages, losses, and judgments arising from claims by Client or any third parties.

We are pleased to have been of assistance to you in this phase of your project. When we may be of further service to you or should you have any questions, please feel free to contact the office.

Respectfully,
KSM Engineering & Testing



Will B. Cornelius II, P.E.
Principal Engineer
Florida License No. 67538

Attachments: USDA Soil Survey Map
 Boring Location Plan
 Soil Boring Profile

Email to: Mr. Corey Runte - CRunte@gmail.com
 Ms. Erin Trauger, P.E. - erin.trauger@gmail.com



USDA SOILS SURVEY

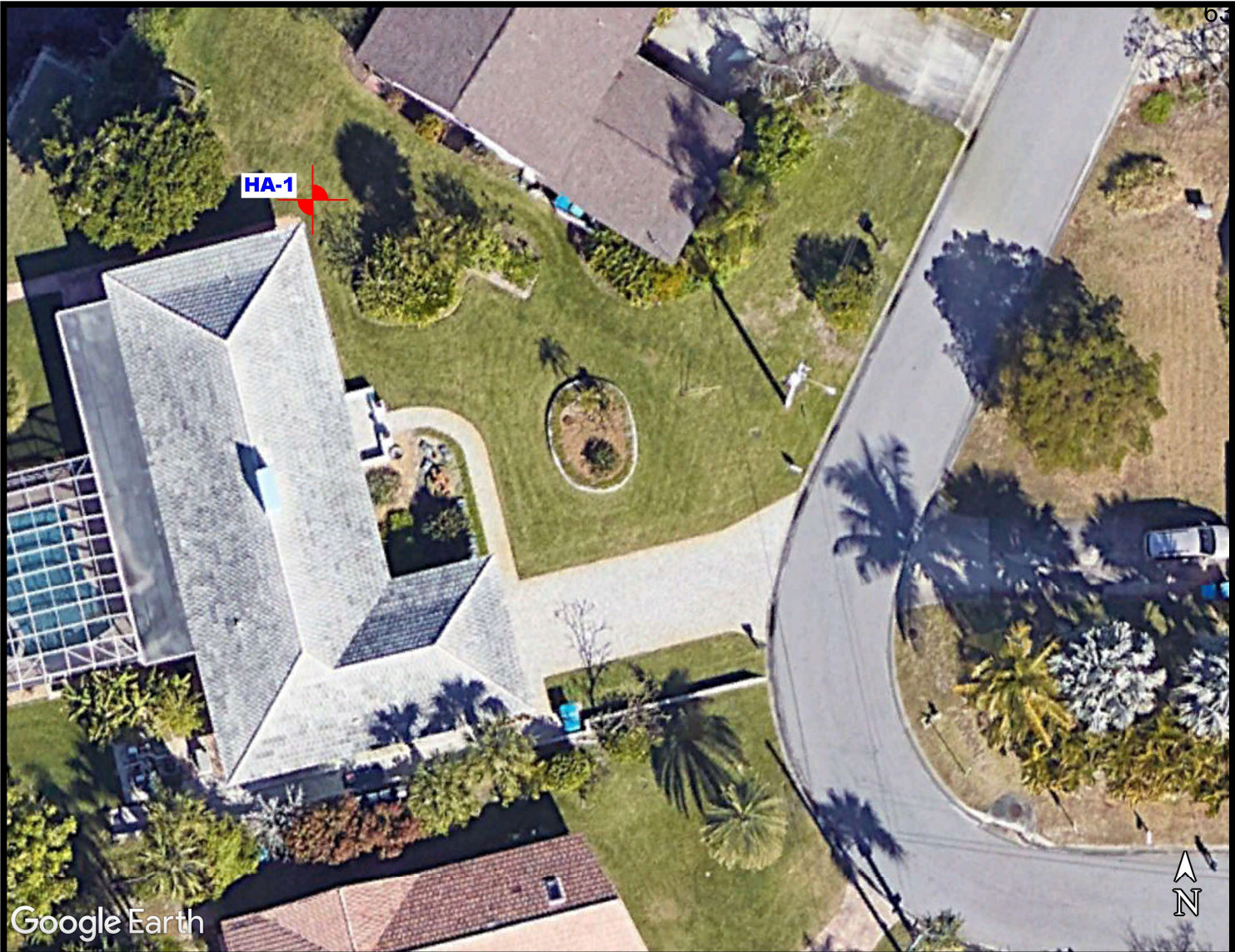
25—Canaveral-Palm Beach-Urban land complex
72—Welaka sand

PROJECT: 1806 Pine Street, Melbourne Beach, Florida

SHEET 1 OF 1
 PERMIT #: N/A
 PROJECT #: 2507322-soils

KSM ENGINEERING
 AND TESTING

DRAWN BY: C.V.
 DATE: 20251111
 SCALE: NOT TO SCALE



APPROXIMATE LOCATION OF SOIL TESTING

PROJECT: 1806 Pine Street, Melbourne Beach, Florida

SHEET 1 OF 1
PERMIT #: N/A
PROJECT #: 2507322-b

KSM ENGINEERING
AND TESTING

DRAWN BY: C.V.
DATE: 20251111
SCALE: NOT TO SCALE



CLIENT Melbeach Investments, LLC

PROJECT NAME 1806 Pine Street

PROJECT NUMBER 2507322-b

PROJECT LOCATION Melbourne Beach, Florida

DATE STARTED 11/10/25

COMPLETED 11/10/25

GROUND ELEVATION

DRILLING CONTRACTOR

GROUND WATER LEVELS:

DRILLING METHOD Auger Boring

AT TIME OF DRILLING 3.4 ft

LOGGED BY CH

NOTES See Attached Location Plan

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	BLOW COUNTS (N VALUE)	SCP VALUE	MOISTURE CONTENT (%)	FINES CONTENT (%)	ORGANIC CONTENT (%)	PERMEABILITY RATE (IN/HR)	ATTERBERG LIMITS		
									PLASTIC LIMIT	LIQUID LIMIT	PLASTIC INDEX
0		Dark Brown Sand		45							
		Light Brown Sand		20							
				15							
				15							
				20							
5				30							

Bottom of borehole at 6.0 feet.

Melbeach Investments LLC
402 Riverview Lane
Melbourne Beach, FL 32951

November 13, 2025
KSM Project No. 2507322-p
Revised December 1, 2025

Attention: Mr. Corey Runte

**Subject: Additional Subsurface Investigation and
Geotechnical Engineering Evaluation
Stormwater Improvements at 1806 Pine Street
Melbourne Beach, Brevard County, Florida**

Dear Mr. Runte:

As requested, **KSM Engineering & Testing (KSM)** has performed an additional subsurface investigation and geotechnical engineering evaluation at the above referenced site. Presentation of the data gathered during the investigation, together with our geotechnical related opinions, are included in this report.

Scope of Work and Professional Service Agreement:

The scope of work for our services provided is based upon KSM Proposal No. 250761, dated October 9, 2025, which was authorized and returned to us later that day.

Site and Location Description:

The 0.47± acre riverfront lot is located on the west side of Pine Street and on the east side of the Indian River, in Melbourne Beach, Brevard County, Florida. At the time of our investigation, the site was developed with a single-family residence with a footprint of 3,138± square feet and an associated swimming pool, which were constructed in 1969.

Project Description:

Based on our conversations and on our review of the provided Boundary and Topographic Survey, prepared by Kane Surveying, Inc., dated October 1, 2025, we understand that this phase of the project entails the design and construction of stormwater improvements at the subject site, and soil and groundwater conditions are required by your engineers to perform their stormwater analysis.

We note that, as requested, our subsurface exploration program for this phase of the project was limited to the location requested and does not include geotechnical explorations or engineering recommendations relative to the proposed structures; such explorations are recommended to explore bearing capacity of on-site soils and to generate data necessary to provide site preparation and bearing capacity recommendations.

If the construction plans differ from our understanding and assumptions of this phase of the project as stated above, we should be notified immediately to allow for re-evaluation of the recommendations in this report.

Scope of Services Performed:

1. Reviewed the United States Department of Agriculture (USDA) Natural Resources Conservation Service (NRCS) Web Soil Survey to determine the predominant surficial soil types within the subject area.
2. Performed a soil boring at an accessible location in the general vicinity of the requested location.
3. Measured the depth to the groundwater level encountered at each boring location.
4. Performed a field Usual Open-Hole Test at a selected location within the area requested.
5. Reviewed the field soil boring logs and visually classified the soil samples in our laboratory.
6. Evaluated the subsurface soil conditions encountered and prepared this report to document our findings and summarize our conclusions and recommendations.

NRCS Surficial Soil Information:

Based on KSM's review of the USDA soils survey for Brevard County, NRCS indicates that the following USDA soil mapping units were identified within the limits of the project.

25: Canaveral-Palm Beach-Urban land complex – The typical profile of this soil reportedly consists of layers of sand that extend to a depth of about 80 inches below the surface. The seasonal high groundwater level is typically within 1 to 3 feet of the natural ground surface.

72: Welaka sand – The typical profile of this soil reportedly consists of layers of sand that extend to a depth of about 80 inches below the surface. The seasonal high groundwater level is typically between 4 to 5 feet of the natural ground surface.

The general location of the subject area is shown on a reproduction of an aerial photograph which was obtained from the USDA Web Soil Survey and is presented as the attached USDA Soils Survey Map.

Subsurface Investigation:

Field Exploration Program – Our site exploration program during this phase of the project consisted of performing one (1) hand auger boring to an approximate depth of 6 feet below the existing ground surface, and one (1) Usual Open-Hole Test at an approximate depth of 5 feet below the existing ground surface, within the general vicinity of the proposed stormwater improvements.

The approximate location of the boring is illustrated on a reproduction of an aerial photograph and is presented as the attached Boring Location Plan. This location was determined in the field by estimating distances from existing site features and other points of reference and should be considered accurate only to the degree implied by the method of measurement used. If a more accurate boring location is required, we recommend that the location be surveyed by a licensed surveyor.

General Soil Profile – The stratification of the boring profile represents our interpretation of the field boring log and the laboratory test results of the recovered samples. The stratification lines represent the approximate boundary between soil types. The actual transitions may be more gradual than implied.

As shown on the soil boring profile, the hand auger boring typically encountered dark brown sand in the upper 1 foot, underlain by light brown sand to the auger termination depth of 6 feet.

Measured Groundwater Level – The groundwater level was measured in the borehole on the day drilled, after stabilization of the downhole water level. As shown on the attached soil boring profile, groundwater was encountered at an approximate depth of 3.4 feet on the date indicated. We estimate the normal seasonal high groundwater level will be about 2.5 feet below the existing ground surface in the general vicinity of the location of our soil boring.

Fluctuations in groundwater levels should be anticipated throughout the year due to a variety of factors including tidal fluctuations due to the proximity of the site to the Indian River, as well as due to seasonal variations in the amount of rainfall, elevated tidal events, and other factors not evident at the time the boring was performed. Therefore, groundwater levels during construction or at other times in the future may be higher or lower than the levels indicated on the soil boring profiles.

Laboratory Testing Program:

Upon completion of our field exploration activities, the field soil boring logs and recovered soil samples were transported to our soils laboratory from the project site for further review and testing. The soil classifications and other pertinent data obtained from our field explorations and laboratory observations are reported on the attached soil boring profiles. All laboratory testing was performed in general accordance with applicable laboratory standards and/or industry standards with a standard practice of care.

Stormwater and Aquifer Parameters:

Based on the results of our exploration, the soils encountered are considered to be relatively permeable.

Factor of Safety – We note that a factor of safety has not been applied to the stormwater and aquifer parameters presented below. An appropriate factor of safety should be applied to these parameters for use in the stormwater design.

Field Test Results – At the test location, a Usual Condition Test was performed in general conformance with the South Florida Water Management District procedures for the ‘Usual Open-Hole Test’ method. The results of this test is presented in the table below.

Field Test Results – Estimated Soil Parameters			
Test Location (See Location Plan)	Approximate Test Depth (ft)	Hydraulic Conductivity (CFS/SF- Ft Head)	Hydraulic Permeability (ft/day)
HA-1	5	1.3×10^{-3}	33.9

Vertical Flow Rates – We consider the measured permeability rate to be indicative of a saturated horizontal permeability. Our experience and published references have indicated that unsaturated vertical permeability as used in some locally available groundwater models is typically about 1/2 to 2/3 the saturated horizontal value.

Hydrologic Soil Group (HSG) Classification and Estimated Fillable Porosity – The HSG classification was estimated based on our interpretation of the estimated aquifer parameters at the time of our investigation and guidance provided by the USDA National Engineering Handbook. KSM has estimated the fillable porosity of the soils above the estimated wet season water table.

HSG and Estimated Fillable Porosity		
Location	HSG	Fillable Porosity
HA-1	A	30%

Closure:

Based upon our subsurface investigation at the above-mentioned project location, the reliance of the recommendations presented within this signed and sealed report is predicated on KSM representative’s involvement in reviewing design plans and performing/monitoring construction testing services. Any design professional utilizing the information within this report are responsible for confirming the accuracy of the project information and assumptions stated in our report and that the soil parameters presented are adequate for the design of the proposed project. If additional parameters are required, KSM is to be notified so that our recommendations can be amended as required.

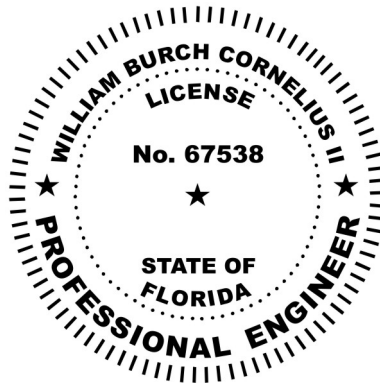
Standard of Care – This report has been prepared in accordance with generally accepted soil and engineering practices and is based on our evaluation of our geotechnical investigation and our stated understanding and assumptions of the proposed project. The procedural standards noted in this report are in reference to methodology in general. In some cases, variations to methods were applied because of local practice or professional judgement. No warranties, either expressed or implied, are intended or made. This report does not reflect any variations which may occur between or away from the borings. If variations appear evident during the course of construction, it would be necessary to re-evaluate the recommendations of this project.

Limitations – Environmental conditions, wetland delineation, karst activity, water quality, and municipal requirements are not a part of this report.

KSM Engineering and Testing should be retained to perform and/or monitor Construction Testing services. If Client elects to not have KSM provide Construction Testing services, the Client shall indemnify and hold KSM and its consultants harmless from and against damages, losses, and judgments arising from claims by Client or any third parties.

We are pleased to have been of assistance to you in this phase of your project. When we may be of further service to you or should you have any questions, please feel free to contact the office.

Respectfully,
KSM Engineering & Testing



Will B. Cornelius II, P.E.
Principal Engineer
Florida License No. 67538

Attachments: USDA Soil Survey Map
 Boring Location Plan
 Soil Boring Profile

Email to: Mr. Corey Runte - CRunte@gmail.com
 Ms. Erin Trauger, P.E. - erin.trauger@gmail.com



USDA SOILS SURVEY

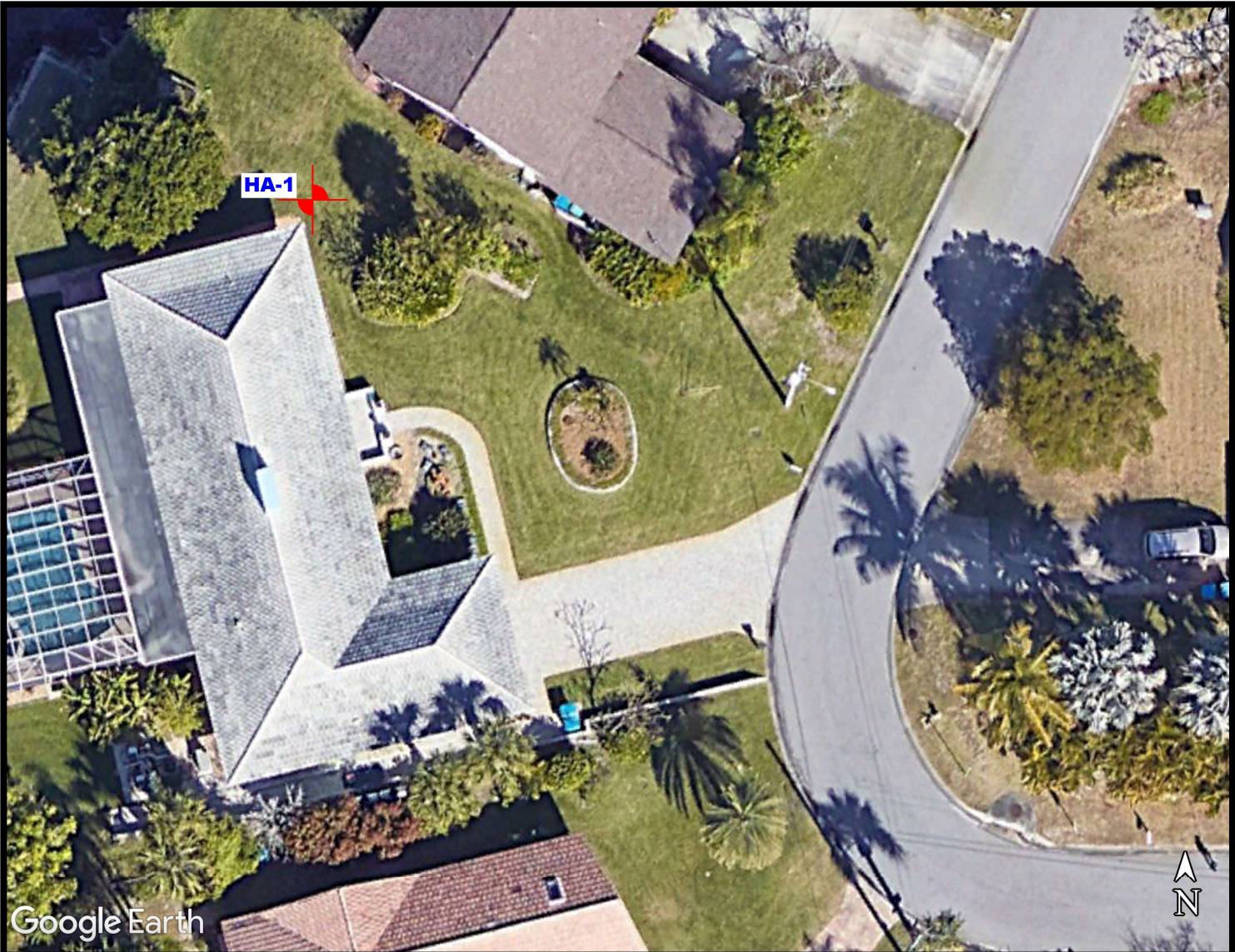
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72—Welaka sand

PROJECT: 1806 Pine Street, Melbourne Beach, Florida

SHEET 1 OF 1
 PERMIT #: N/A
 PROJECT #: 2507322-soils

KSM ENGINEERING
 AND TESTING

DRAWN BY: C.V.
 DATE: 20251111
 SCALE: NOT TO SCALE



APPROXIMATE LOCATION OF SOIL TESTING

PROJECT: 1806 Pine Street, Melbourne Beach, Florida

SHEET 1 OF 1
PERMIT #: N/A
PROJECT #: 2507322-b

KSM ENGINEERING
AND TESTING

DRAWN BY: C.V.
DATE: 20251111
SCALE: NOT TO SCALE



CLIENT Melbeach Investments, LLC

PROJECT NAME 1806 Pine Street

PROJECT NUMBER 2507322-b

PROJECT LOCATION Melbourne Beach, Florida

DATE STARTED 11/10/25

COMPLETED 11/10/25

GROUND ELEVATION

DRILLING CONTRACTOR

GROUND WATER LEVELS:

DRILLING METHOD Auger Boring

AT TIME OF DRILLING 3.4 ft

LOGGED BY CH

NOTES See Attached Location Plan

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	BLOW COUNTS (N VALUE)	SCP VALUE	MOISTURE CONTENT (%)	FINES CONTENT (%)	ORGANIC CONTENT (%)	PERMEABILITY RATE (IN/HR)	ATTERBERG LIMITS		
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0		Dark Brown Sand		45							
		Light Brown Sand		20							
				15							
				15							
				20							
5				30							

Bottom of borehole at 6.0 feet.

Planning and Zoning Meeting

Section: New Business
Meeting Date: January 6, 2026
From: Building Department
RE: Site Plan Approval for 2003 Oak St. – Addition

Background Information:

The Town received plans for an addition to the home at 2003 Oak St.

Recommendation:

Approve the site plan for 2003 Oak St.

