



# **TOWN OF MELBOURNE BEACH**

## **PLANNING & ZONING BOARD MEETING**

**TUESDAY, JANUARY 6, 2026**

**AGENDA PACKET**

# Town of Melbourne Beach

## PLANNING & ZONING BOARD MEETING

TUESDAY, JANUARY 6, 2026 @ 6:30 PM

COMMUNITY CENTER – 509 OCEAN AVENUE

### PUBLIC NOTICE

### AGENDA

**Board Members:**

Chairman David Campbell  
Vice-Chairman Kurt Belsten  
Member April Evans  
Member Dan Harper  
Member Gabor Kishegyi

**Alternate Board Members**

Alternate Todd Albert  
Alternate Jason Judge

**Staff Members:**

Interim Town Manager Lisa Frazier  
Town Clerk Amber Brown  
Building Official Jeff Parsons

**1. CALL TO ORDER**

**2. ROLL CALL**

**3. APPROVAL OF MINUTES**

A. December 2, 2025 minutes – Pages 3-6

**4. NEW BUSINESS**

- A. Site plan approval for 1806 Pine – new home – Pages 7-72
- B. Site plan approval for 2003 Oak – addition – Pages 73-95
- C. Appointment of the 2026 Chairperson – Page 96
- D. Appointment of the 2026 Vice Chairperson – Page 97
- E. 2026 Planning and Zoning Board meeting schedule and enabling act ordinance – Pages 98-103

**5. PUBLIC HEARINGS**

**6. OLD BUSINESS**

A. Discussion on the proposed Chapter 9A: Landscaping and Trees ordinance – Pages 104-129

**7. PUBLIC COMMENT**

Please limit comments to items that are not on the agenda

**8. REPORTS: TOWN MANAGER AND TOWN ATTORNEY**

**9. ITEMS TO BE ADDED TO THE AGENDA FOR FUTURE MEETINGS**

**10. ADJOURNMENT**

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, THE TOWN HEREBY ADVISES THE PUBLIC THAT: In order to appeal any decision made at this meeting, you will need a verbatim transcript of the proceedings. It will be your responsibility to ensure such a record is made. Such person must provide a method for recording the proceedings verbatim as the Town does not do so. In accordance with the Americans with Disability Act and Section 286.26, Florida Statutes, persons needing special accommodations for this meeting shall, at least 5 days prior to the meeting, contact the Office of the Town Clerk at (321) 724-5860 or Florida Relay System at 711.

## **Planning and Zoning Meeting**

**Section:** Approval of Minutes

**Meeting Date:** January 6, 2026

**From:** Town Clerk Amber Brown

**RE:** Approval of the December 2, 2025 Minutes

### **Background Information:**

Approval of the December 2, 2025, Planning and Zoning Board minutes.

# Town of Melbourne Beach

## MINUTES

### PLANNING & ZONING BOARD MEETING

### MONDAY, DECEMBER 2, 2025 @ 6:30 PM

### COMMUNITY CENTER – 509 OCEAN AVENUE

**Board Members:**

Chairman David Campbell  
Vice Chairman Kurt Belsten  
Member April Evans  
Member Dan Harper  
Member Gabor Kishegyi

**Alternate Board Members**

Alternate Todd Albert  
Alternate Jason Judge

**Staff Members:**

Interim Town Manager Lisa Frazier  
Town Clerk Amber Brown

**1. CALL TO ORDER**

Chairman David Campbell called the meeting to order at 6:30 p.m.

**2. ROLL CALL**

Town Clerk Amber Brown conducted the roll call.

**Present:**

Chairman David Campbell  
Vice Chairman Kurt Belsten  
Member April Evans  
Member Dan Harper  
Member Gabor Kishegyi  
Alternate Todd Albert  
Alternate Jason Judge

**Staff Present:**

Interim Town Manager Lisa Frazier  
Town Planner Corey O'Gorman  
Building Admin Steve Freeman  
Town Clerk Amber Brown

**3. APPROVAL OF MINUTES**

A. November 3, 2025 minutes

**Vice Chairman Kurt Belsten made a motion to approve; Member April Evans seconded; Motion carried 5-0.**

**4. NEW BUSINESS**

A. Site plan approval for 305 Oak St. – new home

Member Dan Harper spoke about asking for the landscaping plan which was provided.

**Member Dan Harper made a motion to approve;**

Member April Evans asked about clarification from Corey O'Gorman regarding finished floor elevation and total elevation.

Town Planner Corey O'Gorman confirmed that yes, the elevations were reviewed pursuant to the amended ordinance and are conforming.

**Member Gabor Kishegyi seconded; Motion carried 5-0.**

- B. Site plan approval for 206 Riverside Dr. – new home

Member Dan Harper spoke about his confirmation of everything being in compliance for this residence.

Member April Evans asked if approval contingent on approval from the Town Engineer is still a valid recommendation.

Interim Town Manager Lisa Frazier confirmed that the Town Engineer only approves drainage calculations.

**Member April Evans made a motion to approve contingent on approval from the Town Engineer; Vice Chairman Kurt Belsten seconded; Motion carried 5-0.**

- 5. PUBLIC HEARINGS
- 6. OLD BUSINESS
- 7. PUBLIC COMMENT
- 8. REPORTS: TOWN MANAGER AND TOWN ATTORNEY

Interim Town Manager Lisa Frazier introduced Steve Freeman as the Town's new Building Admin.

Building Admin Steve Freeman spoke about his professional background.

Interim Town Manager Lisa Frazier spoke about our Building Official and Inspector still being outsourced from CAP.

Interim Town Manager Lisa Frazier spoke about the responsibilities of each party involved in the site plan review process and a discussion ensued.

- 9. ITEMS TO BE ADDED TO THE AGENDA FOR FUTURE MEETINGS

**10. ADJOURNMENT**

**Member April Evans motioned to adjourn; Vice Chairman Kurt Belsten seconded; Motion carried 5-0.**

The meeting adjourned at 6:54 p.m.

**ATTEST:**

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**David Campbell**  
Chairman

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**Amber Brown**  
Town Clerk

## **Planning and Zoning Meeting**

**Section:** **New Business**

**Meeting Date:** **January 6, 2026**

**From:** **Building Department**

**RE:** **Site Plan Approval for 1806 Pine St. – New Home**

### **Background Information:**

The Town received plans for a new home at 1806 Pine St.

### **Recommendation:**

Approve the site plan for 1806 Pine St.

### **Attachments:**

- Town Planner Letter – Pages 8-10
- Town Engineer Letter – Page 11
- Letter of Transmittal – Page 12
- Development Application – Pages 13-16
- Project Narrative – Pages 17-21
- Warranty Deed – Pages 22-23
- BCPAO Property Details – Page 24
- MelBeach Investments, LLC SunBiz Report – Page 25
- Original Plans and Survey – Pages 26-36
- Property Plat – Page 37
- Stormwater Calculations Report – Pages 38-64
- Geotechnical Engineering Evaluation – Pages 65-72

## **Site Plan Review**

**Applicable Codes:**

**Town of Melbourne Beach Land Development Code**  
**Current Florida Building Code**

<b>Date:</b>	<b>January 6, 2026</b>
<b>Owner:</b>	<b>MelBeach Investments, LLC</b>
<b>Owner Address:</b>	<b>1806 Pine Street, Melbourne Beach, FL 32951</b>
<b>Site Address:</b>	<b>1806 Pine Street, Melbourne Beach, FL 32951</b>
<b>Parcel ID:</b>	<b>28-38-07-50-*-1</b>
<b>Zoning:</b>	<b>2RS</b>
<b>Proposed Project:</b>	<b>Demolition of existing single-family home and construction of new single-family home</b>
<b>References:</b>	<b>Town of Melbourne Beach Code of Ordinances:</b> <b>7A-32 Single-Family Residential District</b> <b>7A-51.1, Site Plan Approval For Single-Family Residential Districts</b>
<b>Request:</b>	<b>Site Plan Approval in Accordance with 7A-51.1</b>
<b>Staff Review:</b>	<b>The property lies in Zoning District 2RS</b>
1)	Project is the demolition of the existing single-family home and construction of a new two-story single-family home with 4,238 AF under air, plus garage and porches totaling 6,766 SF.
2)	The Building Lot Zoning District requirements of min. lot area, width and depth. Lot area is 20,766 sq. ft. (min. 11,250 sq. ft.) Lot width is +/- 90 ft. (min. 90 ft. measured from the front building line) Lot depth is +/- 170 ft. (min. 100 ft.)
3)	Lot coverage has a maximum of 30% for principal structure. Lot coverage per plan is 25.8% Footprint of Primary Structure is 5,358 SF. Max allowed for Primary Structure is 6,229.8 sq. ft. for Lot Area of 20,766 sq. ft. Minimum pervious area per lot is 30%. Pervious area is 59.51.
4)	Structure maximum height for zoning district is 28 ft. The proposed height provided is 27.67' from FFE. Flood Zone: X/AE-4 per survey

5) Zoning District Setback requirements:

Proposed Primary Structure Front Setback: 26.4' (min. 25').