Attachments:

- Town Planner Letter – Pages 74-76
- Development Application – Pages 77-80
- Project Narrative – Pages 81-83
- Statement of Estimated Construction Cost – Page 84
- Residential Appraisal – Pages 85-90
- Original Plans and Survey – Pages 91-95

Site Plan Review

Applicable Codes:

**Town of Melbourne Beach Land Development Code
Current Florida Building Code**

Date: January 6, 2026

Owner: Frederic and Amanda Sax

Owner Address: 2003 Oak Street, Melbourne Beach, FL 32951

Site Address: 2003 Oak Street, Melbourne Beach, FL 32951

Parcel ID: 28-38-08-50-* -1

Zoning: 2RS

Proposed Project: Addition of +/- 558 SF Bedroom and +/- 70 SF porch to existing single-family home

References: Town of Melbourne Beach Code of Ordinances:
7A-32 Single-Family Residential District
7A-51.1, Site Plan Approval For Single-Family Residential Districts

Request: Site Plan Approval in Accordance with 7A-51.1

Staff Review: The property lies in Zoning District 2RS

- 1) Project is a +/- 628 SF addition to a single-family home as a principal residence.
- 2) The Building Lot Zoning District requirements of min. lot area, width and depth.
Lot area is 20,000 sq. ft. (min. 11,250 sq. ft.)
Lot width is 100 ft. (min. 90 ft.)
Lot depth is 200 ft. (min. 100 ft.)
- 3) Lot coverage has a maximum of 30% for principal structure.
Lot coverage per plan is 18.3%
Footprint of Primary Structure is 3,660 sq. ft. with the addition.
Max allowed for Primary Structure is 6,000 sq. ft. for Lot Area of 20,000 sq. ft.
Minimum pervious area per lot is 30%. Pervious area is +/- 64.48% (see attached calculation).
- 4) Structure maximum height for zoning district is 28 ft.
The proposed height provided is 13' 2 5/8" from FFE.
Flood Zone: X

- 5) Zoning District Setback requirements:
 - Proposed Primary Structure Front Setback: +/-70 ft. (min. 25 ft.)
 - Proposed Primary Structure Rear Setback: +/-46' 9" ft. (min. 25 ft.)
 - Proposed Primary Structure West Side Setback: 15 ft. (min. 15 ft.)
 - Proposed Primary Structure East Side Setback 15 ft. (min. 25 ft.)
- 6) Sediment and Erosion control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.
- 7) On-site Storm water Retention Control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.
- 8) Town Engineer will submit a review of the drainage plan per Ordinance 2019-06. The Town Engineer will require a final inspection before a Certificate of Occupancy will be issued. This applies to new home construction and construction values greater than 50% of the existing structure. Minimum landscaping standards will be met.

Based on the above review, I find the proposed site plan for the referenced property is in compliance with The Town of Melbourne Beach Code of Ordinances.



Corey W. O'Gorman
Town Planner

2003 Oak Street

IMPERVIOUS		PERVIOUS	
Primary Structure	3,660	Open areas	12,896
Pool	924		
Decks	420		
Driveway	1,800		
Accessory Bldg	100		
Concrete areas	200		
Total Paved Area	7,104		
<hr/>		<hr/>	
Total Lot Area	20,000	Total Lot Area	20,000
<hr/>		<hr/>	
% IMPERVIOUS	35.52%	% PERVIOUS	64.48%

Note: The figures above are based on the plans dated 10-28-2025 and the accompanying calculations prepared by melD studio Architecture, and take-off approximations by the Town Planner using the plans provided.



TOWN OF MELBOURNE BEACH DEVELOPMENT APPLICATION

I. SUBMITTAL REQUIREMENTS:

1. Fees per current schedule.
2. Deed to property.
3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting.
4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

II. REQUEST:

- | | |
|--|--|
| <input type="checkbox"/> Land Use Plan Amendment | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Special Exception | <input type="checkbox"/> Coastal Construction Variance |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Appeal (Application must be filed within 30 days) |
| <input checked="" type="checkbox"/> Site Plan Review Single Family (1RS, 2RS, 3RS) | <input type="checkbox"/> Site Plan Review Multifamily (4RM, 5RMO) |
| <input type="checkbox"/> Site Plan Review Commercial (6B, 7C, 8B, 9I) | <input type="checkbox"/> Amendment to the Land Development Code |
| | <input type="checkbox"/> Other (specify) _____ |

III. PROPERTY INFORMATION:

General Location: 2003 Oak Street, Melbourne Beach, FL 32951

Address: 2003 Oak Street, Melbourne Beach, FL 32951

Parcel Number(s): 28-38-08-50-* - 1

Area (in acreage): 0.46

Area (in square feet): 20,037.6 sq ft

Current Zoning: 2RS - SINGLE FAMILY

Proposed Zoning: 2RS - SINGLE FAMILY

Current Future Land Use: 0110 - SINGLE FAMILY
RESIDENCE

Proposed Future Land Use: 0110 - SINGLE FAMILY RESIDENCE

Brief Description of Application: SMALL ADDITION TO AN EXISTING SINGLE-FAMILY RESIDENCE.

Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable): _____

IV. APPLICANT INFORMATION:

Property Owner

Name: Frederic L SaxPhone: 610-764-7560Address: 2003 Oak Street,

Fax: _____

Melbourne Beach, FL 32951Email: drrsax@me.com

Applicant (if other than property owner)

Name: Jeffrey AndersonPhone: 321-428-3869Address: 1542 Guava AveFax: N/AUnit A. Melbourne, FL
32935Email: Jeff@meeldarch.comV. OWNER AUTHORIZATION:*

The undersigned hereby affirms the following:

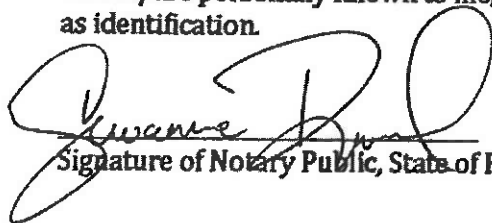
1. That I/we are the fee simple title owner/contract purchaser (circle one) of the property described in this application.
2. That I/we have read and understands the entire application and concurs with the request.
3. That I/we have appointed the Applicant to represent the application, and empowers the Applicant to accept any and all conditions of approval imposed by the Town of Melbourne Beach.

Signature: Frederic L SaxDate: Oct. 27, 2025Print Name: FREDERIC L. SAXTitle: OWNER

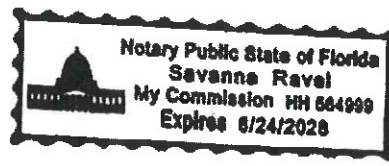
*Must sign in front of notary.

State of Florida

County of Brevard.

The foregoing application is acknowledged before me
this 27th day of October, 2025, by Frederic Saxwho is/are personally known to me, or who has/have produced Drivers License
as identification.


Signature of Notary Public, State of Florida



VI. APPLICANT CERTIFICATION:*

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

Signature: Jeffrey K. Anderson

Date: 10/28/2025

Print Name: Jeffrey K. Anderson

Title: Architect

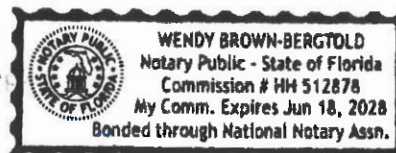
*Must sign in front of notary.

State of Florida

County of Brevard.

The foregoing application is acknowledged before me this 28 day of October, 20 25, by Jeffrey Anderson, who is/are personally known to me, or who has/have produced Ø as identification.

W. G. Brown - Jr.
Signature of Notary Public, State of Florida



VII. PROJECT DESCRIPTION:

Describe Application: Please see the attached description.

Provide attachment if more space is needed.

Describe Existing Conditions: The house is an existing single-story residence with a two-car garage.

Provide attachment if more space is needed.

Site Plan for Single Family Development

A site plan must be reviewed and evaluated by the Town Engineer, Building Official and or Zoning Official and Planning and Zoning Board and approved by the Town Commission. The applicant shall provide the following in support of their application for site plan approval of a single family home:

- ✓ 1. Narrative description of proposed improvements and demolitions.
2. Two (2) Sealed Surveys of the existing conditions prepared by a professional surveyor. All elevations should be NGVD/DAVD or Comparable for FEMA reference. (Include Lot Dimensions, Square footage & Coverage Percentage)
 - a. All existing structures (including but not limited to outbuildings, sheds, pools, etc), major features, trees and fences shall be fully dimensioned, including the height of all structures and the distance between principal and accessory structures on site and the distance between structures and driveways, and property or lot lines.
3. Two (2) Professionally prepared plans in compliance with Ordinance 2019-06 showing the following:
 - a. Name, location, owner, and designer of the proposed development and the intended use
 - b. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties
 - c. Date, north arrow, and graphic scale (not less than one inch equals 20 feet)
 - d. Location of all property lines, existing streets adjacent to the subject property, easements, as well as proposed driveways and general lot layout
 - e. All existing and/or proposed structures, major features, and fences shall be fully dimensioned, including the height of all structures and the distance between principal and accessory structures on site and the distance between structures and driveways, and property or lot lines
 - f. Site data providing all information needed to confirm compliance with zoning regulations including "required" and "provided" information:
 - i. Proposed principal use and/or any proposed accessory uses
 - ii. Lot size and dimensions
 - iii. Lot coverage
 - iv. Proposed living area square footage (e.g., square footage under air), and square footage of any other spaces including garage, covered entries, covered porches, screen rooms, etc.
 - v. Number of enclosed parking spaces
 - vi. Setbacks from all property lines
 - vii. Number of stories
 - viii. Height of structure
 - ix. Floor plan – a fully dimensioned floor plan shall be provided depicting all existing and/or proposed spaces corresponding to the square footages on the site data breakdown above.
 - x. Architectural elevations of each building façade professionally prepared plan drawn to scale and depicting the height dimension of the proposed structure, construction, or expansion or redevelopment thereof.
 - xi. Landscaping & irrigation plan
4. Drainage Site Plan showing flow paths and retention areas to meet certification requirements. (3A-80 & 7A-51.1)
5. Ten (10) 11X17 Complete sets of plans (all information as outlined in item 3 above) including a copy of the survey both existing and proposed and the Drainage Site Plan.

Frederic and Amanda Sax Residence

2003 Oak Street, Melbourne Beach, FL 32951



Client Information:

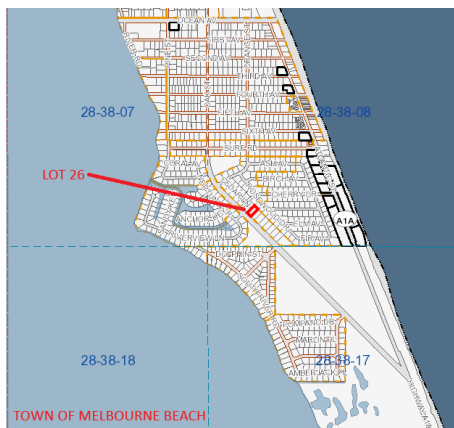
Frederic Sax
Amanda Sax

Project Information:

2003 Oak Street, Melbourne Beach, FL 32951

Lot: 26

Parcel Number: 28-38-08-50-*-1





ARCHITECTURE

Architect:

MelD Studio Architecture, LLC
 Jeffrey K. Anderson, Architect
 1542 Guava Ave. Unit A
 Melbourne, FL 32935
 321-403-9295

Structural Engineer:

MK Structural Engineering
 Michael Kalajian, PE
 587 W. Eau Gallie Blvd. Suite #201
 Melbourne FL 32935
 321-574-2702

Project Narrative:

MelD Studio Architecture and Frederick and Amanda Sax propose to expand their existing single-family residence located at 2003 Oak Street, Melbourne Beach, Florida. The project includes an addition to the existing one-story home, extending the footprint to create a new primary bedroom suite with two closets and a custom bathroom.

The design maintains the character of the existing residence while enhancing comfort and function. The new owner's suite features a covered porch near the pool, a tongue-and-groove tray ceiling, and a bathroom with a large walk-in shower, window seat, and dual sinks.

Architecturally, the addition complements the existing home through consistent materials and detailing, creating a seamless transition between old and new. The residence is located on the north side of Oak Street, just east of Cherry Drive, and the design continues the architectural language and scale consistent with the Melbourne Beach neighborhood.

General Location:

The property is located on the north side of Oak Street, just east of the intersection with Cherry Drive, in Melbourne Beach, Florida.

General Lot Information:

Area (in acreage): 0.46

Area (in square feet): 20,037.6 square feet

Set Back Lines:

Front:	25'-0"
Side Interior:	15'-0"
Rear:	25'-0"



Zoning Classification: 2 R-S - Single Family Residential

Lot Dimension: 100' x 200' x 100' x 200'

General Project Information:

Proposed Principal Use: Single-Family Residence (Addition to Existing One-Story Home)

Number of Stories: 1 story

Garage Spaces: 2 car

Max Building Height: 28'

Lot Coverage:
Principal Lot Coverage: 18.3% (3,659.74 sq. ft.)

Existing Conditioned Square Feet: 2,071 sq. ft.

Existing Front Porch: 101 sq. ft.

Existing Back Porch: 360 sq. ft.

Existing Garage: 500 sq. ft.

New Conditioned Square Feet: 557.62 sq. ft.

New Covered Porch: 70.12 sq. ft.

Total Project Square Feet: 3,659.74 sq. ft.

BC Reno Group ^{LLC}
2740 Business Center Blvd, # 25
Melbourne, FL 32940



Subject: Formal Statement of Estimated Construction Cost – Sax Residence

Date: October 24, 2025

Permit Number: _____ (TBD)

Authority / Jurisdiction: Town of Melbourne Beach

Contractor License Number: CRC1332660

Contractor Name: Chad A. Giesen

Property Address: 2003 Oak Street, Melbourne Beach, FL 32951

To: Town of Melbourne Beach – Planning & Zoning Board

Re: Estimated Construction Cost – Residential Addition/Expansion

Dear Members of the Planning & Zoning Board,

Pursuant to the preliminary architectural drawings prepared by *MeID Architecture Studio* and based upon a review of all parameters pertinent to the proposed addition and expansion of the single-family residence located at the address referenced above, *BC Reno Group* has prepared the following formal estimate of construction cost:

Estimated Total Construction Cost: ≤ \$160,000.00

This estimate reflects the anticipated cost of labor, materials, and associated expenses required to complete the scope of work as depicted in the preliminary architectural plans.

Should any further clarification, supporting documentation, or adjustments to this estimate be required, please direct all correspondence to the undersigned at the contact information provided below.

Respectfully,

Chad A. Giesen

Owner – BC Reno Group LLC

Florida Certified Residential Contractor

License No. CRC1332660

Phone: (321) 288-6909

Email: chad@bcrenogroup.com

COSTON APPRAISAL & RESEARCH, INC.
26 NELSON AVENUE
MELBOURNE, FL 32935
(321) 768-0370
<http://WWW.COSTONAPPRAISAL.COM>

10/08/2025

FREDERIC L. SAX
2003 OAK STREET
MELBOURNE BEACH, FL 32951

Re: Property: 2003 Oak St
Melbourne Beach, FL 32951
Borrower: N/A
File No.: 2003 OAK ST

Opinion of Value: \$ 875,000, ALSO SEE ADDENDUM FOR EXTRACTION OF DWELLING
Effective Date: 10/03/2025

In accordance with your request, we have appraised the above referenced property. The report of that appraisal is attached.

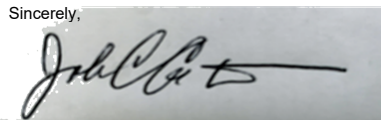
The purpose of the appraisal is to develop an opinion of market value for the property described in this appraisal report, as improved, in unencumbered fee simple title of ownership.

This report is based on a physical analysis of the site and improvements, a locational analysis of the neighborhood and city, and an economic analysis of the market for properties such as the subject. The appraisal was developed and the report was prepared in accordance with the Uniform Standards of Professional Appraisal Practice.

The opinion of value reported above is as of the stated effective date and is contingent upon the certification and limiting conditions attached.

It has been a pleasure to assist you. Please do not hesitate to contact me or any of my staff if we can be of additional service to you.

Sincerely,



JOHN C. COSTON
MRA
License or Certification #: CERT RES RD2803
State: FL Expires: 11/30/2026
JCOSTON@CFL.RR.COM