Proposed Primary Structure Rear Setback: 28' 4" (min. 25')

Proposed Primary Structure West Side Setback: 15' 2" ft. (min. 15')

Proposed Primary Structure East Side Setback 15.3' ft. (min. 25')

6) Sediment and Erosion control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.

7) On-site Storm water Retention Control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.

8) Town Engineer will submit a review of the drainage plan per Ordinance 2019-06. The Town Engineer will require a final inspection before a Certificate of Occupancy will be issued. This applies to new home construction and construction values greater than 50% of the existing structure. Minimum landscaping standards will be met.

9) The applicant has provided a landscape plan that proposes preservation of seven (7) existing trees and installation of twenty (20) trees and palms including Royal Poincianas, Live Oaks, Montgomery Palms and Green Malayan Coconut Palms.

Based on the above review, I find the proposed site plan for the referenced property is in compliance with The Town of Melbourne Beach Code of Ordinances.



Corey W. O'Gorman  
Town Planner

**2003 Oak Street**

<b>IMPERVIOUS</b>		<b>PERVIOUS</b>	
Primary Structure	5,358	Open areas	12,358
Pool & Deck	1,350		
Driveway	1,500		
Accessory Bldg			
Concrete areas	200		
Total Paved Area	8,408		
<hr/> Total Lot Area	20,766	<hr/> Total Lot Area	20,000
<hr/> <b>% IMPERVIOUS</b>	<b>40.49%</b>	<hr/> <b>% PERVIOUS</b>	<b>59.51%</b>



December 3, 2025

**Via E-mail**

Mr. Jeffrey Parsons  
Town of Melbourne Beach  
507 Ocean Avenue  
Melbourne Beach, FL 32951  
E-mail address: [building@melbournebeachfl.org](mailto:building@melbournebeachfl.org)

**Re: Site Plan Review – 1806 Pine Street  
B.S.E. File #11440.100.38**

Dear Jeffrey:

We have reviewed the above-referenced plan and calculations (received by e-mail on December 2, 2025) and find that they meet the Town Code, we therefore recommend approval.

Due to recent occurrences, we request that the Engineer of Record review the as-built plans for compliance prior to the applicant requesting Town Engineer sign off. This will save time and expense for the applicant as well as the Town.

Should you have any questions, feel free to contact me.

Very truly yours,

*Scott M. Glaubitz, P.E., P.L.S.*

Scott M. Glaubitz, P.E., P.L.S.  
President  
B.S.E. Consultants, Inc. an LJA company

SMG/alm  
11440.100.38.town.corr.25-s6061.dec

## LETTER OF TRANSMITTAL

<b>To:</b> Town of Melbourne Beach - Building Department	<b>Date:</b> 12/02/25
<b>Address:</b> 507 Ocean Avenue Melbourne Beach, FL 32951	<b>Re:</b> Site Plan Application - Submission (1806 Pine Street, Melbourne Beach, FL 32951)
<b>Attn:</b> All Relevant Departments	<b>From:</b> MelBeach Investments, LLC - Corey Runte, Owner
<b>Project Address:</b> 1806 Pine Street, Melbourne Beach, FL 32951	

**List of Transmitted Documents:**

COPIES	DATE	DESCRIPTION
1	12/02/25	Electronic/Digital Copy of All Required Documents
1	12/02/25	Complete/Executed Site Plan Application & Check Payment for Fees Due
2	12/02/25	Signed & Sealed Surveys
2	12/02/25	Full Size Sets of Professionally Prepared Plans in compliance with Ord. 2019-06
10	12/02/25	11x17 Copies of all documents Required per Site Plan Application

<b>Received By (Name &amp; Title):</b>
<b>Signature:</b>
<b>Date:</b>
<b>Submitted By (Name &amp; Title):</b> MelBeach Investments, LLC - Corey Runte, Owner
<b>Date:</b> 12/02/25
<b>Signature:</b>



## TOWN OF MELBOURNE BEACH DEVELOPMENT APPLICATION

### I. SUBMITTAL REQUIREMENTS:

- 1. Fees per current schedule.
- 2. Deed to property.
- 3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting. 12/01/25
- 4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
- 5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

### II. REQUEST:

<input type="checkbox"/> Land Use Plan Amendment	<input type="checkbox"/> Rezoning
<input type="checkbox"/> Special Exception	<input type="checkbox"/> Coastal Construction Variance
<input type="checkbox"/> Variance	<input type="checkbox"/> Appeal (Application must be filed within 30 days)
<input checked="" type="checkbox"/> Site Plan Review Single Family (1RS, 2RS, 3RS)	<input type="checkbox"/> Site Plan Review Multifamily (4RM, 5RMO)
<input type="checkbox"/> Site Plan Review Commercial (6B, 7C, 8B, 9I)	<input type="checkbox"/> Amendment to the Land Development Code
	<input type="checkbox"/> Other (specify) _____

### III. PROPERTY INFORMATION:

General Location: Harbor East Sec 1 Lot 10

Address: 1806 Pine Street, Melbourne Beach, FL 32951

Parcel Number(s): 28-38-07-50-\*-10

Area (in acreage): 0.47 Acres      Area (in square feet): 20,766.00 SF

Current Zoning: 2-RS      Proposed Zoning: 2-RS

Current Future Land Use: Single Family      Proposed Future Land Use: Single Family

Brief Description of Application: New Construction of Single-Family Residence

Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable): 12/01/25

**IV. APPLICANT INFORMATION:**

Property Owner

Name: MelBeach Investments, LLCPhone: 321-368-5428Address: 1806 Pine StreetFax: N/AMelbourne Beach, FL 32951Email: crunte@cgcfloida.com

Applicant (if other than property owner)

Name: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Fax: \_\_\_\_\_

\_\_\_\_\_

Email: \_\_\_\_\_

**V. OWNER AUTHORIZATION:\***

The undersigned hereby affirms the following:

1. That I/we are the fee simple title owner/contract purchaser (circle one) of the property described in this application.
2. That I/we have read and understands the entire application and concurs with the request.
3. That I/we have appointed the Applicant to represent the application, and empowers the Applicant to accept any and all conditions of approval imposed by the Town of Melbourne Beach.

Signature: Corey RunteDate: 11/26/25Print Name: Corey RunteTitle: Manager

\*Must sign in front of notary.

State of Florida

County of Brevard.

The foregoing application is acknowledged before me  
 this 21<sup>st</sup> day of NOVEMBER, 2025, by COREY RUNTE,  
 who is/are personally known to me, or who has/have produced \_\_\_\_\_  
 as identification.

Nicole A. Lewis  
Signature of Notary Public, State of Florida

VI. **APPLICANT CERTIFICATION:\***

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

Signature: *Corey Runte*

Date: 11/26/25

Print Name: Corey Runte

Title: Manager

\*Must sign in front of notary.

State of Florida

County of Brevard.

The foregoing application is acknowledged before me  
this 26<sup>th</sup> day of November, 2025, by COREY RUNTE,  
who is/are personally known to me, or who has/have produced \_\_\_\_\_  
as identification.

Nicole A. Lewis  
Signature of Notary Public, State of Florida



VII. **PROJECT DESCRIPTION:**

Describe Application: New Construction of 2-Story Single Family Residence, Demolition of Existing Dilapidated 1-Story Single Family Residence. New Residence is 4,238 SF.

Provide attachment if more space is needed.

Describe Existing Conditions: Existing Dilapidated 1-Story Single Family Residence.

Provide attachment if more space is needed.

### Site Plan for Single Family Development

A site plan must be reviewed and evaluated by the Town Engineer, Building Official and or Zoning Official and Planning and Zoning Board and approved by the Town Commission. The applicant shall provide the following in support of their application for site plan approval of a single family home:

1. Narrative description of proposed improvements and demolitions.
2. Two (2) Sealed Surveys of the existing conditions prepared by a professional surveyor. All elevations should be NGVD/DAVD or Comparable for FEMA reference. (Include Lot Dimensions, Square footage & Coverage Percentage)
  - a. All existing structures (including but not limited to outbuildings, sheds, pools, etc), major features, trees and fences shall be fully dimensioned, including the height of all structures and the distance between principal and accessory structures on site and the distance between structures and driveways, and property or lot lines.
3. Two (2) Professionally prepared plans in compliance with Ordinance 2019-06 showing the following:
  - a. Name, location, owner, and designer of the proposed development and the intended use
  - b. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties
  - c. Date, north arrow, and graphic scale (not less than one inch equals 20 feet)
  - d. Location of all property lines, existing streets adjacent to the subject property, easements, as well as proposed driveways and general lot layout
  - e. All existing and/or proposed structures, major features, and fences shall be fully dimensioned, including the height of all structures and the distance between principal and accessory structures on site and the distance between structures and driveways, and property or lot lines
  - f. Site data providing all information needed to confirm compliance with zoning regulations including "required" and "provided" information:
    - i. Proposed principal use and/or any proposed accessory uses
    - ii. Lot size and dimensions
    - iii. Lot coverage
    - iv. Proposed living area square footage (e.g., square footage under air), and square footage of any other spaces including garage, covered entries, covered porches, screen rooms, etc.
    - v. Number of enclosed parking spaces
    - vi. Setbacks from all property lines
    - vii. Number of stories
    - viii. Height of structure
    - ix. Floor plan – a fully dimensioned floor plan shall be provided depicting all existing and/or proposed spaces corresponding to the square footages on the site data breakdown above.
    - x. Architectural elevations of each building façade professionally prepared plan drawn to scale and depicting the height dimension of the proposed structure, construction, or expansion or redevelopment thereof.
    - xi. Landscaping & irrigation plan
4. Drainage Site Plan showing flow paths and retention areas to meet certification requirements.  
(3A-80 & 7A-51.1)
5. Ten (10) 11X17 Complete sets of plans (all information as outlined in item 3 above) including a copy of the survey both existing and proposed and the Drainage Site Plan.

## **1806 PINE STREET RESIDENCE**

1806 Pine Street, Melbourne Beach, FL 32951



### **OWNER**

MelBeach Investments, LLC  
Corey Runte & Krista Runte

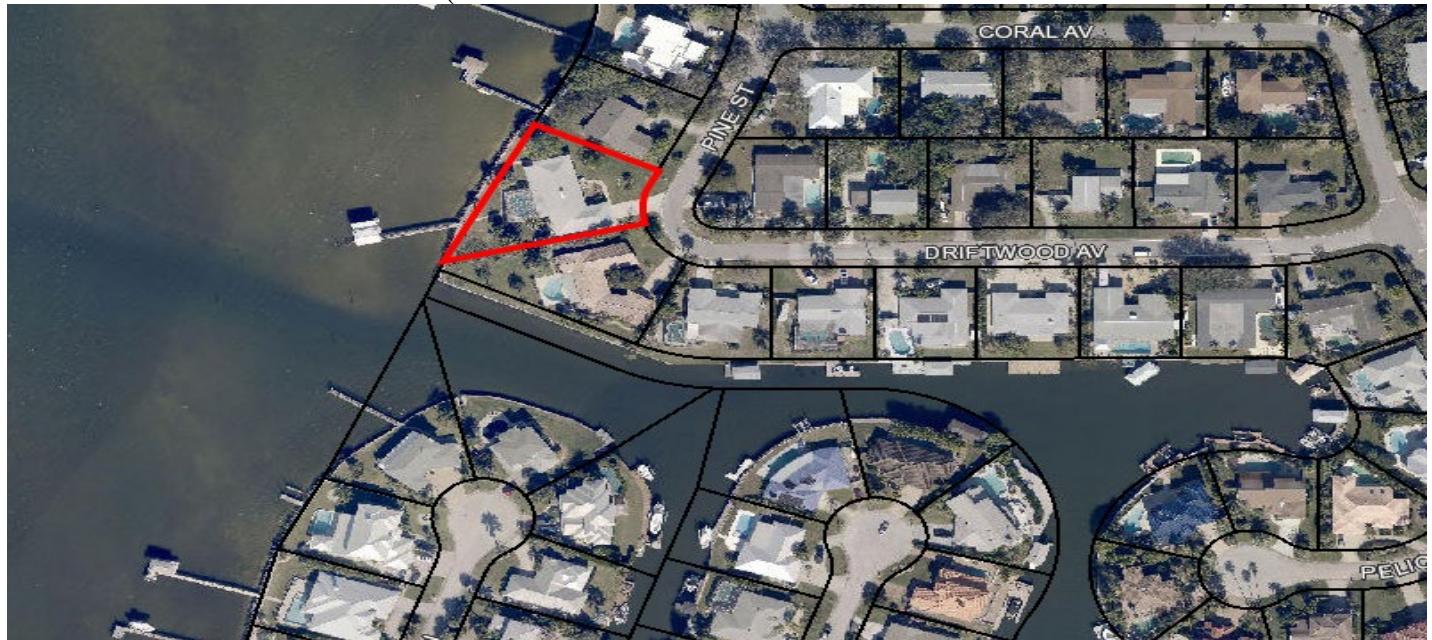
### **PROJECT INFORMATION**

1806 Pine Street, Melbourne Beach, FL 32951

Legal Description: LOT 10, HARBOR EAST SECTION ONE, ACCRODING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 17, PAGE 90, PUBLIC RECORDSOF BREVARD COUNTY, FLORIDA