RESIDENTIAL APPRAISAL SUMMARY REPORT

2003 OAK ST

File No.: 2003 OAK ST

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SUBJECT	Property Address: 2003 Oak St		City: Melbourne Beach		State: FL		Zip Code: 32951	
	County: BREVARD		Legal Description: BEACH ESTATES LOT 1 PB 19 PG 57					
	Tax Year: 2024		R.E. Taxes: \$ 6,702		Special Assessments: \$		Assessor's Parcel #: 28-38-08-50-*1	
	Current Owner of Record: FREDERIC & AMANDA J. SAX		Occupant: <input checked="" type="checkbox"/> Owner		<input type="checkbox"/> Tenant		<input type="checkbox"/> Vacant	
ASSIGNMENT	Project Type: <input type="checkbox"/> PUD <input type="checkbox"/> Condominium <input type="checkbox"/> Cooperative <input type="checkbox"/> Other (describe)		HOA: \$ 0		<input type="checkbox"/> per year		<input type="checkbox"/> per month	
	Market Area Name: BEACH ESTATES		Map Reference: 37340		Census Tract: 0661.01			
	The purpose of this appraisal is to develop an opinion of: <input checked="" type="checkbox"/> Market Value (as defined), or <input type="checkbox"/> other type of value (describe)							
	This report reflects the following value (if not Current, see comments): <input checked="" type="checkbox"/> Current (the Inspection Date is the Effective Date) <input type="checkbox"/> Retrospective <input type="checkbox"/> Prospective							
MARKET AREA DESCRIPTION	Approaches developed for this appraisal: <input checked="" type="checkbox"/> Sales Comparison Approach <input type="checkbox"/> Cost Approach <input type="checkbox"/> Income Approach (See Reconciliation Comments and Scope of Work)							
	Property Rights Appraised: <input checked="" type="checkbox"/> Fee Simple <input type="checkbox"/> Leasehold <input type="checkbox"/> Leased Fee <input type="checkbox"/> Other (describe)							
	Intended Use: DETERMINE MARKET VALUE FOR INTERNAL DECISION MAKING TO SUBMIT TO THE TOWN P & Z BOARD.							
	Intended User(s) (by name or type): FREDERIC L. SAX, NO OTHER INTENDED USERS							
SITE DESCRIPTION	Client: FREDERIC L. SAX		Address: 2003 OAK STREET, MELBOURNE BEACH, FL 32951					
	Appraiser: JOHN C. COSTON		Address: 26 NELSON AVENUE, MELBOURNE, FL 32935					
	Location: <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural		Built up: <input checked="" type="checkbox"/> Over 75% <input type="checkbox"/> 25-75% <input type="checkbox"/> Under 25%		Growth rate: <input type="checkbox"/> Rapid <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Slow		Property values: <input type="checkbox"/> Increasing <input type="checkbox"/> Stable <input checked="" type="checkbox"/> Declining	
	Demand/supply: <input type="checkbox"/> Shortage <input checked="" type="checkbox"/> In Balance <input type="checkbox"/> Over Supply		Marketing time: <input type="checkbox"/> Under 3 Mos. <input checked="" type="checkbox"/> 3-6 Mos. <input type="checkbox"/> Over 6 Mos.		Predominant Occupancy: <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant <input checked="" type="checkbox"/> Vacant (0-5%) <input type="checkbox"/> Vacant (>5%)		One-Unit Housing: PRICE \$ (000) 300 AGE (yrs) 0	
DESCRIPTION OF THE IMPROVEMENTS	Present Land Use: One-Unit 80 % 2-4 Unit 5 % Multi-Unit 10 % Comm'l 5 %		Change in Land Use: <input checked="" type="checkbox"/> Not Likely <input type="checkbox"/> Likely * <input type="checkbox"/> In Process *		* To: _____			
	Market Area Boundaries, Description, and Market Conditions (including support for the above characteristics and trends): THE SUBJECT PROPERTY IS LOCATED EAST OF INDIAN RIVER, WEST OF THE ATLANTIC OCEAN SOUTH OF FIFTH AVE, INDIALANTIC AND NORTH OF SPESSARD HOLLAND G.C.. THE CURRENT MARKET CONDITIONS APPEAR TO BE MOSTLY STABLE WITH RECENT DECREASE THIS PAST QUARTER. MOST HOMES THAT ARE APPROPRIATELY LISTED FOR SALE WILL SELL IN 3-6 MOS., AND EXPOSURE TIME APPEARS TO BE THE SAME. THE SUBJECT COMMUNITY INCLUDES MIDRISE CONDOS, CLUSTER TOWNHOMES, SINGLE STORY AND TWO STORY TOWNHOMES, AS WELL AS DETACHED SINGLE FAMILY HOMES LIKE THE SUBJECT. THE DETACHED HOME IS THE MOST COMMON WITHIN THE SUBJECT IMMEDIATE NEIGHBORHOOD.							
	Dimensions: 100 X 200 Site Area: 20,000 sf							
	Zoning Classification: 2RS Description: SINGLE FAM. RESIDENTIAL							
GENERAL DESCRIPTION	Zoning Compliance: <input checked="" type="checkbox"/> Legal <input type="checkbox"/> Legal nonconforming (grandfathered) <input type="checkbox"/> Illegal <input type="checkbox"/> No zoning							
	Are CC&Rs applicable? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown Have the documents been reviewed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Ground Rent (if applicable) \$ _____ /							
	Highest & Best Use as improved: <input checked="" type="checkbox"/> Present use, or <input type="checkbox"/> Other use (explain) _____							
	Actual Use as of Effective Date: SFR Use as appraised in this report: SFR							
GENERAL DESCRIPTION	Summary of Highest & Best Use: THE SUBJECT USE OF SFR IS THE HIGHEST AND BEST USE, AND MEETS THE FOLLOWING FOUR CRITERIA: FINANCIALLY FEASIBLE, LEGALLY PERMISSABLE, PHYSICALLY POSSIBLE, AND MEETS THE MAXIMUM PRODUCTIVITY.							
	Utilities: Public <input checked="" type="checkbox"/> Other <input type="checkbox"/>		Provider/Description		Off-site Improvements: Type		Public <input checked="" type="checkbox"/> Private <input type="checkbox"/>	
	Electricity <input checked="" type="checkbox"/>		Street ASPHALT		Topography LEVEL/TYPICAL		Size TYPICAL	
	Gas <input type="checkbox"/>		Curb/Gutter		Shape RECTANGULAR		Drainage APPEARS ADEQUATE	
GENERAL DESCRIPTION	Water <input checked="" type="checkbox"/>		Sidewalk YES		View TYP. NEIGH.		Drainage APPEARS ADEQUATE	
	Sanitary Sewer <input checked="" type="checkbox"/>		Street Lights YES		View TYP. NEIGH.		Drainage APPEARS ADEQUATE	
	Storm Sewer <input type="checkbox"/>		Alley		View TYP. NEIGH.		Drainage APPEARS ADEQUATE	
	Other site elements: <input checked="" type="checkbox"/> Inside Lot <input type="checkbox"/> Corner Lot <input type="checkbox"/> Cul de Sac <input checked="" type="checkbox"/> Underground Utilities <input type="checkbox"/> Other (describe)							
GENERAL DESCRIPTION	FEMA Spec'l Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		FEMA Flood Zone X		FEMA Map # 12009C0616H		FEMA Map Date 1/29/2021	
	Site Comments: THE SUBJECT PROPERTY CONFORMS TO THE NEARBY HOMES, AND FALLS WITHIN RANGE OF NEIGHBORHOOD SIZE AND PRICING.							
GENERAL DESCRIPTION	General Description: # of Units 1 <input type="checkbox"/> Acc. Unit		Exterior Description: Foundation SLAB		Foundation: Slab YES		Basement <input checked="" type="checkbox"/> None	
	# of Stories 1		Exterior Walls BRK/FRM/ST		Slab Space NONE		% Finished	
	Type <input checked="" type="checkbox"/> Det. <input type="checkbox"/> Att. <input type="checkbox"/>		Roof Surface SHINGLE		Basement NONE		Ceiling	
	Design (Style) RANCH		Gutters & Dwnspts. YES		Sump Pump <input type="checkbox"/>		Walls	
GENERAL DESCRIPTION	<input checked="" type="checkbox"/> Existing <input type="checkbox"/> Proposed <input type="checkbox"/> Und.Cons.		Window Type AL. SLIDERS		Dampness <input type="checkbox"/>		Floor	
	Actual Age (Yrs.) 60		Storm/Screen PER CODE		Settlement NONE NTD		Outside Entry	
	Effective Age (Yrs.) 20				Infestation NONE NTD			
GENERAL DESCRIPTION	Interior Description: Floors VINYL		Appliances: Refrigerator <input checked="" type="checkbox"/>		Attic <input type="checkbox"/> None		Amenities: Fireplace(s) #	
	Walls DW		Range/Oven <input checked="" type="checkbox"/>		Stairs <input type="checkbox"/>		Woodstove(s) #	
	Trim/Finish WD		Disposal <input checked="" type="checkbox"/>		Drop Stair <input checked="" type="checkbox"/>		Patio PATIO	
	Bath Floor CT/CONC/WD		Dishwasher <input checked="" type="checkbox"/>		Scuttle <input checked="" type="checkbox"/>		Deck	
GENERAL DESCRIPTION	Bath Wainscot CT		Fan/Hood <input checked="" type="checkbox"/>		Doorway <input checked="" type="checkbox"/>		Porch PORCH	
	Doors HC WD/SC FIBR/WD		Microwave <input checked="" type="checkbox"/>		Floor <input type="checkbox"/>		Fence FENCE	
			Washer/Dryer <input checked="" type="checkbox"/>		Heated <input type="checkbox"/>		Pool SCR POOL	
					Finished <input type="checkbox"/>			
GENERAL DESCRIPTION	Finished area above grade contains: 7 Rooms		4 Bedrooms		2 Bath(s)		2,091 Square Feet of Gross Living Area Above Grade	
	Additional features: SCR ING POOL							
	Describe the condition of the property (including physical, functional and external obsolescence): THE SUBJECT PROPERTY WAS IN GOOD CONDITION AT THE TIME OF VISIT ON 10/01/2025 THERE WAS NO FUNCTIONAL, NOR EXTERNAL OBSOLESCENCE. THE APPRAISER IS NOT A HOME INSPECTOR AND IT IS BEYOND THE SCOPE OF THE APPRAISAL TO TEST AND INSPECT MECHANICAL SYSTEMS, THE APPRAISAL IS COMPLETED UNDER THE ASSUMPTION THE MECHANICAL SYSTEMS ARE IN WORKING ORDER. THE APPRAISER RATES THE HOME "OVERALL" AND BASED ON THE VISIT THE SUBJECT IS DEEMED GOOD CONDITION.							

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3/2007

RESIDENTIAL APPRAISAL SUMMARY REPORT

2003 OAK ST
File No.: 2003 OAK ST

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COST APPROACH	COST APPROACH TO VALUE (if developed) <input checked="" type="checkbox"/> The Cost Approach was not developed for this appraisal.			
	Provide adequate information for replication of the following cost figures and calculations.			
	Support for the opinion of site value (summary of comparable land sales or other methods for estimating site value):			
	THE COST APPROACH IS BEYOND THE			
	SCOPE OF THIS APPRAISAL. WE ARE COMPLETING A "SALES COMPARISON" APPROACH TO SATISFY THE CLIENT'S REQUEST			
	TO DETERMINE THE MARKET VALUE OF THE SUBJECT PROPERTY.			
INCOME APPROACH	ESTIMATED <input type="checkbox"/> REPRODUCTION OR <input type="checkbox"/> REPLACEMENT COST NEW		OPINION OF SITE VALUE -----=\$ 450,000	
	Source of cost data:		DWELLING Sq.Ft. @ \$ -----=\$	
	Quality rating from cost service: Effective date of cost data:		Sq.Ft. @ \$ -----=\$	
	Comments on Cost Approach (gross living area calculations, depreciation, etc.):		Sq.Ft. @ \$ -----=\$	
			Sq.Ft. @ \$ -----=\$	
			Sq.Ft. @ \$ -----=\$	
			Sq.Ft. @ \$ -----=\$	
			Sq.Ft. @ \$ -----=\$	
			Sq.Ft. @ \$ -----=\$	
			Sq.Ft. @ \$ -----=\$	
Garage/Carport Sq.Ft. @ \$ -----=\$		Total Estimate of Cost-New -----=\$		
Less Physical Functional External		Depreciation -----=\$ ()		
Depreciated Cost of Improvements -----=\$		"As-is" Value of Site Improvements -----=\$		
		-----=\$		
		-----=\$		
Estimated Remaining Economic Life (if required): 58 Years		INDICATED VALUE BY COST APPROACH -----=\$		
PUD	INCOME APPROACH TO VALUE (if developed) <input checked="" type="checkbox"/> The Income Approach was not developed for this appraisal.			
	Estimated Monthly Market Rent \$ X Gross Rent Multiplier = \$ Indicated Value by Income Approach			
	Summary of Income Approach (including support for market rent and GRM):			
RECONCILIATION	PROJECT INFORMATION FOR PUDs (if applicable) <input type="checkbox"/> The Subject is part of a Planned Unit Development.			
	Legal Name of Project:			
	Describe common elements and recreational facilities:			
ATTACHMENTS	Indicated Value by: Sales Comparison Approach \$ 875,000 Cost Approach (if developed) \$ Income Approach (if developed) \$			
	Final Reconciliation ALL WEIGHT IS AFFORDED THE SALES COMPARISON APPROACH IN THIS INSTANCE AS THIS MEETS THE			
	INTENDED USE AND FULFILLS THE APPRAISER'S SCOPE OF WORK. NEITHER THE COST APPROACH NOR THE INCOME			
	APPROACHES TO VALUE ARE RELEVANT TO THE APPRAISAL. THE COST APPROACH IS TYPICALLY COMPLETED ON NEW			
	HOMES, OR HOMES NEARLY NEW, AND THE INCOME APPROACH TO VALUE IS TYPICALLY COMPLETED ON HOMES LOCATED IN			
	PREDOMINANTLY RENTAL AREAS WHERE THE GROSS RENT MULTIPLIER HAS BEEN ESTABLISHED.			
	This appraisal is made <input checked="" type="checkbox"/> "as is", <input type="checkbox"/> subject to completion per plans and specifications on the basis of a Hypothetical Condition that the improvements have been completed, <input type="checkbox"/> subject to the following repairs or alterations on the basis of a Hypothetical Condition that the repairs or alterations have been completed, <input type="checkbox"/> subject to the following required inspection based on the Extraordinary Assumption that the condition or deficiency does not require alteration or repair:			
SIGNATURES	<input type="checkbox"/> This report is also subject to other Hypothetical Conditions and/or Extraordinary Assumptions as specified in the attached addenda.			
	Based on the degree of inspection of the subject property, as indicated below, defined Scope of Work, Statement of Assumptions and Limiting Conditions, and Appraiser's Certifications, my (our) Opinion of the Market Value (or other specified value type), as defined herein, of the real property that is the subject of this report is: \$ 875,000, as of: 10/03/2025, which is the effective date of this appraisal. If indicated above, this Opinion of Value is subject to Hypothetical Conditions and/or Extraordinary Assumptions included in this report. See attached addenda.			
	A true and complete copy of this report contains 29 pages, including exhibits which are considered an integral part of the report. This appraisal report may not be properly understood without reference to the information contained in the complete report.			
	Attached Exhibits:			
	<input checked="" type="checkbox"/> Scope of Work <input checked="" type="checkbox"/> Limiting Cond./Certifications <input type="checkbox"/> Narrative Addendum <input checked="" type="checkbox"/> Photograph Addenda <input checked="" type="checkbox"/> Sketch Addendum <input checked="" type="checkbox"/> Map Addenda <input checked="" type="checkbox"/> Additional Sales <input type="checkbox"/> Cost Addendum <input type="checkbox"/> Flood Addendum <input type="checkbox"/> Manuf. House Addendum <input checked="" type="checkbox"/> Hypothetical Conditions <input type="checkbox"/> Extraordinary Assumptions <input type="checkbox"/> ADDENDUM <input type="checkbox"/>			
	Client Contact: E-Mail: DRRSAX@ME.COM		Client Name: FREDERIC L. SAX	
	Address: 2003 OAK STREET, MELBOURNE BEACH, FL 32951		SUPERVISORY APPRAISER (if required) or CO-APPRAISER (if applicable)	
	APPRAISER 		Supervisory or Co-Appraiser Name:	
	Appraiser Name: JOHN C. COSTON		Company:	
	Company: COSTON APPRAISAL & RESEARCH, INC.		Phone: Fax:	
Phone: (321) 768-0370 Fax: (321) 952-3659		E-Mail:		
E-Mail: JCOSTON@CFL.RR.COM		Date of Report (Signature):		
Date of Report (Signature): 10/08/2025		License or Certification #:		
License or Certification #: CERT RES RD2803 State: FL		Designation:		
Designation: MRA		Expiration Date of License or Certification:		
Expiration Date of License or Certification: 11/30/2026		Inspection of Subject:		
Inspection of Subject: <input checked="" type="checkbox"/> Interior & Exterior <input type="checkbox"/> Exterior Only <input type="checkbox"/> None		Date of Inspection:		
Date of Inspection: 10/03/2025				

Supplemental Addendum

File No. 2003 OAK ST

Borrower	N/A					
Property Address	2003 Oak St					
City	Melbourne Beach	County	BREVARD	State	FL	Zip Code 32951
Lender/Client	FREDERIC L. SAX					

A quick recap of the Brevard County Residential Report for August 2025:

- **Closed Sales are down -2.4%** for August 2025 in which the number of units closed was 890 compared to 912 in August 2024, with an increase in cash sales of 15.5%.
- **New Pending Sales are up 2.6%** and New Listings are down -5.8%.
- **The Median Sales Price for Brevard County Single Family homes is -4.0%** to \$369,715 compared to a year ago, which was \$385,000.
- **Months' Supply of Inventory is up 12.5%** to 4.5 months, an increase from 4.0 months in August 2024.
- **Traditional Sales are down -3.2%** with a median sales price of \$370,000.
- **Foreclosure/REO Sales are up 25.0%** with 5 closed sales and a median sales price of \$335,000.
- **Short Sale Closings are N/A** with 6 closed sales and a median sales price of \$280,205.

What this means:

In Brevard County, the housing market in August 2025 shows a slight shift. Fewer homes closed compared to last year, but pending sales are up, meaning buyers are still actively shopping. The median home price has dipped slightly to \$369,715, giving buyers a bit more breathing room. Inventory has increased, offering more options, while cash buyers and investors remain active. Foreclosures and short sales are limited but may present opportunities for those looking for bargains. Overall, buyers have more choices and potential negotiating power, while sellers may need to price strategically in this evolving market.

A quick recap of the Brevard County Townhouses/Condos for August 2025:

- **Closed Sales are up 3.2%** for August 2025 in which the number of units closed was 193 compared to 187 in August 2024, with an increase in cash sales of 14.4%.
- **New Pending Sales are down -10.7%** and New Listings are down -11.2%.
- **The Median Sales Price for Brevard County Townhouses/Condos is down -5.4%** to \$265,000 compared to a year ago, which was \$280,000.
- **Months' Supply of Inventory is up 25.0%** to 8.0 months, an increase from 6.4 months in August 2024.
- **Traditional Sales are up 2.7%** with a median sales price of \$267,500.
- **Foreclosure/REO Sales are N/A** with 1 closed sale and a median sales price of \$86,000.
- **Short Sale Closings are N/A** with 0 closed sales and a median sales price of (no sales)

COVID-19 has been declared a pandemic and a national state of emergency in place. Substantial turmoil has occurred in financial markets and due to the developing situation, it is not possible at this time to quantify its long-term or short-term effects on real estate markets or on the subject property. The value opinion contained in this appraisal is based on findings of an analysis of market data available to the appraiser at the time of the assignment.

INTENDED USE: The intended use of the appraisal is solely to assist the client in decision making regarding the current county tax situation. The identified users are the only intended users of the appraisal report. The appraiser does not guarantee that the property is free from defects. The appraisal establishes the value of the property for the internal decision making purposes only.

Supplemental Addendum

File No. 2003 OAK ST

Borrower	N/A				
Property Address	2003 Oak St				
City	Melbourne Beach	County	BREVARD	State	FL Zip Code 32951
Lender/Client	FREDERIC L. SAX				

THE SCOPE OF WORK IN THIS INSTANCE WAS TO ESTIMATE THE SUBJECT MARKET VALUE , AS WELL AS THE LAND "AS THOUGH VACANT" , IN ORDER FOR THE CLIENT TO SUBMIT THE TOTAL VALUE , MINUS THE LAND AND ING. POOL AMENITY TO THE CITY PLANNING AND ZONING BOARD FOR INTERNAL DECISION MAKING REGARDING A CONSTRUCTION DECISION. PRIOR TO ACCEPTING THE ASSIGNMENT , THE CLIENT STATED AS LONG AS THE FIGURES ARE PRESENTED IN THE REPORT, IT ACCOMPLISHES THEIR DECISION MAKING. THE CALCULATIONS ARE BELOW:

TOTAL MARKET VALUE INCLUDING HOME , SCR.ING. POOL PACKAGE , AND LAND:

\$875,000

LAND VALUE: \$450,000

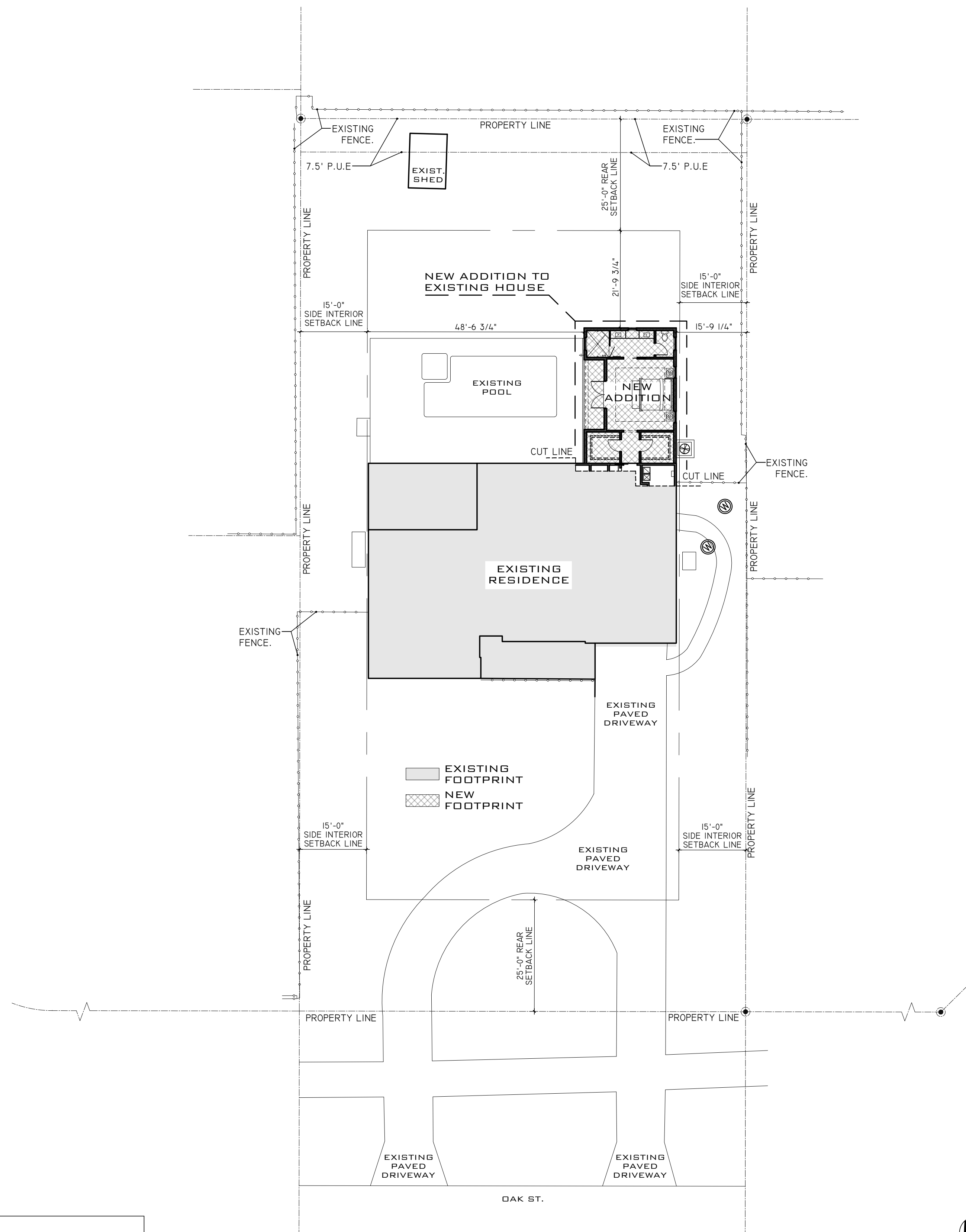
MARKET CONTRIBUTION OF THE SCR.ING.POOL PACKAGE: \$50,000

\$875,000 MINUS THE LAND VALUE AND CONTRIBUTORY VALUIE OF THE SCR.ING.POOL = \$375,000

THE \$375,000 IS THE CONTRIBUTORY MARKET VALUE OF THE DWELLING AS REQUESTED BY THE CLIENT.

CUSTOM RENOVATION: SAX RESIDENCE

2003 OAK ST, MELBOURNE BEACH, FL 32951



SITE PLAN
SCALE: 1/16" = 1'-0"



PROJECT INFORMATION	
SET BACK LINES:	
FRONT:	25'-0"
SIDE INTERIOR:	15'-0"
REAR-PERMITTED:	25'-0"
NUMBER OF STORIES	
1 STORY	
FINISH FLOOR ELEVATION:	
EXISTING	
LOT SIZE:	
.46 ACRES	
TOTAL GARAGE:	
2 CAR GARAGE	
LOT DIMENSIONS:	
100'-0 x 200'-0 x 100'-0 x 200'-0	
BUILDING HEIGHT:	
13'-2 5/8"	

AREA CALCULATIONS	
EXISTING CONDITIONED SPACE:	2,071 SQ. FT.
EXISTING FRONT PORCH:	101 SQ. FT.
EXISTING BACK PORCH:	360 SQ. FT.
EXISTING GARAGE:	500 SQ. FT.
NEW CONDITIONED SPACE:	557.62 SQ. FT.
NEW COVERED PORCH:	70.12 SQ. FT.
TOTAL:	
3,659.74 SQ. FT.	
LOT SIZE:	.46 ACRES OR 20,037.6 SQ. FT.
BUILDING FOOTPRINT:	3,659.74 SQ. FT.
LOT COVERAGE:	18.3%

KEY ABBREVIATIONS AND SYMBOLS	
(TYP): TYPICAL	
W.H. WATER HEATER	
DW DISHWASHER	
LAV LAVATORY	
REF REFRIGERATOR	
FREZ FREEZER	
MIC MICROWAVE	
AHU AIR HANDLING UNIT	
CU COMPRESSOR UNIT	
WC WATER CLOSET	
H.B. HOSE BIB	
SQ SQUARE	
FT FEET	
P.T. PRESSURE TREATED	
DETAIL #	
SECTION CUT	
SHEET #	
ROOM TAG	
WINDOW TAG	
DOOR TAG	

SCHEDULE OF DRAWINGS	
SHEET	DESCRIPTION
A0.01	COVER SHEET / INFORMATION / SITE PLAN / CALCULATIONS
A0.02	ARCHITECTURAL SPECIFICATIONS
A1.00	ENLARGED PLAN, FLOOR PLAN & DEMO PLAN
A1.10	REFLECTED CEILING PLAN & ROOF PLAN
A2.01	EXTERIOR ELEVATIONS
A3.01	SECTIONS & DETAILS
A4.01	INTERIOR / EXTERIOR WINDOWS AND DOORS ELEVATIONS AND SCHEDULES, AND DETAILS
E1.0	ELECTRICAL / LIGHTING PLAN AND PLUMBING RISER DIAGRAM & LEGEND

PROJECT SUMMARY	
PROJECT NAME :	SAX RESIDENCE
PROJECT ADDRESS :	2003 OAK ST, MELBOURNE BEACH, FL 32951
CONTRACTOR:	BC RENO GROUP
SCOPE OF WORK:	RENOVATION TO RESIDENCE
PROPOSED USE :	SINGLE-FAMILY LOW DENSITY RESIDENTIAL
BUILDING TYPE :	RESIDENTIAL
ZONING CLASSIFICATION:	2-RS - SINGLE-FAMILY RESIDENTIAL DISTRICT
APPLICABLE CODES	
FLORIDA BUILDING CODE:	2023 FBC-RESIDENTIAL
MECHANICAL CODE:	2023 FBC-MECHANICAL
PLUMBING CODE:	2023 FBC-PLUMBING
ENERGY CON. CODE:	2023 FBC-ENERGY CONSERVATION
ELECTRICAL CODE :	NEC 2020
AUTHORITY / JURISDICTION :	TOWN OF MELBOURNE BEACH

PROJECT TEAM	
OWNER :	FREDERIC & AMANDA SAX 2003 OAK ST, MELBOURNE BEACH, FL 32951
ARCHITECT:	MELD STUDIO ARCHITECTURE, LLC JEFFREY ANDERSON, ARCHITECT 1542 GUAVA AVE. MELBOURNE, FL 32935 321-428-3869
STRUCTURAL ENGINEER:	MK STRUCTURAL ENGINEERING MIKE KALAJIAN, P.E. 587 W. EAU GALLIE, BLVD., SUITE 201 MELBOURNE, FL 32935 321-574-2702

GENERAL NOTES	
1. OWNER/CLIENT RESPONSIBILITIES: REFERENCE IS MADE THROUGHOUT THESE GENERAL NOTES TO RESPONSIBILITIES AND STANDARDS OF CASE TO BE FULFILLED BY THOSE PROVIDING SERVICES IN THE DEVELOPMENT AND CONSTRUCTION OF THIS PROJECT. OWNER/CLIENT SHALL BE RESPONSIBLE FOR ADHERENCE TO THOSE REQUIREMENTS BY THE OWNER, BUILDER, GENERAL CONTRACTOR, SUBCONTRACTORS AND OTHER PROFESSIONAL CONSULTANTS NOT RETAINED BY THE ARCHITECT.	
2. PERMIT ARCHITECTURAL DRAWINGS: THIS SET IS SUFFICIENT TO BE PART OF THE PERMIT SET TO OBTAIN A BUILDING PERMIT. THIS SET DOES NOT INCLUDE THE REQUIRED SHOP DRAWINGS/NOA REQUIRED FOR PERMITTING. THE CONTRACTOR SHOULD CHECK WITH THE OWNER TO DETERMINE THE SCOPE OF WORK OF THE ARCHITECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE BUILDING PERMIT.	
3. BUILDING MAINTENANCE: THE EXPOSED MATERIAL USED IN THE CONSTRUCTION OF THIS PROJECT WILL DETERIORATE AS THE COMPLETED PROJECT AGES UNLESS PROPERLY AND ROUTINELY MAINTAINED. OWNER/CLIENT SHALL WORK WITH THE CONTRACTOR TO DEVELOP A PLAN TO KEEP THESE EXPOSED MATERIALS PROTECTED AND MAINTAINED.	
4. ALL CONSTRUCTION SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENTS OF ALL CURRENT APPLICABLE CITY, COUNTY, STATE, AND FEDERAL LAWS, RULES, CODES, ORDINANCES AND REGULATIONS. IF THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR PERFORMS ANY WORK IN CONFLICT WITH THE ABOVE MENTIONED LAWS, RULES, CODES, ORDINANCES AND REGULATIONS, THEN THE CONTRACTOR IS IN VIOLATION AND SHALL BEAR ALL COST OF REPAIR ARISING OUT OF THE NON-CONFORMING WORK.	
5. THE GENERAL CONTRACTOR MUST THOROUGHLY EXAMINE THE JOB SITE AND FINAL CONSTRUCTION DRAWINGS PRIOR TO STARTING CONSTRUCTION. IF ANY CONFLICTS ARISE, THE GENERAL CONTRACTOR MUST NOTIFY THE ARCHITECT AND ALLOW FOR SUFFICIENT TIME FOR RESOLUTION WITHOUT DELAYING WORK.	
6. SUBSTITUTIONS / CHANGES: NO SUBSTITUTIONS/CHANGES CAN BE MADE WITHOUT WRITTEN AUTHORIZATION BY THE OWNER / CLIENT. THE ARCHITECT DOES NOT TAKE ANY LIABILITY FOR ANY SUBSTITUTIONS/CHANGES WITHOUT THE ARCHITECTS WRITTEN AUTHORIZATION. ANY APPROVAL REQUIRED BY THE BUILDING OFFICIAL FOR SUBSTITUTIONS/CHANGES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.	
7. DO NOT SCALE FROM PLANS. PLEASE CALL THE ARCHITECT IF YOU REQUIRE ANY DIMENSIONS.	

meD
studio
ARCHITECTURE

1542 GUAVA AVE.
MELBOURNE, FL 32935
321.428.3869
design@meldarch.com

JOB #: R-2025-023

DRAWN: JKA

CHECKED: JKA

DATE

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☐DD

☐CD

☐BID

☐PERMIT

REVISIONS:

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CUSTOM DESIGN
SAX RESIDENCE
2003 OAK STREET, MELBOURNE BEACH, FL 32951

SEAL

DATE: 2025-10-28

SHEET TITLE

COVER SHEET /
INFO / SITE PLAN /
CALCULATIONS

SHEET NUMBER

A0.01

JOB #: R-2025-023

DRAWN: JKA

CHECKED: JKA

DATE
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☐PERMIT

REVISIONS:

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CUSTOM DESIGN
SAX RESIDENCE
2003 OAK STREET, MELBOURNE BEACH, FL 32951

SEAL

DATE: 2025-10-28

SHEET TITLE

ENLARGED PLAN,
FLOOR PLAN, &
DEMO PLAN

SHEET NUMBER

A1.00

FLOOR PLAN NOTES

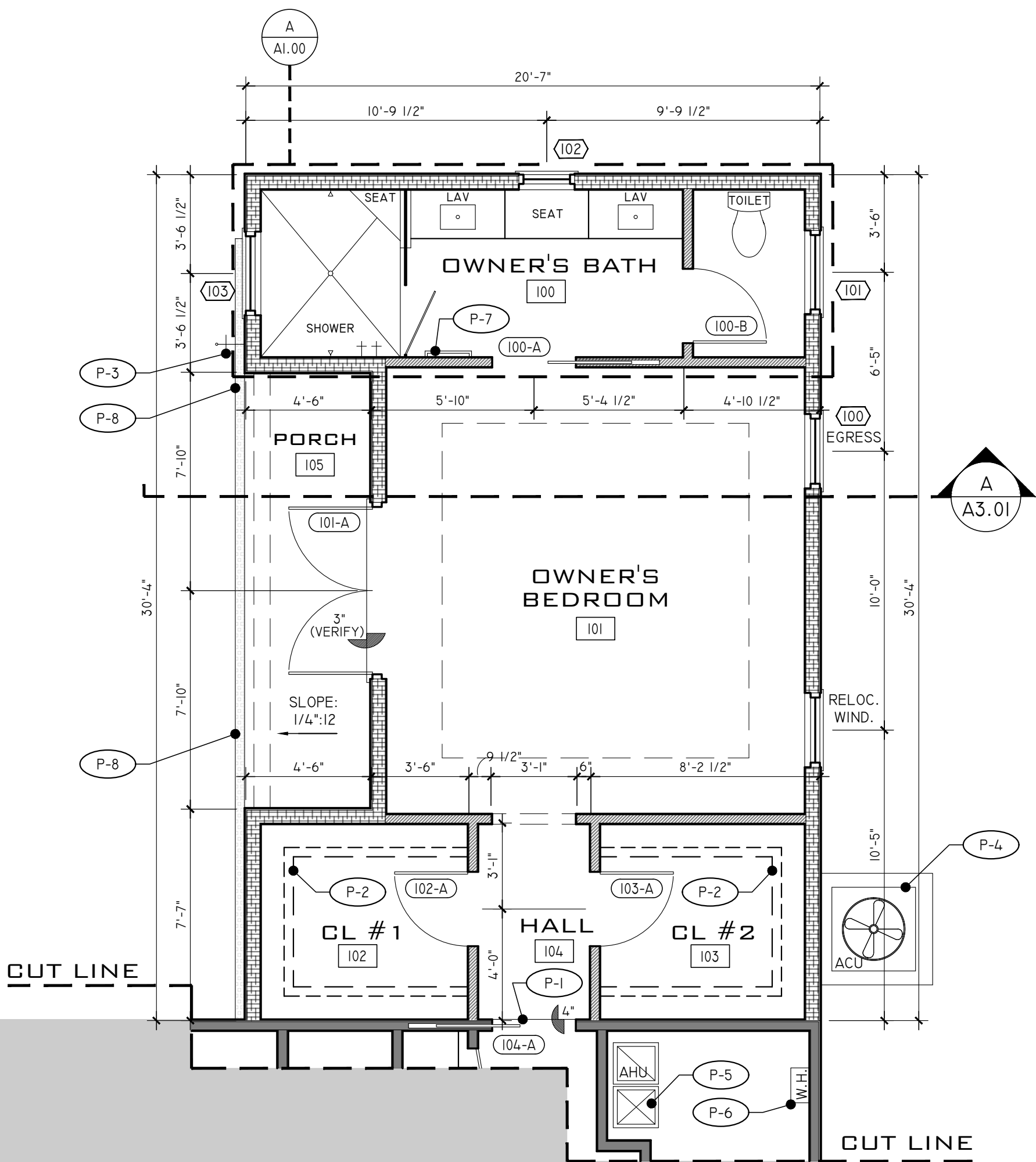
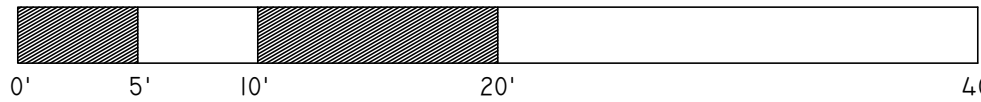
- REFERENCE ARCHITECTURAL SPECIFICATION SHEET A0.2 FOR GENERAL CONSTRUCTION INFORMATION RELATED TO THE PROJECT.
- FINISH FLOOR DATUM REFERENCES TOP OF SLAB DRAWINGS. VERIFY WITH SURVEY OR CIVIL ENGINEERING DRAWINGS.
- EACH CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWING AND OBTAIN ALL MEASUREMENTS REQUIRED FOR PROPER EXECUTION OF WORK. DO NOT SCALE PLANS. CONTACT ARCHITECT FOR ANY ADDITIONAL INFORMATION OR DIMENSIONS REQUIRED.
- DIMENSIONS ARE TAKEN FROM STRUCTURAL ELEMENTS ONLY. INTERIOR DIMENSIONS ARE TAKEN FROM ONE SIDE OF THE WALL. REFER TO WALL SCHEDULE FOR WALL THICKNESS AND CONSTRUCTION.
- PROVIDE WOOD BLOCKING AS REQUIRE FOR INSTALLATION OF CABINETS, EQUIPMENT, FIXTURES, BATHROOM ACCESSORIES AND AROUND WINDOWS AND DOORS.
- DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE PRODUCT MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND STANDARD DETAILS, IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS REQUIREMENTS AND DESIGN INTENT.
- GYPSUM BOARD SHALL BE INSTALLED PER ASTM C840-18 AND AS SPECIFIED PER THE MANUFACTURER'S SPECIFICATIONS. UNLESS OTHERWISE NOTE, INTERIOR GYPSUM BOARD WALLS SHALL BE FINISHED TO LEVEL 5.
- WALL CABINTRY TO BE PROVIDED BY OWNER OR CONTRACTOR SELECTED CABINET CONTRACTOR. CONTRACTOR TO COORDINATE ALL ELECTRICAL AND PLUMBING ELEMENTS WITH CABINET CONTRACTOR PRIOR TO INSTALLING.
- MILLWORK SHALL BE INSTALLED PER THE ARCHITECTURAL MILLWORK INSTITUTE STANDARDS AND MANUFACTURER'S SPECIFICATIONS.
- ALL APPLIANCES TO BE PROVIDED BY CLIENT. APPLIANCE CONTRACTOR OR OTHER. COORDINATE ALL CABINET MILLWORK, ELECTRICAL LOCATIONS AND PLUMBING LINES WITH SELECTED APPLIANCES.
- MECHANICAL UNITS AND DUCTWORK TO BE PROVIDED BY CONTRACTOR'S SELECTED SUBCONTRACTOR.
- SEE WALL LEGEND BELOW.

WALL LEGEND:

- 2X6 FRAMED EXTERIOR BEARING WALL. SEE WALL SECTION A, SHEET A3.01 FOR MORE INFORMATION. SEE STRUCTURAL DRAWINGS FOR CONSTRUCTION INFORMATION.
- 2X4 FRAMED WALL WITH ½" GYPSUM BOARD (OR MATERIAL AS SPECIFIED IN FINISH SCHEDULE) ON EITHER SIDE. SEE SECTION A, SHEET A3.01 FOR FRAMING INFORMATION.
- EXISTING INTERIOR OR EXTERIOR WALLS. REPAIR FINISHES AS REQUIRED FOR RENOVATION.

FLOOR PLAN NOTES:

- ITEMS NOTED BELOW REFER TO TAGS ON FLOOR PLAN. CONTRACTOR TO CONTACT ARCHITECT WITH ANY ERROR OR ISSUES WITH NOTES OR DIMENSION ON PLAN.
- NEW OPENING IN EXISTING STUCCO-FINISHED FRAMED EXTERIOR WALL FOR INTERIOR DOOR. REMOVE EXISTING WINDOW, PROTECT FOR REUSE AND RELOCATION. MODIFY WALL PER STRUCTURAL DRAWINGS. SEE DOOR SCHEDULE FOR DOOR TYPE AND DETAILS.
- BUILT-IN CLOSET SYSTEM (TO BE SELECTED BY CLIENT.) INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE IN-WALL BLOCKING AS REQUIRED FOR INSTALLATION.
- HOSE BIB. INSTALL PER MANUFACTURERS SPEC.
- COMPRESSOR UNIT. CONTRACTOR'S SELECTED MECHANICAL SUBCONTRACTOR TO PROVIDE SPECIFICATION AND INSTALLATION DETAIL FOR THE HOUSE MECHANICAL SYSTEM, INCLUDING THE COMPRESSOR. SEE STRUCTURAL DRAWINGS FOR PAD INFORMATION.
- AIR HANDLING UNIT (AHU). CONTRACTOR'S SELECTED MECHANICAL SUBCONTRACTOR TO PROVIDE SPECIFICATION AND INSTALLATION DETAIL FOR THE HOUSE MECHANICAL SYSTEM, INCLUDING THE COMPRESSOR. SEE STRUCTURAL DRAWINGS FOR PAD INFORMATION.
- WALL-MOUNTED TANKLESS WATER HEATER. COORDINATE LOCATION AND CONNECTIONS WITH PLUMBING AND ELECTRICAL. MAINTAIN REQUIRED CLEARANCES FOR SERVICE ACCESS AND VENTING.
- PROVIDE BLOCKING AND ELECTRICAL OUTLET FOR HEATED TOWEL BAR (TO BE SELECTED BY OWNER). COORDINATE FINAL LOCATION, MOUNTING HEIGHT, AND POWER REQUIREMENTS WITH ARCHITECT AND ELECTRICAL PRIOR TO INSTALLATION.
- 4" ZURN DECK DRAIN. INSTALLED PER MANUFACTURER'S SPECIFICATION.



FLOOR PLAN
SCALE: 1/4" = 1'-0"

JOB #: R-2025-023

DRAWN: JKA

CHECKED: JKA

DATE

☐SD☐DD☐CD☐BID☐PERMIT

REVISIONS:

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ELEVATION NOTES

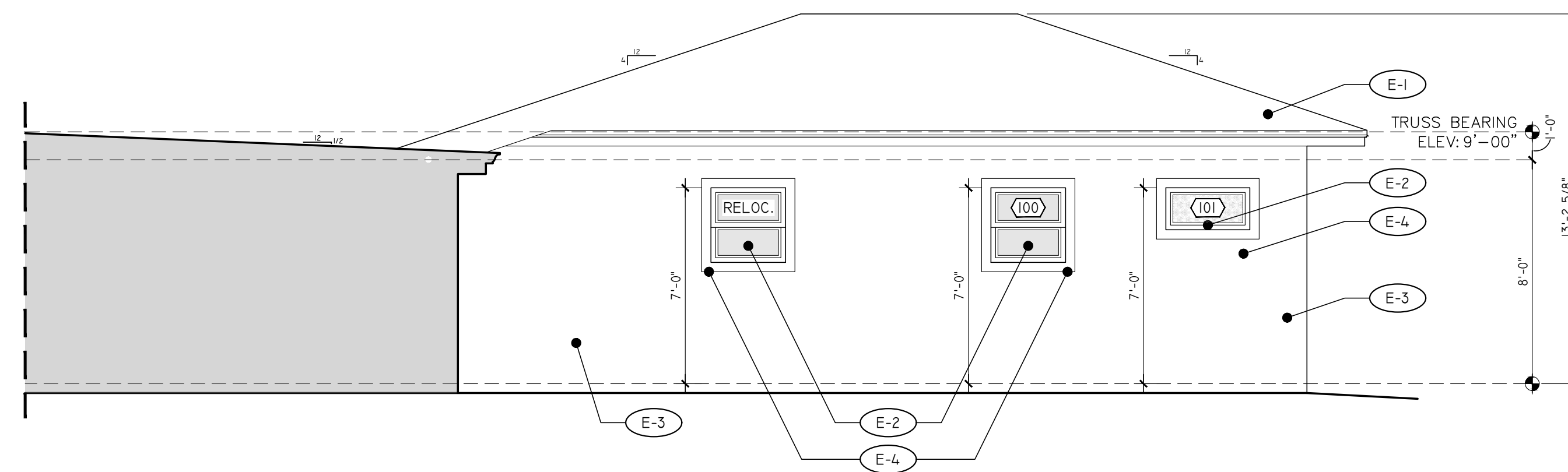
GENERAL NOTES:

1. REFERENCE ARCHITECTURAL SPECIFICATION SHEET A0.02 FOR GENERAL CONSTRUCTION INFORMATION RELATED TO THE PROJECT.
2. FINISH FLOOR DATUM REFERENCES TOP OF SLAB DRAWINGS. VERIFY WITH SURVEY OR CIVIL ENGINEERING DRAWINGS.
3. EACH CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWING AND OBTAIN ALL MEASUREMENTS REQUIRED FOR PROPER EXECUTION OF WORK. DO NOT SCALE PLANS. CONTACT ARCHITECT FOR ANY ADDITIONAL INFORMATION OR DIMENSIONS REQUIRED.
4. DIMENSIONS ARE TAKEN FROM STRUCTURAL ELEMENTS ONLY.
5. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
6. FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE PRODUCT MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND STANDARD DETAILS, IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS REQUIREMENTS AND DESIGN INTENT.
7. ALL EXTERIOR PORCHES AND BALCONIES ARE SLOPED. SEE FLOOR PLAN FOR REQUIRED SLOPE.
8. SLOPE GRADE AWAY FROM STRUCTURE ON ALL SIDES.