Parcel ID: 28-38-07-50-\*-10

Tax Account Number: 2847708 ( Per BCPAO



**ARCHITECT**

Mitz Design Group, Inc.  
 Alex Mitz – President  
 587 West Eau Gallie Blvd. Suite 201 Melbourne FL. 32935  
[alex@mitzdesigngroup.com](mailto:alex@mitzdesigngroup.com)  
 321-745-8609

**STRUCTURAL ENGINEER**

MK Structural Engineering, Inc.  
 Mike Kalajian – President  
 587 West Eau Gallie Blvd. Suite 200 Melbourne FL. 32935  
[mike@mkstructural.com](mailto:mike@mkstructural.com)  
 321-600-0672

**SURVEYOR**

Kane Surveying, Inc.  
 Joel A. Seymour – President  
 505 Distribution Dr., Melbourne FL. 32904  
[kanesurveying@bellsouth.net](mailto:kanesurveying@bellsouth.net)  
 321-676-0427

**GEOTECHNICAL ENGINEER**

KSM Engineering & Testing, Inc.  
 Julie Keller – President  
 11345 U. S. Highway 1, Sebastian, Florida 32958  
[julie@ksmengineering.net](mailto:julie@ksmengineering.net)  
 772-370-3545

**PROJECT NARRATIVE**

The 1806 Pine Street Residence is a single-family, coastal contemporary, two-story home located in Melbourne Beach, FL.. The main living areas and Owner's Suite is located on the first floor. The guest bedrooms are located on the second floor. The residence has (1) connected 3-car garage. There is an existing sea wall, dock, and lift which shall be preserved. The exterior of the residence features stucco, Hardie siding, and a standing seam aluminum metal roof. The new residence replaces an existing single-story single-family residence built in the late 60s. The existing structure will be donated to the MB Fire Department for training purposes prior to demolition. Unfortunately, due to substantial long-term foundation deficiencies and recent flood damage that are not economically or structurally feasible to remediate, the existing residence must be demolished

**General Location:**

Located on the west side of Pine Street, adjacent to the Indian River Lagoon, in Harbor East Sec1 Lot 10.

Legal Description: LOT 10, HARBOR EAST SECTION ONE, ACCRODING TO THE PLAT THEREOF,

AS RECORDED IN PLAT BOOK 17, PAGE 90, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA

**General Lot Information:**

Area (in acreage): 0.47 Acres  
 Area (in square feet): 20,766.00

Setback Lines:

- Front: 25'-0"
- Sides: 15'-0"
- Rear: 25'-0"

Zoning Classification: 2-RS (Single-Family Residential)

Lot Dimensions: Irregular Shaped Lot (Please refer to Survey & Site Plan for Precise Lot Dimensions)

**General Project Information:**

Proposed Use: Single-Family Residential

Number of Stories: 2

Garage Spaces: 3

Crown of Road: 3.65'

Finish Floor Elevation (Existing): 5.23'

Finish Floor Elevation (Proposed): 6.0'

Building Height (Proposed): 35'0 (27.67' A.F.F)

Lot Coverage - Principal Building Footprint: 25.8% (5,358.00 SF / 20,766.00 SF)

Other Lot Coverage Calculations – See below (Per Sheet C-1)

**SITE DRAINAGE COVERAGE CALCULATIONS**

PROPOSED LOT COVERAGE	SF	ACRE	PERCENT
IMPERVIOUS:	10,032	0.23	44%
PERVIOUS:	12,587	0.29	56%
TOTAL GROSS AREA:	20,766	0.47	100%

**Area Tabulation:**

Per Architectural Drawings

FIRST FLOOR LIVING	3,230 SF
SECOND FLOOR LIVING	1,008 SF
<b>TOTAL LIVING</b>	<b>4,238 SF</b>
3 CAR GARAGE	860 SF
ENTRY	226 SF
REAR COVERED PORCH	912 SF
MASTER PORCH	130 SF
<b>GRAND TOTAL</b>	<b>6,366 SF</b>

### **Landscaping Calculations:**

Please refer to Sheet L-1 for the Landscape & Irrigation Plan provided by Trauger Consulting Engineers. Existing Trees are noted as well as annotated on the Survey. Unfortunately, there are very few existing trees, (specifically zero existing hardwood/canopy trees; i.e. Live Oak etc.), only palm trees and a Schefflera. We acknowledge and understand the importance of the landscape code and have provided a design that meets all criteria and requirements of the code. An Existing 2" Deep Artesian well shall be preserved & reused for irrigation along with code-required irrigation system featuring a New Hunter Irrigation Pump with Smart Programmable Digital Controls along with an automatic Rain Sensor.