ELEVATION NOTES:

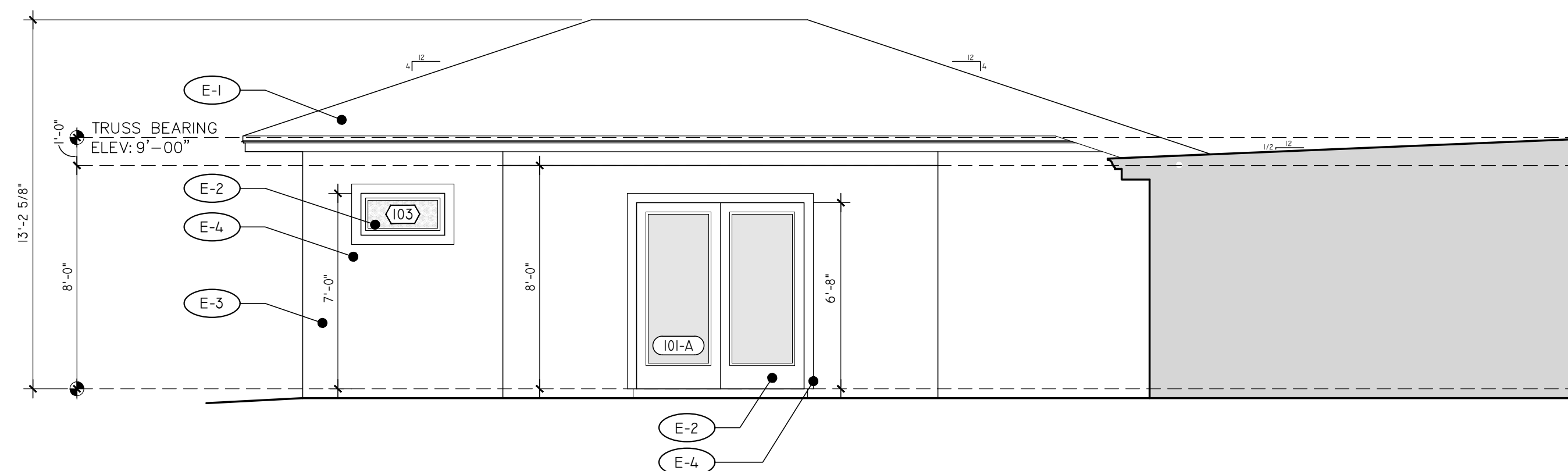
1. ITEMS NOTED BELOW REFER TO TAGS ON FLOOR PLAN. CONTRACTOR TO CONTACT ARCHITECT WITH ANY ERROR OR ISSUES WITH NOTES OR DIMENSION ON PLAN.
2. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL DETAILS AND INFORMATION.

- (E-1) ROOF SPEC TO BE SELECTED BY OWNER & INSTALLED PER MANUFACTURER SPECS. SEE ROOF PLAN, SHEET A1.10 FOR INSTALLATION DETAILS, PITCH, ETC.
- (E-2) NEW EXTERIOR DOOR/ WINDOW. SEE FLOOR PLAN AND DOOR SCHEDULE FOR LOCATION, SIZE AND INSTALLATION DETAILS.
- (E-3) STUCCO OVER FRAME. SEE ARCHITECTURAL SPECIFICATIONS DETAIL 4, SHEET A3.10 FOR STUCCO SPECIFICATION.
- (E-4) NEW 4" STUCCO TRIM AT ALL NEW DOORS AND WINDOWS TO MATCH EXISTING. EXTERIOR PAINT TO BE SELECTED BY OWNER.



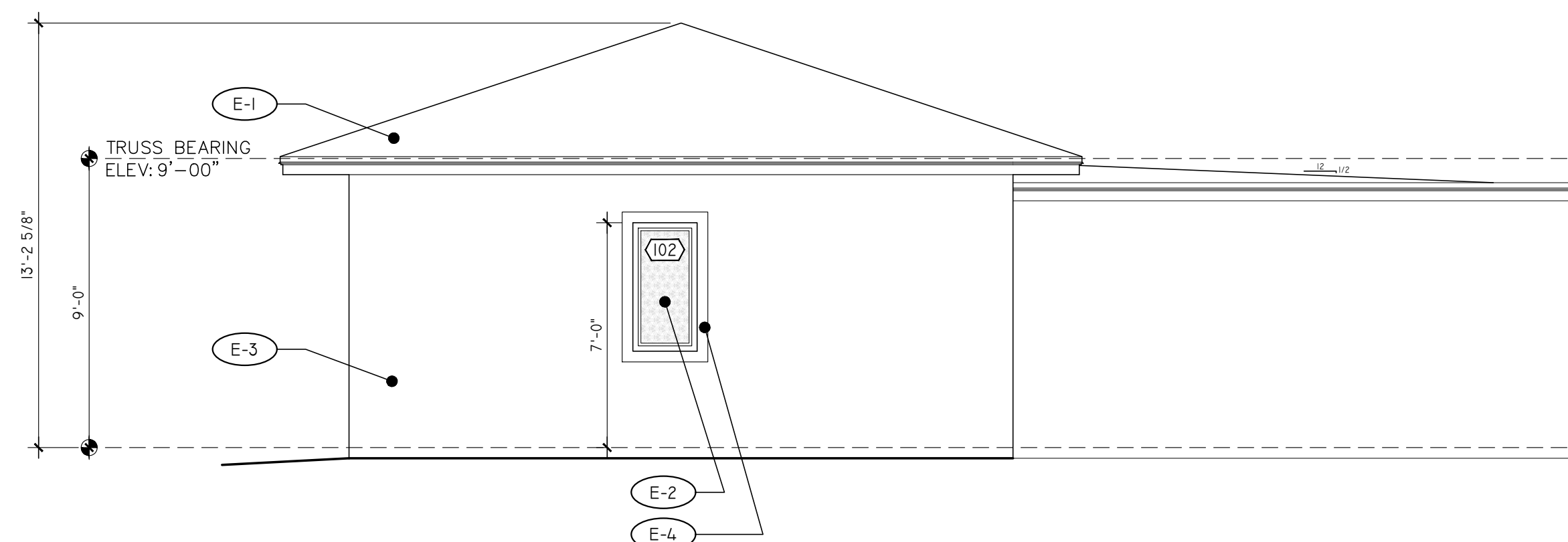
SOUTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



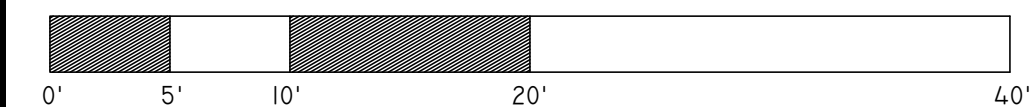
NORTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



EAST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

CUSTOM DESIGN
SAX RESIDENCE
2003 OAK STREET, MELBOURNE BEACH, FL 32951

SEAL

DATE: 2025-10-28

SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A2.01



LANDSCAPE/ IRRIGATION NOTES:

LANDSCAPE: NO CHANGES ARE PLANNED FOR THE EXISTING LANDSCAPING. THE PROPERTY MEETS THE MINIMUM LANDSCAPE REQUIREMENTS FOR THE TOWN OF MELBOURNE BEACH. SOME PLANTINGS MAY BE ADJUSTED OR MOVED AS NEEDED FOR THE NEW ADDITION.

IRRIGATION: THE HOME IS EQUIPPED WITH AN EXISTING IRRIGATION SYSTEM. THIS SYSTEM WILL BE MODIFIED AND ADJUSTED AS NECESSARY TO ACCOMMODATE THE NEW ADDITION AND CONTINUE TO PROVIDE COVERAGE FOR ALL LANDSCAPED AREAS.

meD
studio
ARCHITECTURE

1542 GUAYA AVE
MELBOURNE, FL 32935
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☐BID

☐PERMIT

REVISIONS:

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CUSTOM DESIGN

SAX RESIDENCE

2003 OAK STREET, MELBOURNE BEACH, FL 32951

SEAL

DATE: 2025-10-28

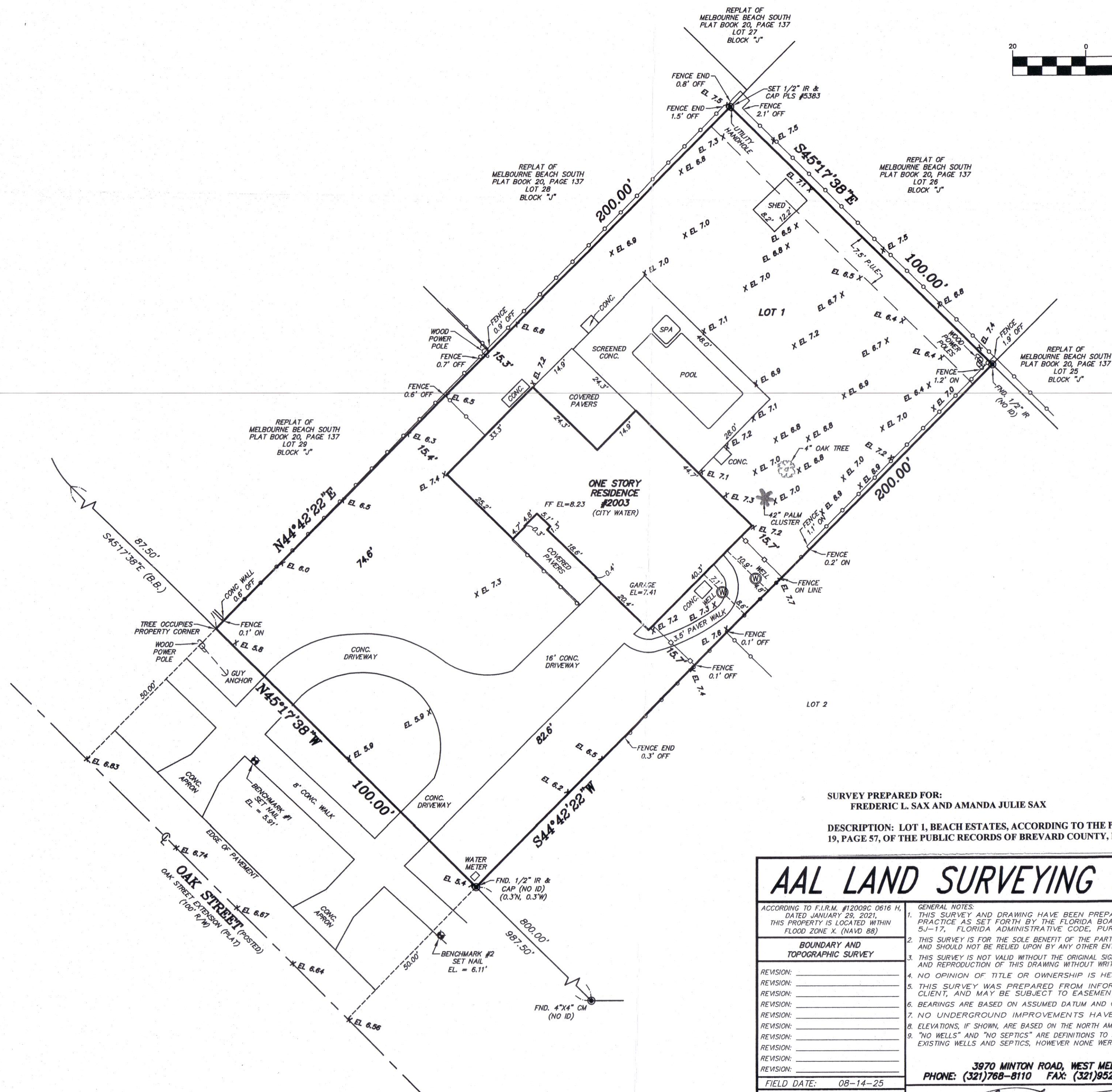
SHEET TITLE

LANDSCAPE &
IRRIGATION PLAN

SHEET NUMBER

A5.01

PROJECT BENCHMARK
BREVARD COUNTY
SURVEYING AND MAPPING
VERTICAL CONTROL MARK
"K8A06 2011"
EL= 9.829' NAVD 1988
EL= 11.263' NGVD 1929



SURVEY PREPARED FOR:
FREDERIC L. SAX AND AMANDA JULIE SAX

DESCRIPTION: LOT 1, BEACH ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 19, PAGE 57, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

AAL LAND SURVEYING SERVICES, INC.

ACCORDING TO F.I.R.M. #12009C 0616 H,
DATED JANUARY 29, 2021,
THIS PROPERTY IS LOCATED WITHIN
FLOOD ZONE X. (NAVD 88)

BOUNDARY AND
TOPOGRAPHIC SURVEY

[illegible]

FIELD DATE: 08-14-25

PROJECT #51353

GENERAL NOTES:

THIS SURVEY AND DRIVING HAVE BEEN PREPARED TO CONFORM WITH APPLICABLE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

THIS SURVEY IS FOR THE SOLE BENEFIT OF THE PARTIES NAMED HEREON AND FOR THE SPECIFIC PURPOSE NOTED, AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTY.

THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE SEAL OF THE FLORIDA LICENSED SURVEYOR.

THIS SURVEY SHOULD NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE SURVEYOR IS HEREBY FORBIDDEN.

NO OPINION OF TITLE OR OWNERSHIP IS HEREBY EXPRESSED OR IMPLIED BY THE SURVEYOR.

THIS SURVEY WAS PREPARED FROM INFORMATION FURNISHED TO THE SURVEYOR BY THE CLIENT, AND MAY BE SUBJECT TO EASEMENTS OR LIMITATIONS EITHER RECORDED OR IMPLIED.

BEARINGS ARE BASED ON ASSUMED DATUM AND ON THE LINE SHOWN AS BEING THE BASIS OF BEARINGS.

NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED UNLESS OTHERWISE SHOWN.

ELEVATIONS, IF SHOWN, ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988, UNLESS OTHERWISE NOTED.

"WELLS" AND "NO SEPTICS" ARE DEFINITIONS TO SHOW AN ATTEMPT BY THE SURVEYOR TO LOCATE POSSIBLE EXISTING WELLS AND SEPTICS. HOWEVER, NONE WERE FOUND USING STANDARD SURVEY LOCATING EQUIPMENT.

3970 MINTON ROAD, WEST MELBOURNE, FL 32904 L.B.#6623
PHONE: (321)768-8110 FAX: (321)952-9771 E-MAIL: frontdesk@aalsurvey.com

ANDREW W. POWSHOK
P.L.S. No. 5383

DANIEL D. GARNER
P.L.S. No. 6189

==| FGEND ==

A-Z		A-Z		A-Z	
(G.B.)	-	BATS OF	PARING		
(W)	-	MEASURED	EXISTING	PROPOSED	
(P)	-	DEED		GRADES	
(D)	-	PLAT	T.B.D.	-	TO BE
(R)	-	IRON ROD			DETERMINED
(P)	-	IRON PIPE			
N&D	-	NAIL AND DISC			
N&T	-	NAIL AND TIN TAP			
CONC.	-	CONCRETE MONUMENT			
PRM	-	PERMANENT REFERENCE MARKER			
EOW	-	EDGE OF WATER			
TBM	-	TEMPORARY BENCHMARK			
DEL	-	DELETED			
R=	-	RADIUS	EL. XXXX	-	EXISTING GRADES
L=	-	ARC LENGTH			
H.D.	-	FOUND			
CH	-	CHORD LENGTH			
P.O.B.	-	POINT OF BEGINNING			
PT	-	POINT OF CURVATURE			
PC	-	POINT OF TANGENCY			
PI	-	POINT OF INTERSECTION			
P/R	-	POINT OF REVERSE CURVE			
R/W	-	RIGHT OF WAY			
B.S.W.	-	BUILDING SETBACK LINE			
O.H.	-	OVERHEAD WIRE			
E.D.	-	EDGE OF PAVEMENT			
P.U.	-	PUBLIC UTILITY EASEMENT			
D.E.	-	DRAINAGE EASEMENT			
EL	-	ELEVATION			
F	-	FINISHED FLOOR			
CONC.	-	CONCRETE			
C.M.P.	-	REINFORCED CONCRETE PIPE			
C.R.P.	-	CORRUGATED METAL PIPE			
ENTERING	-	ENTERING			
LB	-	LICENSED BUSINESS			
PLS	-	PROFESSIONAL LAND SURVEYOR			

Planning and Zoning Meeting

Section: New Business

Meeting Date: January 6, 2026

From: Town Clerk Amber Brown

RE: Appointment of the 2026 Chairperson

Background Information:

The Town Code of Ordinances provides that the Planning and Zoning Board shall appoint the Chairperson of the Board on a yearly basis.

Planning and Zoning Meeting

Section: New Business
Meeting Date: January 6, 2026
From: Town Clerk Amber Brown
RE: Appointment of the 2026 Vice Chairperson

Background Information:

Appointment of the Planning and Zoning Board Vice Chairperson for the calendar year 2026.

Planning and Zoning Meeting

Section: New Business

Meeting Date: January 6, 2026

From: Town Clerk Amber Brown

RE: 2026 Planning and Zoning Board meeting schedule and enabling act ordinance

Background Information:

Approval of the 2026 Planning and Zoning Board meeting schedule and review of the enabling act ordinance.

2026

Town of Melbourne Beach

Planning & Zoning, Commission

Application Deadline	P & Z Meeting Date	Town Commission Date
December 02, 2025	January 06, 2026	January 21, 2026
January 06, 2026	February 03, 2026	February 18, 2026
February 03, 2026	March 03, 2026	March 18, 2026
March 03, 2026	April 07, 2026	April 15, 2026
April 07, 2026	May 05, 2026	May 20, 2026
May 05, 2026	June 02, 2026	June 17, 2026
June 02, 2026	July 07, 2026	July 15, 2026
July 07, 2026	August 04, 2026	August 19, 2026
August 04, 2026	September 01, 2026	September 16, 2026
September 01, 2026	October 06, 2026	October 21, 2026
October 06, 2026	November 03, 2026	November 18, 2026
November 03, 2026	December 01, 2026	December 16, 2026
December 01, 2026	January 05, 2027	January 20, 2027

Board of Adjustment Schedule

Application Deadline	Meeting Date
November 20, 2025	January 15, 2026
December 18, 2025	February 19, 2026
January 15, 2026	March 19, 2026
February 19, 2026	April 16, 2026
March 19, 2026	May 21, 2026
April 16, 2026	June 18, 2026
May 21, 2026	July 16, 2026
June 18, 2026	August 20, 2026
July 16, 2026	September 17, 2026
August 20, 2026	October 15, 2026
September 17, 2026	November 19, 2026
October 15, 2026	December 17, 2026
November 19, 2026	January 21, 2027

§ 7A-135. ESTABLISHMENT; TERMS AND MEMBERSHIP.

(a) The Planning and Zoning Board is a five- member body plus two alternates established by the Town Commission. The term of office of the first members of the Board shall be one year for one member, two years for two members, three years for two members and three years for each alternate with appointments thereafter to be for a term of three years for each member. The alternates will have a voice but not a vote in all Planning and Zoning Board deliberations, unless one or more regular members are absent, in which case the alternates are authorized to vote in accordance with their designation as alternate number one and alternate number two, in that order.

(b) Members and alternates shall be appointed by the Town Commission and may be removed by the Commission for cause and after a public hearing held on written charges. Vacancies shall be filled by the Town Commission for the unexpired term of the members affected.

(c) The Planning and Zoning Board shall appoint the Chairperson of the Board on a yearly basis.

(d) Three members of the Planning and Zoning Board shall constitute a quorum.

(`75 Code, Appendix A, Art. IX) (Ord., passed 9-26-72; Am. Ord. 85-7, passed 11-12-85; Am. Ord. 87-01, passed 1-20-87; Am. Ord. 2017-05, adopted 12-20-17)

§ 7A-136. PROCEEDINGS OF BOARD.

The Planning and Zoning Board shall adopt rules necessary to the conduct of its affairs, and in keeping with the provisions of the Land Development Code. Meetings shall be held at the call of the Chairperson and at such other times as a majority of Board members may determine. The Chairperson, or in his absence the acting Chairperson, may administer oaths and compel the attendance of witnesses. All meetings shall be open to the public. The Board shall keep minutes of its proceedings, showing the vote of each member upon each question, or if absent or failing to vote, indicating other official actions, all of which shall be a public record and be immediately filed in the office of the Town Clerk for the Board. The Town Clerk or said individuals designee shall act as Secretary to the Board.

(Ord. 2017-05, adopted 12-20-17)

§ 7A-137. POWERS AND DUTIES.

(a) The Planning and Zoning Board shall have the powers and duties set forth herein.

(b) The Planning and Zoning Board shall study the resources, possibilities and needs of the Town, land development regulations, and the comprehensive plan, and prepare plans and maps for the systematic future development and betterment of the Town and from time to time make such recommended changes as are deemed advisable.

(c) Any building construction that differs from single-family inclusive of accessory buildings, is by definition to be identified as a commercial structure. A commercial structure is further differentiated from residential construction by stricter building codes (reference Standard Building Code) and a higher state rated contractors' licensing. (See § 489.105, Fla. Stat.)

(d) A member of the Planning and Zoning Board selected by the Planning and Zoning Board may attend all meetings of the Board of Adjustment for the purpose of providing input to the Board of Adjustment with regard to applicable provisions of the Land Development Code. However, if said Planning and Zoning Board member fails to attend a meeting of the Board of Adjustment any action taken by the Board of Adjustment in the absence of said Planning and Zoning Board member shall not be invalid or void by reason of said absence. Said member of the Planning and Zoning Board will have no vote and will not be considered to be a member of the Board of Adjustment, ex officio or otherwise.

(e) The Planning and Zoning Board at public hearings is expected to advise the Town Commission on all matters relating to proposed changes in this Land Development Code.

(f) The Planning and Zoning Board will at all times also operate as the Town's land development regulation commission and the Town's Local Planning Agency, all in accordance with and as provided for by the Community Planning Act (§§ 163.3161 et seq., Fla. Stat.) and § 2A-17 of this code.

(g) The Planning and Zoning Board shall review site plans for all multi-family residential and commercial construction as provided by § 7A-51 to determine compliance with the Land Development Code, compliance with all height and setback regulations and § 7A-59 of the Town of Melbourne Beach Code of Ordinances, and to prepare written recommendations for the Town Commission. If the Town Commission has directed from time to time that the Planning and Zoning Board undertake review of site plans for development within the 1-RS, 2-RS, and 3-RS zoning districts as provided by § 7A-51.1, the Planning and Zoning Board will review site plans for single-family residential and other development as provided by § 7A-51.1 to determine compliance with the Land Development Code and to prepare written recommendations for the Town Commission.

(h) No permit for building, remodeling, or building expansion shall be issued on any multi- family residential or commercial structure until a site plan required to be reviewed pursuant to § 7A-51 is reviewed and approved by the Zoning Official for compliance with all provisions of the Town of Melbourne Beach Code of Ordinances.

(`75 Code, Appendix A, Art. IX) (Ord., passed 9-26-72; Am. Ord. 85-7, passed 11-12-85; Am. Ord. 87-01, passed 1-20-87;

§§ 7A-138. – 7A-149. RESERVED.

(a) Purpose. The purpose of this section is to assure that all development of principal permitted uses within the 1-RS, 2-RS, and 3-RS meets the requirements of this chapter 7A. This review shall be applicable for all principal uses, certain accessory uses, and special exceptions within the 1-RS, 2-RS, and the 3-RS zoning districts, except for churches, museums, places of worship, temples, libraries, or schools in the 1-RS, 2-RS, or 3-RS zoning districts, which shall be reviewed pursuant to § 7A-51. At a minimum, all site plans subject to this section shall be reviewed and evaluated by the Civil Engineer, Building Official and the Town Commission. As provided in subsection (b), the Planning and Zoning Board and the Zoning Official may from time to time also be required to review and evaluate site plans pursuant to this section.

(b) Site plan approval required.

(1) A site plan must be reviewed and evaluated by the Civil Engineer, Building Official and approved by the Town Commission prior to issuance of a permit for development and construction of a principal use, an accessory use developed simultaneous with a principal use, or special exception in the 1-RS, 2-RS, or 3-RS zoning district, as provided in subsection (c).

(2) From time to time, the Town Commission may by voice vote direct that all or certain of the site plans subject to review pursuant to this section shall also be reviewed and evaluated by the Zoning Official and/or the Planning and Zoning Board. The review and evaluation authority of site plans pursuant to this section by the Zoning Official and/or the Planning and Zoning Board may also be withdrawn from time to time by voice vote of the Town Commission.

(3) Review and evaluation of site plans by the Planning and Zoning Board pursuant to this section, if provided for by the Town Commission, shall occur after review by the Civil Engineer and Building Official and prior to review and approval by the Town Commission. Upon completion of review by the Planning and Zoning Board, the Planning and Zoning Board shall make a recommendation to the Town Commission with regard to appropriate action to be taken by the Town Commission relating to a site plan reviewed pursuant to this section.

(4) Review and evaluation of site plans by the Zoning Official, if provided for by the Town Commission, shall occur prior to review and evaluation by the Planning and Zoning Board and the Town Commission. Upon completion of review by the Zoning Official, the Zoning Official shall make a recommendation with regard to appropriate action to be taken relating to a site plan reviewed pursuant to this section.

(c) Site plan review and approval pursuant to this section shall occur with regard to any of the following types of development:

(1) New construction for any principal use structure, any accessory use structure developed simultaneous with any principal use structure, or the expansion or redevelopment of any principal use structure, or use permitted by special exception, in the 1-RS, 2-RS, or 3-RS zoning districts. As used in the foregoing sentence, the term "simultaneous" shall mean that a building permit for development of an accessory use structure is to be issued within 180 days of the issuance of a building permit for new construction of, or the expansion or redevelopment of, any principal use structure;

(2) Construction or alterations that will increase the height of an existing principal use building or structure, including but not limited to additional stories, false roofs, false walls, and facades, in the 1-RS, 2-RS, or 3-RS zoning districts;

(3) Construction or alteration that will expand the footprint of an existing principal use structure or building, or use permitted by special exception, including but not limited to porches, patios, decks, balconies, or the like of an existing structure, all in the 1-RS, 2-RS, or 3-RS zoning districts; and

(4) Construction or alteration that occurs in conjunction with a change in the principal use or use permitted by special exception of an existing building or structure, all in the 1-RS, 2-RS, or 3-RS zoning districts.

(d) General consideration and site plan review for development. The Civil Engineer, Building Official and, if so directed, the Zoning Official and the Planning and Zoning Board shall ascertain that proposed lot area, lot width, lot depth, lot coverage, minimum living area, building or structure height, yard requirements, applicable ocean setback, number of stories, stormwater retention, and use of a principal structure are consistent with and adequate to meet the requirements of this Land Development Code and other applicable provisions of the Land Development Code or are or will be subject to a variance permitting the varying of applicable provisions of the Land Development Code.

(e) Procedure for obtaining site plan approval shall be as follows:

(1) Preapplication conference. The applicant shall meet with the Building Official to discuss basic site plan requirements, consider preliminary features of the site and the proposed development, and determine if the proposed use conforms to the zoning requirements of the district.

(2) Site plan checklist. The applicant shall properly fill out a checklist provided by the Building Official. This checklist will summarize the site plan, and it will be used as a guide for site plan evaluation.

(3) Preliminary site plan. Following the preapplication conference, seven copies of a preliminary site plan prepared and sealed by a civil engineer or architect, registered and licensed by the state, showing the proposed general layout and a vicinity map showing the location of abutting streets, existing and proposed use of the site, and all the factors required by subsections (d) and (f) shall be submitted to the Building Department.

(4) Review and recommendations. Applications for site plan approval shall be submitted to the Civil Engineer and

Building Official, who shall review and evaluate the site plan to assure compliance with the requirements of this section, making recommendations to the Town Commission and, if applicable, the Planning and Zoning Board. If the Town Commission has directed that site plans of the type submitted are to be evaluated by the Zoning Official and/or the Planning and Zoning Board, a copy of the site plan shall be forwarded by the Building Department to the Zoning Official and/or the Planning and Zoning Board for review and evaluation to assure compliance with the requirements of this section. The Zoning Official and/or the Planning and Zoning Board shall make recommendations to the Town Commission and, if applicable, the Planning and Zoning Board.

(5) Upon completion of the review and evaluation of the Civil Engineer, Building Official and, if applicable, the Zoning Official, the recommendations with regard to approval of the site plan shall be forwarded to the Planning and Zoning Board, if review has been directed by this board. Otherwise, the site plan and recommendations shall be forwarded directly to the Town Commission and placed on the Commission's consent agenda. If directed by the Town Commission, the Planning and Zoning Board shall review and evaluate the site plan as provided by this section. Upon completion of review and evaluation, the site plan shall be forwarded to the Town Commission, together with the comments and recommendation of the Planning and Zoning Board and other staff reviewing authorities. If review has not been directed by the Town Commission to be conducted by the Planning and Zoning Board, the applicable Town staff report and recommendations shall be forwarded directly to the Town Commission and placed on the Commission's consent agenda. The Town Commission then shall review all comments and recommendations and take appropriate action with regard to the proposed site plan.

(f) Site plan requirements. Site plans shall include:

- (1) Name, location, owner, and designer of the proposed development and the intended use;
- (2) Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties;
- (3) Date, north arrow, and graphic scale (not less than one inch equals 20 feet);
- (4) Location of all property lines, existing streets adjacent to the subject property, easements, as well as proposed driveways and general lot layout, which shall also be reflected on a professionally signed and sealed survey;
- (5) All proposed structures, major features, and fences, including all existing outbuildings, accessory structures and trees (whether to be affected by the construction or not) which shall also be reflected on a professionally signed and sealed survey, shall be fully dimensioned, including the height of all structures and the distance between principal and accessory structures on site and the distance between structures and driveways, and property or lot lines;
- (6) A professionally prepared drainage plan drawn to scale showing flow paths and retention areas and certifying that retention requirements are met;
- (7) A professionally prepared plan drawn to scale and depicting the height dimension of the proposed structure, construction, or expansion or redevelopment thereof.

(g) Final approval to site plan.

(1) Upon the site plan being approved and a building permit being issued, the development shall be built substantially in accordance with the site plan and the plans and specifications and in such a manner that no requirements of the Land Development Code are violated. Deviations from the approved site plan being made are subject to the approval of the Town Manager, Civil Engineer and Building Official. Substantial deviations as defined by the Town Manager or Civil Engineer or Building Official require approval of the Town Commission and will follow the initial site plan approval process.

(2) Approval of a site plan shall become a binding condition on the use of the land encompassed by the approved site plan under the applicable land use classification. Upon any conveyance of any portion of such land encompassed by the approved site plan, the grantee or transferee shall also be bound by the approved site plan. All changes will be recorded with the original site plan and retained at the Town Hall.

(3) Site plans for the 1-RS, 2-RS, and 3-RS zoning districts are approved for 365 days. During that time a building permit must be applied for. In the event a permit is not applied for within that 365-day period, application must be made for a new site plan approval. Any change in the Land Development Code that occurs during that period will be applicable to the new site plan approval.

(Ord. 2010-01, adopted 3-17-10; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2019-06, adopted 1-15-20)

Planning & Zoning Board Meeting

Section: Old Business

Meeting Date: January 6, 2026

From: Town Manager

RE: Chapter 9A: Landscaping and Trees

Background Information:

The Environmental Advisory Board (EAB) submitted to the Planning and Zoning Board (PZ) proposed revisions to Chapter 9A: Landscaping and Trees. A response was prepared by PZ Board member Dan Harper, dated September 30, 2025 and was shared with both the EAB and PZ. At the November 3rd PZ meeting, PZ recommended denial of the proposed changes to the Town Commission. The Town Manager requested that the changes be reviewed by the Town Planner and brought back to both groups for their review prior to any action being brought to Town Commission.

Recommendation:

Review proposed modifications and propose recommendation to Town Commission for approval or denial.

Following are suggestions from Corey O’Gorman, Town Planner, Town Manager based on review of the existing code language, proposed amendments from EAB, comments from P&Z and EAB responses, and the EAB handout on intent. Please note that the language include below is not intended as final verbiage, but rather recommendations for consideration. All highlighted verbiage are comments from the Town Planner.

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ARTICLE I. LANDSCAPING

§ 9A-1. DEFINITION.

For the purpose of this article the following definitions shall apply unless the context clearly indicates or requires a different meaning.

~~Include definition of Tree and Palm:~~

TREE. A Florida native tree species with a trunk diameter of four inches (4”) diameter at breast height (dbh) or greater, and a native palm with a minimum clear trunk height of eight feet (8’).

YARD AREA. The front, side and rear yard areas as established and required by Chapter 7A.

(` 75 Code, § 22-17) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17)

§ 9A-2. INTENT.

~~Suggest including intent language that reflects the provisions of this chapter such as:~~

The intent of this article is to define Florida native and invasive plant species, establish provisions for the preservation and ~~replac~~ replacement of e-native species and removal of invasive species, and to provide a procedure for Town review and approval of tree removal applications and landscape development applications.

The intent of this article is also to preserve Florida native trees whenever and wherever they exist and to provide trees wherever they are sparse or do not exist, thus enhancing the health, welfare and beautification of the Town. The intent of the article also includes the encouragement of “Florida Friendly Landscaping” as defined by § 375.185(b), Fl. Stat. and “Florida Native Landscaping” as defined by the University of Florida’s *Institute of Food and Agricultural Sciences (IFAS)*.

This chapter addresses the increasing canopy loss in the Town, by setting standards to help restore it one property at a time and preserve the environment of the Town for future generations.

Landscaping and trees benefit the Town by performing the following functions: such as the following:

- Improve air quality through the Absorbabsorption of carbon dioxide and returnrelease of oxygen to the atmosphere.
- Remove dust and other particulates from the air.
- Provide wildlife habitat, particularly for birds which, in turn, help control insects.
- Provide soil stabilization, which reduces erosion and mitigates the effect of flooding.
- Provide shade to conserve energy, reduce glare, modulate temperature and reduce heat island effects.make outdoor areas more comfortable during hot weather.
- Provide barrier to Reduce ground-level wind speeds during tropical storms and hurricanes, thereby reducing danger to people and damage to property.
- Enhance the Town's attractiveness.
- Provide attractive buffering between different land uses.
- Reduce noise and surface water runoff.
- Mitigate conflicts between adjoining land uses.
- Maintain preservation of native ecosystems for future generations.immediate benefits of decade and century old mature trees which cannot be quickly replaced by a new sapling.

(` 75 Code, § 22-16) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17)

§ 9A-3. APPLICABILITY.

The terms and provisions of this article shall apply to all real property in all zoning districts.

(` 75 Code, § 22-18) (Ord. 75-3, passed 5-27-75; Am. Ord. 87-13, passed 9-22-87; Am. Ord. 2017-05, adopted 12-20-17)

§ 9A-4. PERMIT REQUIRED FOR ~~CUTTING DOWNREMOVING TREES~~ :TREE REMOVAL

Suggest capitalizing "Tree" as a defined term, referencing the definition in 9A-1. Suggest not including reference to a list of Certified Arborists because it would have to be kept up to date, and don't want to show any preference if the list isn't up to date.

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No person, organization, society, association or corporation, or any agent or representative thereof, directly or indirectly, shall cut down, destroy, remove, move or effectively destroy through damaging any native Tree or cluster of Trees including palm trees, scrub oak or sand live oak of any size, or any non-invasive tree as defined herein with a trunk diameter four inches (4") dbh or greater, situated on property in any zoning district without first obtaining a permit as herein provided. Tree removal on any property in any zoning district shall be in accordance with the standards mandated in the most recent edition of the *Best Management Practices - Tree Risk Assessment* published by the International Society of Arboriculture or a certification from an arborist certified by the International Society of Arboriculture or a Florida licensed landscape architect as to substantial compliance with such standards. Any tree which poses an unacceptable risk may qualify for removal without a permit pursuant to Fla. Stat. § 163.045 or as such section may be amended. A current list of Certified Arborists with a tree risk assessment qualification is maintained by the Town manager.

(` 75 Code, § 22-19(a)) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17; Ord. 2023-01, adopted 3-15-23)

§ 9A-5. APPLICATION FOR PERMIT; REVIEW OF APPLICATION.

(a) Application. Permits for removal, relocation, or replacement of trees covered herein, shall be obtained by making application for a permit to the Building Official. The application shall be accompanied by a written statement prepared by a Certified Arborist indicating the reason for removal, relocation, or replacement of trees a mitigation plan, and two copies of a legible site plan prepared by a Landscape Architect drawn to a minimum scale of one inch (1") equals 20 twenty feet (20'), indicating the following and including a tree survey provided by a licensed Surveyor accurately locating the trees in relationship to other improvements and including a legend identifying the type and size of trees:

Commented [MT1]: Not necessary and can be expensive for single family lot owners

Commented [MT2]: Again, can be very expensive if not a new build or rebuild project.

- (1) Location of all existing or proposed structures, improvements, and sites used, properly dimensioned and referenced to property lines, setback, and yard requirements;
- (2) Location of existing or proposed utility services and drainage plan, when known;

(3) The location of all trees on the site designating the trees to be retained, removed, relocated, or replaced. Groups of trees in close proximity may be designated as clumps of

trees with the predominant type and estimated number and average diameter noted. Only those trees to be removed, relocated, or replaced must be named (common or botanical name) on the site plan;

(4) The tree information required above shall be summarized in legend form on the plan and shall include the reason for the proposed removal, relocation, or replacement; and

(5) An application involving developed properties may be based on drawings showing only that portion of the site directly involved, and adjacent structures and landscaping or natural growth incidental thereto.

~~Except for new construction permits, if removal of a Protected Tree is requested, homeowner will develop a mitigation plan for how they will replace the tree.~~

Commented [MT3]: Protected Tree not defined. Generally we are stating all native trees.

(b) Application review. Upon receipt of a ~~proper complete~~ application, the Building Official shall review the application, which will include a field check of the site and referral of the application to ~~others concerned~~ other departments including planning and engineering as necessary, to determine any adverse effect upon the general public welfare, adjacent properties, or Town services and facilities.

~~Consider including the criteria for review and approval from Section 9A-6, or referencing it here to be clear. Also suggest reliance on information and documents submitted by a Surveyor, Certified Arborist and/or a Landscape Architect.~~

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Commented [MT4]:

(` 75 Code, § 22-19(b), (c)) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23) Penalty, see § 9A-12

§ 9A-6. ~~ON-SITE INSPECTION CRITERIA FOR TREE REMOVAL PERMITTING.~~

~~Consider requiring survey, plans and/or documentation submitted by Surveyor, Certified Arborist and/or Landscape Architect as appropriate to provide the evidence needed to review and approve a permit for removal, and a final inspection by the Town would be in conjunction with a final building/CO inspection to confirm compliance with the plan.~~

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Commented [MT5]: Yes, already part of entitlement process.

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(a) On-site inspection. Prior to the issuance of a permit for tree removal or relocation ~~(and prior to issuance of a certificate of occupancy in the case of new construction)~~, the Building Official or his agent shall conduct an on-site inspection to determine ~~whether or not~~ if such a removal or relocation conforms to the requirements of this chapter. ~~The on-site inspection will also be conducted by a Landscape Officer in the case of new landscape designs or permits to remove one or more canopy trees.~~

(b) Issuance.