## **LANDSCAPING CALCULATIONS:**

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### **Tree Requirement:**

Plant One (1) Canopy Tree Per 2,000 SF of lot area. = 0.47 ACRES = 20766 SF = 10.4 TREES = 11 TREES

Existing Preserved Trees = 7 TREES = 2 CANOPY TREES + 2 EQUIVALENT CANOPY TREES

One (1) 24" Schefflera

One (1) 8" Fig Fruit Tree

Five (5) Existing Cabbage Palms = Equivalent to Two (2) Canopy Trees

Proposed Trees = 20 TREES = 4 CANOPY TREES + 3 EQUIVALENT CANOPY TREES

Two (2) Royal Poincianas

Two (2) Live Oaks

Three (3) Montgomery Palms = Equivalent to One (1) Canopy Trees

Thirteen (13) Green Malayan Coconut Palms = Equivalent To Three (2) Canopy Trees

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Sincerely,

*Alex Mitz* – President, Mitz Design Group

*Mike Kalajian* – President, MK Structural Engineering, Inc.

*Corey Runte* – Owner, MelBeach Investments, LLC

*Erin Trauger* – Owner, Trauger Consulting Engineers

*Joel A. Seymour* – President, Kane Surveying, Inc.

*Julie Keller* – President, KSM Engineering & Testing, Inc.

**Pre App Date:** 12/01/25 (11:30AM) – COMPLETED

**Submission Date:** 12/02/25

Prepared by and return to:

**Dieguez & Stoller LLC**  
**1928 South Patrick Drive**  
**Indian Harbour Beach, FL 32937**  
**321-802-3589**  
File Number: **Gunthorpe to Me**  
Will Call No.:

[Space Above This Line For Recording Data]

## **Warranty Deed**

**This Warranty Deed** made this 24th day of **October, 2025** between **Sandra Diane Gunthorpe, a single woman, Individually and as Trustee, of the C.H. Gunthorpe and Lucy A. Gunthorpe Revocable Trust, dated the 27th day of July, 2018** whose post office address is **1806 Pine Street, Melbourne Beach, FL 32951**, grantor, and **Melbeach Investments, LLC, a Florida limited liability company**, whose post office address is **402 Riverview Lane, Melbourne Beach, FL 32951**, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

**Witnesseth**, that said grantor, for and in consideration of the sum of **TEN AND NO/100 DOLLARS (\$10.00)** and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Brevard County, Florida** to-wit:

**Lot 10, Harbor East Section One, according to the map or plat thereof as recorded in Plat Book 17,  
Page 90, Public Records of Brevard County, Florida.**

**Subject to taxes for 2025 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.**

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2024**.

**In Witness Whereof**, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Paul A. Diesburg  
 Witness Name: Paul A. Diesburg  
 Witness Address: 1928 S. Patrick Dr.  
Indian Harbor  
Beach FL 32937

Sarah Svendsen  
 Witness Name: Sarah Svendsen  
 Witness Address: 1928 South Patrick DR.  
Indian Harbour Beach, FL 32951

Sandra Diane Gunthorpe  
 Sandra Diane Gunthorpe, Individually and as Successor  
 Trustee

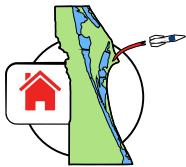
State of Florida  
 County of Brevard

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 23 day of October, 2025 by Sandra Diane Gunthorpe, Individually and as Successor Trustee of the C.H. Gunthorpe and Lucy A. Gunthorpe Revocable Trust, dated the 27th day of July 2018, who  is personally known or  has produced a driver's license as identification.