(1) Removal. No permit shall be issued for tree removal unless one of the following conditions exists ~~with supporting documentation from a Surveyor, Certified Arborist and/or Landscape Architect:~~

Commented [MT6]: Redundant

a. The tree is located in a buildable area ~~of the property~~ where a structure or improvements may be placed ~~and~~ where ~~not removing~~ the tree would unreasonably restrict the permitted use of the property and the tree removal has been authorized by the Town as part of a site plan review;

b. The tree cannot be relocated on or off the site because of age, type, or size of tree;

c. The tree is diseased, dead, injured, in danger of falling, too close to existing or proposed structures, interferes with utility service, creates unsafe vision clearance ~~at intersections or road entries~~, or conflicts with other ordinances or regulations; or

d. It is in the welfare of the general public that the tree be removed for a reason other than set forth above ~~and in accordance with Florida Statute 163.045 Tree pruning, trimming, or removal on residential property.~~

Commented [MT7]: FL Statute covers e and f.
Redundant

~~e. (a) Mangroves can only be trimmed per state code. 1996 Mangrove Trimming and Preservation Act (sections 403.9321-403.9333, F.S.)~~

~~e. Unless restricted by Florida Statute 163.045, Protected Trees shall not be permitted to be removed without Town Commission approval. Protected Tree determination will be conducted by the Landscape Officer during on-site inspection.~~

~~f. A permit request to remove a tree because it poses unacceptable risk to persons or property must be accompanied with a signed risk assessment from an ISA certified arborist or a Florida licensed landscape architect.~~

(2) Relocation or replacement. As a condition to the granting of a permit, ~~unless restricted by Florida Statute 163.045~~, the applicant ~~may will~~ be required, where practical, to relocate the tree being removed or be required to replace the tree being removed with a tree ~~somewhere within the site on the property~~ of the ~~same or similar species type~~ that will attain an overall height of at least twelve feet (12') and have a trunk caliper of ~~at least four two inches (24") dbh~~ at planting ~~for canopy trees; -and a measured four and one-half feet (4.5') above grade~~ minimum clear trunk height of eight feet (8') for Palms. ~~The green areas left after all building and parking lot requirements have been met shall contain a tree density equal to or greater than that what was existing on the overall site before the beginning of construction. A permit to relocate a tree will be granted only if there is a~~

Commented [MT8]: Industry standard definition of DBH
- redundant

reasonable expectation that the tree will survive the relocation and thrive in the new location. The Town may require a recommendation from a Department of Agriculture Forester or a Certified Arborist to determine and assure that the tree is of a species which can be successfully moved at its current size and that all conditions for its survival are being met in the plan to relocate.

(` 75 Code, § 22-19(d)) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23) Penalty, see § 9A-12

§ 9A-7. MINIMUM TREE PLANTINGS: LANDSCAPE PLANS

Consider adding language for when trees must be planted in conjunction with specific codified approval processes including:

* When a tree is removed on an existing developed site per 9A-4.

* As part of the plan review for single-family renovation reviewed under Section 7A-51.1.

* As part of the plan review for single-family new construction reviewed under Section 7A-51.1

* As part of the plan review for multi-family and commercial renovations or new construction reviewed under Section 7A-51.

(a) Landscaping in all zoning districts.

(1) ~~All developed lots within the Town shall be landscaped in accordance with the provisions of this section. All lots to be developed or re-developed shall be landscaped in accordance with this chapter prior to the issuance of a final building inspection or certificate of occupancy.~~

~~(2) All permeable and semi-permeable areas of the site shall be designed and maintained in a manner which allows water to percolate into the ground and prevents erosion from wind or rain.~~

(32) Landscaping plans ~~must~~ are encouraged to incorporate Florida-Friendly Landscaping and Florida Native Landscaping landscaping principles consistent with the guidelines, including the use of drought-tolerant native plants, efficient irrigation systems, and soil amendments that promote water retention, ~~consistent with the guidelines set forth by the Florida-Friendly landscaping program and Chapter 373.185, Florida Statutes shall be used for all new development and redevelopment. Excluding the grass lawn, at least 70 percent each of the number of ground covers,~~

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Commented [MT9]: Recommend adding language to the zoning section referencing landscaping regulations. However, all applicants should be reviewing the entire LDC for reference prior to submitting applications for building.

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grasses, vines, shrubs, and trees comprising the landscape. Landscaping plans shall be comprised of 50% ~~shall be~~ native plants selected from the current edition of the Florida Native Plant Society's list of native plants, as applicable to the East Central Florida Region. A list of native trees and plants known to survive within this region is listed in section 9A-14. This applies to tree removal permits and for all lots being developed or redeveloped with new construction.

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~~(4) Any other activity that involves replacement of ground covers, grasses (excluding lawns), vines, shrubs, and trees, replacement species should be Florida natives until or unless 70% native plantings is already attained.~~

(53) Plants in the Florida Invasive Species Council's most current list of invasive species shall be removed from a property during development or redevelopment and shall not be planted as part of the approved landscape plan. ~~used in landscapes. Reference the list of nuisance species in Section 9A-13.~~

(4) Minimum replacement standards for new construction/development or re-development under the guidelines of the Land Development Code: Any trees that are removed for new construction or reconstruction shall be replaced by the same or similar species. Specifically for mature oak trees 10 years old or more, replacement of one (1) similar species for each tree removed shall be required which at a minimum will attain an overall height of at least twelve feet (12') and have a trunk caliper of at least two four (4) inches dbh (2") at planting, measured four and one-half feet (4.5') above grade. The two for one oak replacement is required until the mini number of canopy trees required has been met.

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~~(a) Trees in residential zoning districts. Trees planted must be of a variety which is compatible with the existing soil and drainage conditions and must be provided with adequate water and food materials to encourage growth. Trees shall be planted in locations so as not to cause danger to nor interference with existing structures at the time of maturity.~~

(5) Minimum specifications for trees and hedge material shall be as follows:

a. Canopy trees at the time of planting shall have a trunk diameter of four (4) inches dbh. The trees shall be a minimum of eight feet in height and have a minimum spread of five feet. The trees are not required to be spaced evenly along property lines.

b. Trees smaller than canopy trees shall at the time of planting have a trunk diameter of one and one-half inches measured four and one-half feet above grade. The trees shall be a minimum of six feet in height and have a minimum spread of four feet.

c. Palms at the time of planting shall have a minimum clear trunk of eight feet.

d. Hedge material at the time of planting shall be a minimum of eighteen (18) inches in height when planted. Individual plants shall be planted a maximum of 24 inches on center.

(6) All plant material shall be Florida Number 1 in quality and shall be planted according to sound landscape installation standards.

(7) All landscaping shall be maintained to present a neat and orderly appearance. Dead, deteriorating or missing landscape material shall be replaced with landscaping as permitted in 9A-7(a). Replacement of landscaping material shall occur within sixty (60) days of loss, unless said time is extended by the Town Manager for good cause shown.

(8) Exceptions shall be considered on an individual basis based upon demonstrated unique characteristics of the site in question. Any such reduction or relocation shall comply with the intent of this chapter.

(9) Canopy trees shall be those that develop a crown spread of 25 feet or greater at maturity. Trees with less than twenty-five (25) feet of crown spread at maturity shall be considered ornamental trees or small trees.

(10) Clusters of three palms shall be an acceptable substitute for up to 50% of the required canopy trees and 50% of the required ornamental trees.

(11) Landscape material should be drought tolerant to the extent practical and feasible. A water source shall be available to ensure the plant material can be watered while it is being established and during drought occurrence. Automatic irrigation systems may be utilized.

(12) Currently developed sites that do not meet the landscape requirements will not be considered non-conforming. Landscaping consistent with the regulations shall be installed at these sites, to the extent practical, as redevelopment occurs. of over six months occurs, full compliance with this section shall not be required.

(b) Buffer and tree planting requirements for all non-residential and multiple family residential uses.

(1) A landscape buffer with a minimum of ten feet in width shall be provided between any residentially zoned property and a property utilized for a non-residential or multiple family residential use. Responsibility for providing a landscape buffer shall be upon the nonresidential or multifamily use. The landscape buffer shall include a minimum of one native canopy tree for every 40 linear feet, or fraction thereof. In addition, one ornamental smaller tree or palm shall be planted for each 50 linear feet, or fraction thereof.

(2) A landscape buffer with a minimum of ten feet in width shall be provided along all road frontage of the site. The landscape buffer shall include a minimum of one canopy tree for every 25 feet of frontage, or fraction thereof.

(3) A continuous hedge shall be planted in all perimeter landscape buffer areas.

(4) Parking areas shall be designed so that there is a minimum of two hundred (200) square feet of open space, not including perimeter landscape buffer areas, at the end of each row of parking. In addition, a minimum of two hundred (200) square feet of open permeable green space shall be provided in the interior of the parking lot for each ten parking spaces, or fraction thereof. These open spaces shall be distributed throughout the parking lot in a manner that no more than ten parking spaces in a row shall be allowed without an intervening landscaped area.

~~—(5) Minimum specifications for trees and hedge material shall be as follows:~~

~~— a. Canopy trees at the time of planting shall have a trunk diameter of two four (4) inches dbh measured four and one-half feet above grade. The trees shall be a minimum of eight feet in height and have a minimum spread of five feet. The trees are not required to be spaced evenly along property lines.~~

~~— b. Ornamental ~~trees smaller than canopy trees~~ at the time of planting shall at the time of planting have a trunk diameter of one and one-half inches measured four and one-half feet above grade. The trees shall be a minimum of six feet in height and have a minimum spread of four feet.~~

~~— c. Palms at the time of planting shall have a minimum clear trunk of eight feet.~~

~~— d. Hedge material at the time of planting shall be a minimum of sixteen (16) inches in height when planted. Individual plants shall be planted a maximum of 24 inches on center.~~

~~—(6) All plant material shall be Florida Number 1 in quality and shall be planted according to sound landscape installation standards.~~

~~—(7) All landscaping shall be maintained to present a neat and orderly appearance. Dead, deteriorating or missing landscape material shall be replaced with substantially~~

equivalent landscaping as permitted by the Land Development Code in 9A-7(a). Replacement of landscaping material shall occur within sixty (60) days of loss, unless said time is extended by the Town Manager for good cause shown.

—(8) Exceptions shall be considered on an individual basis based upon demonstrated unique characteristics of the site in question. Any such reduction or relocation shall comply with the intent of this chapter when obstacles such as overhead power lines or other conditions inhibit the ability to comply.

—(9) Canopy trees shall be those that develop a crown spread of 25 feet or greater at maturity. Trees with less than twenty five (25) feet of crown spread at maturity shall be considered ornamental trees.

—(10) Clusters of three palms shall be an acceptable substitute for up to 50% of the required canopy trees and 50% of the required ornamental trees.

—(11) Landscape material should be drought tolerant to the extent practical and feasible. A water source shall be available to ensure the plant material can be watered while it is being established and during drought occurrence. Automatic irrigation systems may be utilized.

—(12) Currently developed sites that do not meet the landscape requirements will not be considered non-conforming. Landscaping consistent with the regulations shall be installed at these sites, to the extent practical, as redevelopment occurs. Unless complete reconstruction or rehabilitation that results in closure of a building or buildings for a period of over six months occurs, full compliance with this section shall not be required.

(c) Minimum replacement standards for new construction development or re-development under the guidelines of the Land Development Code. Any trees that are removed for new construction shall be replaced by the same or similar species. Specifically for mature oak trees 10 years old or more, replacement of one (1) two for one similar species for each tree removed shall be required which at a minimum will attain an overall height of at least twelve feet (12') and have a trunk caliper of at least two four (4) inches dbh (2") at planting, measured four and one-half feet (4.5') above grade. The two for one oak replacement is required until the minimum number of canopy trees required has been met.

(dc) Maintenance of trees and landscaping. If the removal of any tree or landscaping from any lot causes the number of remaining trees or vegetative species to fall below the minimum standards required by this section or as reflected on any approved site plan or landscaping plan for said lot, replacement trees or vegetative species meeting the

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requirements of this chapter section or any approved site plan or landscaping plan shall be re-planted on the lot within thirty (30) days after removal.

(` 75 Code, § 22-20) (Ord. 75-3, passed 5-27-75; Am. Ord. 87-13, passed 9-22-87; Am. Ord. 2008-08, adopted 9-3-08; Am. Ord. 2009-03, adopted 4-15-09; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23) Penalty, see § 9A-12

§ 9A-8. TREE PROTECTION.

Consider requiring a tree preservation plan showing how the trees are to be protected during construction. This would provide the details discussed in this section and would be submitted by a Landscape Architect as part of the landscape drawings, and is standard in many communities

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(a) Protection of trees during land-clearing.

(1) Trees ~~that are~~ retained during land-clearing of an approved development or re-development project can be applied toward total tree requirements for the property. Prior to land-clearing, on-site protection must be initiated by constructing suitable protective barricades around trees to prevent mechanical damage. Barriers should be constructed around individual trees or groups of trees that are susceptible to mechanical damage. Protective barriers shall be placed around all trees to be retained on the site in accordance with the University of Florida's Institute of Food and Agricultural Sciences (UF/IFAS) "Tree Preservation During Land Development"¹ guidance to prevent the destruction or damaging of the trees. No disturbance or addition of soil will be made within the umbrella or drip line of retained trees. Any clearing within the umbrella or drip line of such trees shall be done with utmost care and avoid the use of heavy machinery. Prior to any land-clearing activity, a visual inspection of the site will be made by the Building Official and the Landscape Officer before a land-clearing permit is issued. The land-clearing permit must be posted on-site. Only land-clearing is permitted within-outside the drip line of the tree to be protected.

(2) On-site protection of trees may be barriers consisting of two-by four-inch lumber or flag rope and stakes visible to workers and equipment operators, but far enough from the tree to prevent soil compaction and large enough to include the area within the drip line of the tree ~~(drip line refers to the outer edges of tree limbs and branches).~~

(3) Should a deep filling around a tree be necessary, a dry well, retaining wall or terracing may be required. Procedures for these are available in the site planning and tree protection regulations available at the County Extension Office.

¹ <https://hort.ifas.ufl.edu/woody/preservation.shtml>

(b) Attachments to tree. No attachments or wires other than those of a protective nature shall be attached to any tree.

(c) Tree survival. Trees must survive on-site in a viable condition for a minimum of three (3) years after the final building inspection or certificate of occupancy is issued, or after a permit is granted for any tree replacement otherwise. Trees failing to meet this survival requirement must be replaced within 45 days after a written notification of code violation is received by the property owner from the town issued by the Town. Replacement trees must be tagged or indicated on the as built plans on file with the Town and reinspected for continued viability annually for three (3) years by Code Enforcement.

~~(d) Landscaping prohibition. Plants included on the current Florida Noxious Weed list – Rule 5B-57.007 in Florida Administrative Code.~~

(` 75 Code, § 22-21) (Ord. 75-3, passed 5-27-75; Am. Ord. 87-13, passed 9-22-87; Am. Ord. 2017-05, adopted 12-20-17)

§ 9A-9. TREES ON PUBLIC LANDS.

No tree shall be removed from any public park or public right-of-way except under the provisions of this article.

(` 75 Code, § 22-23) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17)

§ 9A-10. VARIATIONS TO LANDSCAPE REQUIREMENTS EXCEPTIONS.

(a) In the event that any tree shall be determined to pose an unacceptable risk as provided for in § 9A-4 or to be in a hazardous or dangerous condition so as to endanger the public health, welfare or safety and requires immediate removal without delay such tree may be removed without first obtaining a written permit as herein required.

(b) During a period of emergency, such as a hurricane, tropical storm, flood, or any other act of God, the requirements of this Article may be waived by the Town Commission.

(c) All licensed plant or tree nurseries shall be exempt from the terms and provisions of this Article only in relation to those trees planted and growing on the premises of the licensee, which are so planted and growing for sale or intended sale to the general public in the ordinary course of the licensee's business.

(d) The types of trees included on the current Florida Noxious Weed List and Florida Exotic Pest Council's List of Invasive Plant Species shall be exempt from the terms and provisions of this article and shall not be used to meet any replacement or planting

requirements. [A copy of the Florida Invasive Species Council List of Invasive Plant Species will be available from the Town code enforcement. Suggest referencing the proposed Section 9A-13.](#)

(` 75 Code, § 22-22) (Ord. 75-3, passed 5-27-75; Am. Ord. 87-13, passed 9-22-87; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23)

§ 9A-11. RESERVED.

~~(a) Mangroves can only be trimmed per state code. 1996 Mangrove Trimming and Preservation Act (sections 403.9321-403.9333, F.S.)~~

§ 9A-12. PENALTY.

This is outside my area of expertise, but the fines appear quite high to me and I wonder if these provisions could be implemented and managed by the Town. Although the fines/penalties might be valued correctly, for a community that has not dealt with fines such as this, it might be better to try to do some education first and then implement a penalty program. Also, it might make sense (like other permits) to charge double the amount of the permit for removal if it is done without a permit.

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The improper removal of each tree shall constitute a separate offense under this chapter. Violation of this chapter and imposition of the penalty shall be determined and imposed by the Code Enforcement Special Magistrate or by a court of proper jurisdiction.

Commented [MT10]: All fines and fees are established by Resolution and not included in an Ordinance. Currently there is not a fee for a tree removal application. The review and approval are part of the building permit fee.

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Removal of any mature oak or similar trees without first obtaining a permit from the Town as required in § 9A-4 shall constitute prima facie evidence of a violation which is irreparable or irreversible in nature for the purposes of enhanced fine assessment provided for in § 11-21(b)(1) or as otherwise amended. [Photography \(either ground, ~~areal~~ aerial, or geospatial\) or other applicable data may be used as prima-facie evidence of the existence of trees on a site prior to any unapproved removal.](#)

[Fee structure for removal of protected trees is provided below.](#)

Commented [MT11]: Mitigation fees must be established by the Town Commission along with the Fee Resolution. At this time, the Town does not have a tree mitigation ordinance option or fee established.

PROTECTED TREE		FEE FOR UNLAWFUL REMOVAL			
Common Name	Scientific Name	Min	Per inch; 5-10" dbh*	Per inch; 10-20" dbh*	Per inch ≥20" dbh*
Black mangrove	Avicennia germinans	\$1,000			

Gumbo limbo	Bersera simaruba	\$1,000	\$200	\$400	\$800
Oak, other	Quercus	\$1,000	\$200	\$400	\$800
Longleaf pine	Pinus palustris	\$1,000	\$200	\$400	\$800
Magnolia	Magnolia grandiflora	\$500	\$100	\$200	\$300
Red mangrove	Rhizophora mangle	\$1,000			
Sand live oak	Quercus geminata	\$2,000	\$400	\$600	\$1,200
Scrub oak	Quercus inopina	\$2,000	\$400	\$600	\$1,200
Slash pine	Pinus elliottii	\$1,000	\$200	\$400	\$800
White mangrove	Laguncularia racemosa	\$1,000			

Example: A gumbo limbo 15" wide at dbh, if removed without permit, would be subject to a penalty of \$6,000 (\$400 X 15").

(` 75 Code, § 22-25) (Ord. 75-3, passed 5-27-75; Am. Ord. 87-13, passed 9-22-87; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23)

~~§§ 9A-13.-9A-99. RESERVED.~~

§ 9A-13. NUISANCE TREES.

a. The following trees are considered non-native, noxious, invasive species. Property owners are encouraged to remove all such trees from the properties they own within the Town consistent with this chapter. Contact the Town's Environmental Advisory Board for free site visits to identify these species.

- Brazilian pepper (*Schinus terebinthifolius*)
- Melaleuca (*Melaleuca quinquenervia*)
- Australian pine (*Casuarina equisetifolia*)
- Carrotwood (*Cupaniopsis anacardioides* (A. Rich.) Radlk)
- Schefflera (*Schefflera digitata*)

Commented [MT12]: Recommend invasive species reference.

§ 9A-14. LIST OF FLORIDA NATIVE TREES AND PLANTS.

LEGEND

+ Cold tolerant

- Cold intolerant

Commented [MT13]: I do not recommend listing individual species and not others that are just as relevant and native to the beachside ecosystem. Best to keep the list in accordance with existing reference to Florida Native and Florida Friendly.

PROTECTED FLORIDA NATIVE TREES	
Common Name	Scientific Name
Black mangrove	Avicennia germinans
Gumbo limbo	Bersera simaruba
Laurel oak Oak, other	Quercus Sp. hemisphaerica
Live oak Hickory	Quercus virginiana
Longleaf pine	Pinus palustris
Magnolia	Magnolia grandiflora
Red mangrove	Rhizophora mangle
Sand live oak	Quercus geminata
Scrub oak	Quercus inopina
Slash pine	Pinus elliottii
White mangrove	Laguncularia racemosa

GRASSES				
Common Name	Scientific Name	Cold Tolerance		
Beach Grass	Panicum Amarulum	-	-	±
Muhly Grass	Muhlenbergia Capillaris	-	±	-
Seashore Dropseed	Sporobolus Virginicus	-	±	-
Dwarf Fakahatchee	Tripsacum floridanum	-	-	±
Salt meadow cord grass	Spartina Patens	±	-	-
Smoth Cord Grass	Spartina Alteriflora	-	-	±
Salt grass	Distichlis Spicata	-	±	-
Sand Cord grass	Spartina Bakeri	±	-	-
Eastern Gama Grass	Tripsacum Dactyloides	-	±	-
Love grass	Eragrotis spectabilis	-	-	±
Blue-eyed grass	Sisyrinchium atlanticum	±	-	-

GROUND COVER				
Common Name	Scientific Name	Cold Tolerance		
Adams Needle	Yucca Filamentosa	-	±	-
Beach Elder	Iva Imbricata	-	-	±
Bracken Fern	Pteridium Aquilinum	-	-	±
Coontie/Arrowroot	Integrifolia, Angustifolia	-	±	-
Coontie/Arrowroot	Zamia Floridana, Pumilia	-	±	-
Florida Beargrass	Nolina Atopocarpa	-	-	±
Florida Beargrass	Nolina Brittoniana	-	-	±

Glaswort	Salicornia Spp Native	-	-	+
Golden Creeper	Ernodea Littoralis	-	=	-
Gopher Apple	Licania Michauxii	-	-	+
Penny Royal	Piloblephis Rigida	-	-	+
Prickly Pear	Opuntia Humifusa Compressa	-	+	-
Prickly Pear	Opuntia Stricta	-	+	-
Rosemary	Creatiola Erocoides	-	-	+
Runner Oak	Quercus Pumila	-	+	-
Sea Oats	Uniola Paniculata	-	+	-
Spanish Dagger	Yucca Aloifolia	+	-	-
St Johns Wort	Hypericum Spp	-	+	-

<u>LARGE TREES</u>				
Common Name	Scientific Name	Cold Tolerant		
Bald cypress	*Taxodium distichum	-	-	+
False dogwood or southern soapberry	Sapindus saponarina	-	-	+
Gumbo limbo	Bersera simaruba	-	=	-
Laurel oak	Quercus hemisphaerica	-	+	-
Live oak	Quercus virginiana	-	-	+
Magnolia	Magnolia grandiflora	-	-	+
Sand live oak	Quercus geminata			
Slash pine	Pinus elliottii	-	-	+
Soapberry	Sapindus marginatus	-	-	+
* Commercial applications around retention areas				

<u>MEDIUM TREE</u>				
Common Name	Scientific Name	Cold Tolerant		
American elm	Ulmus americana	-	+	-
Black ironwood	Krugiodendron ferreum	=	-	-
Black mangrove	Avicennia germinans	-	+	-
Blolly	Guapira discolor	-	=	-
Cherry laurel	Prunus caroliniana	-	-	+
Dahoon holly	Ilex cassine	-	-	+
Florida maple	Acer saccharum	-	+	-
Green buttonwood	Conogarpus erectus	-	-	=
Mastic tree	Mastichodendron foetidissimum	-	=	-
Persimmon	Diospyros virginiana	-	-	+

Pigeon	Coccoloba diversifolia	-	-	-
Pignut hickory	Carya glabra	-	+	-
Red bay	Persea borbonia	+	-	-
Red mangrove	Rhizophora mangle	-	-	-
Red maple	Acer rubrum	-	-	+
Sand pine	Pinus clausa	-	-	+
Satin leaf	Chrysophyllum oliveforme	-	-	-
Scrub hickory	Carya floridana	-	+	-
Silk Bay	Persea humilis	-	-	+
Southern red cedar	juniperis silicicola	-	-	-
Swamp bay	Persea pustris	-	-	+
Winged elm	Ulmus alata	-	-	+

PALMS				
Common Name	Scientific Name	Cold Tolerant		
Cabbage palm	Sabal Palmetto	-	+	-
Florida silver palm	Cocco thrinax-argentata	-	-	-
Parotis palm	Acoelorrhaphe wrightii	-	+	-
Royal palm	Roystonea elata	-	-	-

SHRUBS				
Common Name	Scientific Name	Cold Tolerance		
Firebush	Hamelia patens	-	-	-
Simpson stopper	Myrcianthes simpsonii	+	-	-
White stopper	Eugenia axillaris	-	+	-
Salt bush	Baccharis halimifolia	-	-	+
Myrtle oak	Quercus myrtifolia	-	-	+
Running oak	Quercus pumila	-	+	-
Wild lime	Zanthoxylum fagara	-	-	+
Beauty berry	Callicarpa americana	-	-	+
Blueberry	vaccinium native sp	-	-	+
Carolina aster	Aster carolinanus	-	+	-
Cassia	Cassia ligustrina	-	-	-
Cassia	Cassia chapmanii	-	-	-
Christmas berry	Lycium carolinianum	-	+	-
Coral bean	Erythrina herbacea	-	-	+
Dwarf live oak	Quercus minima	-	+	-
Fetter bush	Lyonia Lucida	-	-	+
Florida privet	Foresteria segretata	-	-	+
Frostweed	Verbesina virginica	-	-	+

Lantana	Lantana depressa	+	-	-
Lantana	Lantana involucrata	-	+	-
Marlberry	Ardisia escallonioides	-	-	+
Marsh elder	Iva imbricata	-	-	-
Necklace pod	Sophora tomentosa	-	-	-
Needle palm	Rhapidophyllum hystrix	-	+	-
Saw palmetto	Serenoa repens	-	+	-
Small privet	Foresteria pinetorum	-	-	+
Snow berry	Chiococca alba	-	+	-
Staggerbush	Lyonia ferruginea	-	+	-
Staggerbush	Lyonia fruticosa	-	+	-
Walters viburnum	Viburnum obovatum	-	-	+
Wax myrtle	Myrcia cerifera	-	+	-
Wild coffee	Psychotria nervosa	-	-	-
Wild coffee	Psychotria sulzneria	-	-	-

SMALL TREES

<u>Common Name</u>	<u>Scientific Name</u>	<u>Cold Tolerant</u>		
American holly	Ilex opaca	-	-	-
Chapman oak	Quercus Chapmanii	-	-	+
Coco plum	Chrysobalanus icaco	-	-	-
Fiddlewood	Citharexylum fruticosum	-	-	-
Firebush	Hamelia patens	-	-	-
Florida privet	Forestiera segregata	-	-	+
Guiana plum	Drypetes lateriflora	-	-	-
Inkwood	Exothea paniculata	-	-	-
Jamaica caper	Capparis cyanophallophora	-	-	-
Lancewood	Nectandra coriacea	-	-	-
Limber caper	Capparis flexuosa	-	-	-
Myrtle oak	Quercus myrti Folia	-	-	+
Mysrine	Myrsine floridana	-	-	-
Salt bush	Baccharis halimifolia	-	-	+
Sand live oak	Quercus geminata	-	-	+
Scrub oak	Quercus inopino	-	+	-
Sea grape	Coccoloba uvifera	-	-	-
Simpson stopper	Myrcianthes simpsonii	+	-	-
Southern sumac	Rhus copallina	-	+	-
Spanish stopper	Eugenia foetida	-	-	-
Sweet acacia	Acacia farnesiana	-	+	-
Tough bumelia	Bumelia tenax	-	+	-
Varnish leaf	Dodonaea viscosa	-	-	-

<u>Wax Myrtle</u>	<u>Myrica cerifera</u>	-	<u>+</u>	-
<u>White mangrove</u>	<u>Laguncularia racemosa</u>	<u>-</u>	-	-
<u>White stopper</u>	<u>Eugenia axillaris</u>	-	<u>+</u>	-
<u>Wild lime</u>	<u>Zanthoxylum fagara</u>	-	-	<u>+</u>
<u>Yaupon holly</u>	<u>Ilex vomitoria</u>	-	-	<u>+</u>

VINES				
Common Name	Scientific Name	Cold Tolerant		
<u>Beach Bean</u>	<u>Canavalia Obtusifolia</u>	-	-	<u>-</u>
<u>Beach Morning Glory</u>	<u>Ipomea Stolonifera</u>	-	-	<u>-</u>
<u>Coral honeysuckle</u>	<u>Lonicera Sempervire</u>	-	-	<u>+</u>
<u>Corky stem passion vine</u>	<u>Passiflora Suberosa</u>	-	<u>-</u>	-
<u>Grapes</u>	<u>Vitis Native Spp</u>	-	<u>+</u>	-
<u>Gray Nickerbean</u>	<u>Caesalpinia Bonduc Crista</u>	<u>-</u>	-	-
<u>Maypop</u>	<u>Passiflora incarnata</u>	-	<u>-</u>	-
<u>Morning Glory</u>	<u>Ipomea Spp</u>	-	<u>+</u>	-
<u>Railroad Vine</u>	<u>Ipomea pes-caprae</u>	-	-	<u>-</u>
<u>Virginia Creeper</u>	<u>Parthenocissus Quinque Folia</u>	-	<u>+</u>	-

WILDFLOWERS				
Common Name	Scientific Name	Cold Tolerant		
<u>Beach Croton</u>	<u>Croton Punctatus</u>	-	<u>+</u>	-
<u>Beach Sunflower</u>	<u>Helianthus Debilis</u>	-	<u>+</u>	-
<u>Beach Verbenia</u>	<u>Verbenia Maritima</u>	-	<u>+</u>	-
<u>Black eyed susan</u>	<u>Rudbeckia hirta</u>	<u>+</u>	-	-
<u>Blazing Star</u>	<u>Liatris Tenufolia</u>	-	<u>+</u>	-
<u>Blue Curl</u>	<u>Trichostema Dichotomum</u>	-	<u>+</u>	-
<u>Blue Eyed Grass</u>	<u>Sysyrinchium Atlanticum</u>	<u>+</u>	-	-
<u>Firewheel</u>	<u>Gaillardia Pulchella</u>	-	-	<u>+</u>
<u>Goldenrod</u>	<u>Solidago Spp</u>	-	-	<u>+</u>
<u>Horse Mint</u>	<u>Monarda Puncata</u>	-	-	<u>+</u>
<u>Partridge Pea</u>	<u>Cassia Spp</u>	-	<u>+</u>	-
<u>Pink Purslane</u>	<u>Portulaca Pilosa</u>	-	<u>+</u>	-
<u>Purslane</u>	<u>Portulaca Rubricaulis</u>	-	-	<u>+</u>
<u>Sea Oxide Daisy</u>	<u>Borrchia Spp</u>	-	<u>+</u>	-
<u>Sea Purslane</u>	<u>Sesuvium Portula Castrum</u>	-	<u>+</u>	-
<u>Seaside Evening Primrose</u>	<u>Oenothera Humifusa</u>	-	<u>+</u>	-
<u>Seaside Gentian</u>	<u>Eustoma Exaltatum</u>	-	<u>+</u>	-
<u>Spider Lily</u>	<u>Hymenocallis Latifolia</u>	-	<u>+</u>	-

St. Johns Wort	Hypericum Spp	+	-	-
Standing Cypress	Ipomopsis Rubra	-	+	-
Tampa Verbenia	Verbenia Tempensis	-	+	-
Tropical Sage	Salvia Coccinea	-	+	-
Twin Flower	Dyschoriste Spp	-	-	-
Wild Cotton	Gossypum Hirsutum	-	-	-
Wild Petunia	Ruellia Caroliniensis	-	-	+
Wild Plumbago	Plumbago Scandens	-	+	-
Yellow Top	Flaveria Linearis	-	+	-

Legend

A	Aquatic
G	Ground cover
GR	Grass
LT	Large tree: average mature height over 60 feet
MT	Medium tree: average mature height over 20 feet
P	Palm
S	Shrub
ST	Small tree: average mature height of at least ten feet and less than 20 feet
V	Vine
W	Wildflower

DAMP TO WET AREA PLANTS						
-	Common Name	Scientific Name	-	-	Cold	Salt
W	Alligator lily	Hymenocallis palmeri	-	-	=	+
G	Batis	Batis maritima	-	-	+	+
S	Beauty berry	Callicarpa americana	-	-	+	+
GR	Blue eyed grass	Sisyrinchium atlanticum	+	+	-	-
W	Blue flag iris	Iris hexagona	-	-	=	=
W	Bushy aster	Aster dumosus	-	-	+	=
W	Canna lily	Canna flacida	-	-	=	=
S	Buttonbush	Cephalanthus occidentalis	-	+	-	-
W	Cardinal flower	Lobelia cardinalis	+	=	-	-
V	Climbing aster	Aster carolinianus	-	+	=	-
S-ST	Coastal plains willow	Salix caroliniana	-	+	+	-

W	Coreopsis	Coreopsis leavenworthii	-	+	+	-
ST	Dahoon holly	Ilex cassine	-	-	+	+
A	Duck potato	Sagittaria sp	-	-	+	+
GR	Eastern gamma grass	Tripsacium dactyloides	-	+	+	-
S	Elderberry	Sambucus canadensis	-	-	+	-
S	Gallberry	Ilex glabra	-	-	+	+
WF	Goldenrod	Solidago sp.	-	-	+	-
S	Hibiscus	Hibiscus coccinea or grandiflora	-	-	+	-
G	Lemon bacopa	Bacopa caroliniana	-	+	+	-
MT	Loblolly bay	Gordonia lasianthus	-	-	+	-
ST	Mangroves	-	-	-	+	+
W	Narrow-leafed sunflower	Helianthus angustifolius	+	+	-	-
A	Pickeralweed	Pontederia cordata	-	-	+	+
W	Rayless sunflower	Helianthus radula	-	+	-	-
P	Sabal palm	Sabal palmetto	-	-	+	+
G	Sand Cordgrass	Spartina bakeri	+	-	-	-
G	Sandweed	Hypericum fasciculatum	-	+	+	-
W	Sea ox-eye daisy	Borrichia frutescens	-	+	+	-
W	Sea purslane	Sesuvium portulacastrum	-	+	+	-
W	Seaside gentian	Eustoma exaltatum	-	+	+	-
A	Soft rush	Juncus effusus	-	-	+	+
W	Spiderwort	Tradescantia ohimensis	-	-	+	+
G	St. Andrews cross	Hypericum hypericoides	-	+	+	-
G	Sunshine Mimosa	Mimosa strigillosa	-	-	+	+
W	Swamp Milkweed	Asclepias incarnata	-	-	+	+
MT	Sweet bay	Magnolia virginica	-	+	+	-
W	Vanilla plant	Carphephorus paniculatus	-	+	+	-
W	Violets	Viola affinis	-	-	-	-
G	Water dropwort	Oxypolis filiformis	-	+	+	-
G	Water hyssop	Bacopa monnieri	-	+	+	-
W	Yellowtop	Flaveria linearis	-	+	+	-
G	Glaswort	Salicornia spp	-	-	+	+
-	Leather fern	Acrostichum dandifolium	-	-	+	-
S	Saltmarsh mallow	Kosteletzkaya virginica	-	+	+	-
LT	Bald cypress	Taxodium distichum	-	-	+	+

Plants approved for use along the 4RM AND 5RMO.

Common Name	Scientific Name
Indian Hawthorne	Raphiolepis Indica "Alba"
Juniper—Parsoni	Juniperus chinensis "Parsonii"
Juniper—Torulosa	Juniperus chinensis "Torulosa"
King Sago	Cycas Revoluta
Buttonwood Green	Conocarpus erectus
Buttonwood Silver	Conocarpus erectus sericeus
Cord Grass	Spartina Bakeri
Necklace Pod	Sophora Tomentosa
Bird of Paradise	Strelitzia Reginae
Elaeagnus	Elaeagnus pungens
Arbicola	Schefflera Arboricola
Coco Plum	Chrysobalanus Icaco
Natal Plum	Carissa Macrocarpa
Pittosporum Green/Varigated	Pittosporum tobira
Palmetto	Sabal Palmetto
Madagascar Olive	Norohnia Emarginata
Sea Oats	Uniola Paniculata
Gallardia	Gaillardia pulchella
Coontie	Zamia Pumila
Zamia	Zamia Maritima
Confederate Jasmine	Trachelospermum Jasminoides
Pindo Palm	Butia Capitat
Cabbage Palm	Sabal palmetto
Sprenger Fern	Asparagus densiflorus
Fiddlewood	Citharexylum spinosum
Dune Sunflower	Helianthus Debilis
Gazania Daisey	Gazania

The following plants may be used along the 4RM AND 5RMO if protected from the direct wind and salt spray:

Common Name	Scientific Name
Liriope	Liriope "Evergreen Giant"
Oleander Dwarf/Standard	Nerium oleander
Ligustrum	Ligustrum Lucidum
Florida Privet	Forestiera Segregata
Yaupon—Weeping	Ilex vomitoria pendula
Walter's Viburnum	Viburnum Obovatum
Podocarpus	Podocarpus macrophyllus

Ilex Schillings	Ilex vomitoria "Stokes Dwarf"
Ixora	Ixora
Jatropha	Jatropha
European Fan Palm	Chamaerops Humilis
Coconut Palm	Cocos nucifera
Hibiscus	Hibiscus
Snow Bush	Breyneia Disticha
Simpson's Stopper	Myrcianthes Fragrans
Croton	Codiaeum Variegatum
Allamanda	Allamanda cathartica
Agapanthus	Agapanthus africanus
Blue Daze	Evolvulus glomeratus
Hibiscus	Hibiscus
East Palatka Holly	Ilex attenuata "East Palatka"
Geiger Tree	Cordia sebestena
Foxtail Palm	Wodyetia bifurcata
Bismarckia Palm	Bismarckia nobilis
Paurotis Palm	Acoelorrhaphe wrightii
Fountain Grass	Pennisetum setaceum
Crinum Lily	Crinum lily
Society Garlic	Tulbaghia violacea
Indian Hawthorne	Raphiolepis Indica "Alba"
Juniper—Parsoni	Juniperus chinensis "Parsonii"
Juniper—Torulosa	Juniperus chinensis "Torulosa"
King Sago	Cycas Revoluta
Buttonwood Green	Conocarpus erectus
Buttonwood Silver	Conocarpus erectus sericeus
Cord Grass	Spartina Bakeri
Necklace Pod	Sophora Tomentosa
Bird of Paradise	Strelitzia Reginae
Elaeagnus	Elaeagnus pungens
Arbicola	Schefflera Arboricola
Coco Plum	Chrysobalanus Icaco
Natal Plum	Carissa Macrocarpa
Pittosporum Green/Varigated	Pittosporum tobira
Palmetto	Sabal Palmetto
Madagascar Olive	Norohnia Emarginata
Sea Oats	Uniola Paniculata
Gaillardia	Gaillardia pulchella
Coontie	Zamia Pumila

Zamia	Zamia Maritima
Confederate Jasmine	Trachelospermum Jasminoides
Pindo Palm	Butia Capitat
Cabbage Palm	Sabal palmetto
Sprengeri Fern	Asparagus densiflorus
Fiddlewood	Citharexylum spinosum
Dune Sunflower	Helianthus Debilis
Gazania Daisey	Gazania

[§§ 9A-15.-9A-99. RESERVED.](#)

ARTICLE I. WETLANDS PROTECTION

§ 11A-1. PURPOSE AND INTENT.

The purpose of this chapter is to protect, preserve and enhance the natural functions of wetlands and other environmentally sensitive areas. It is also the intent of this article to apply the following standards for development in and adjacent to wetlands.

(Am. Ord. 2017-05, adopted 12-20-17)

§ 11A-2. GENERAL PROVISIONS.

(a) During the review of a site plan or any other plan for development, the Town Manager shall use the Natural Wetlands Inventory maps, the Brevard County Soil Survey, the Town Comprehensive Plan, aerial photography or other applicable data in order to determine the potential existence of wetlands on or adjacent to the site.

(b) If a review of the above documents indicates that wetlands may exist on or adjacent to the site, ~~the Town manager or designee shall contact the property owner appropriate authorities listed in section 11A-2(c) to perform verification of wetland determination and provide guidance on and follow wetlands permitting requirements. an inspection will be performed by the Town Manager.~~

(c) Based on the assessment of the above site visit, the ~~Town Manager may require the developer to~~ ~~property owner shall~~ have the site inspected by a representative from the St. Johns River Water Management District for a determination of jurisdictional limits of the site. This may require the involvement of the Army Corps of Engineers, the Department of Environmental Regulation and the Department of Natural Resources.

(d) No building permit will be issued by the Town until either the site plan has been approved or an exemption letter has been issued by the applicable environmental agency.

(e) All proposed development adjacent to canals, the Indian River and east of State Road A1A will automatically be reviewed under the above process.

(Am. Ord. 2017-05, adopted 12-20-17)

§ 11A-3. PERMITTED USES IN WETLANDS.

The following uses shall be permitted in wetlands provided that they are approved by the St. Johns River Water Management District or the applicable environmental agency:

- (1) Open space;
- (2) Fish and wildlife management;
- (3) Recreation; or

(4) Any other use deemed appropriate by the St. Johns River Water Management District or the Department of Natural Resources.

(Am. Ord. 2017-05, adopted 12-20-17)

§ 11A-4. PROHIBITED USES IN WETLANDS.

The following uses are specifically prohibited in wetlands:

- (1) Residential, commercial, industrial and institutional uses, except as provided for in § 1A-3;
- (2) Disposal of solid or liquid wastes, and the application or storage of pesticides and herbicides; and
- (3) Any activity which impairs the function of the wetlands.

(Am. Ord. 2017-05, adopted 12-20-17)

§§ 11A-5. – 11A-99. RESERVED.