[Notary Seal]



Sarah Svendsen  
 Notary Public  
 Printed Name: Sarah Svendsen  
 My Commission Expires: 12/11/2026



**REAL PROPERTY DETAILS**  
Account 2847708 - Roll Year 2025

Owners	C H GUNTHORPE & LUCY A GUNTHORPE REVOCABLE TRUST
Mailing Address	1806 PINE ST MELBOURNE BEACH FL 32951
Site Address	1806 PINE ST MELBOURNE BEACH FL 32951
Parcel ID	28-38-07-50-*-10
Taxing District	34X0 - MELBOURNE BEACH
Exemptions	HEX1 - HOMESTEAD FIRST HEX2 - HOMESTEAD ADDITIONAL
Property Use	0110 - SINGLE FAMILY RESIDENCE
Total Acres	0.47
Site Code	0110 - RIVER FRONT
Plat Book/Page	0017/0090
Subdivision	HARBOR EAST SEC 1
Land Description	HARBOR EAST SEC 1 LOT 10



**VALUE SUMMARY**

Category	2025	2024	2023
Market Value	\$1,330,590	\$1,341,760	\$1,423,320
Agricultural Land Value	\$0	\$0	\$0
Assessed Value Non-School	\$561,990	\$546,360	\$530,450
Assessed Value School	\$561,990	\$546,360	\$530,450
Homestead Exemption	\$25,000	\$25,000	\$25,000
Additional Homestead	\$25,722	\$25,000	\$25,000
Other Exemptions	\$0	\$0	\$0
Taxable Value Non-School	\$511,268	\$496,360	\$480,450
Taxable Value School	\$536,990	\$521,360	\$505,450

**SALES / TRANSFERS**

Date	Price	Type	Instrument
01/27/2023	--	DC	9717/0898
07/27/2018	--	WD	8227/0661
02/28/1989	--	QC	2984/0919
03/01/1969	\$11,500	--	1070/0821

**BUILDINGS**

**PROPERTY DATA CARD #1**

**Building Use:** 0110 - SINGLE FAMILY RESIDENCE

Materials		Details
Exterior Wall:	STUCCO	Year Built
Frame:	MASNRYCONC	Story Height
Roof:	ASPH/ASB SHNGL	Floors
Roof Structure:	HIP/GABLE	Residential Units
Sub-Areas		Commercial Units
Base Area (1st)	2,394	Extra Features
Garage	678	All Screen - 1 Story
Open Porch	66	Dock Roof - Metal
Total Base Area	2,394	Paving - Stone
Total Sub Area	3,138	Pool - Residential
		Fireplace
		Spa - Residential Attached
		Paving - Stone
		Screen Enclosure
		Dock

**2025 FLORIDA LIMITED LIABILITY COMPANY ANNUAL REPORT**

DOCUMENT# L21000188552

**Entity Name:** MELBEACH INVESTMENTS LLC**Current Principal Place of Business:**402 RIVERVIEW LANE  
MELBOURNE BEACH, FL 32951**FILED**  
**Feb 06, 2025**  
**Secretary of State**  
**6257345244CC**

25

**Current Mailing Address:**402 RIVERVIEW LANE  
MELBOURNE BEACH, FL 32951 US**FEI Number:** 86-3673763**Certificate of Status Desired:** No**Name and Address of Current Registered Agent:**RUNTE, COREY R.  
402 RIVERVIEW LANE  
MELBOURNE BEACH, FL 32951 US*The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.***SIGNATURE:** COREY R. RUNTE

02/06/2025

Electronic Signature of Registered Agent

Date

**Authorized Person(s) Detail :**

Title	MGR	Title	MGR
Name	RUNTE, COREY R	Name	RUNTE, KRISTA
Address	402 RIVERVIEW LANE	Address	402 RIVERVIEW LANE
City-State-Zip:	MELBOURNE BEACH FL 32951	City-State-Zip:	MELBOURNE BEACH FL 32951

*I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am a managing member or manager of the limited liability company or the receiver or trustee empowered to execute this report as required by Chapter 605, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.***SIGNATURE:** COREY RUNTE

MANAGER

02/06/2025

Electronic Signature of Signing Authorized Person(s) Detail

Date

Custom Design For  
**RUNTE RESIDENCE**  
1806 PINE STREET MELBOURNE BEACH FL. 32951  
PLANS FOR PLANNING AND ZONING



## FRONT ELEVATION

## PROJECT SUMMARY

PROJECT NAME : RUNTE RESIDENCE  
PROJECT ADDRESS : 1806 PINE STREET  
EXISTING USE : SINGLE FAMILY RESIDENCE

CONTRACTOR: TBD

<u>APPLICABLE CODES</u>	
FLORIDA EXISTING BUILDING CODE:	FBC 2023 8TH EDITION
FLORIDA BUILDING CODE:	FBC 2023 8TH EDITION
MECHANICAL CODE :	2023
PLUMBING CODE :	2023
ELECTRICAL CODE :	NEC 2023
FIRE CODE :	FLORIDA FIRE PREVENTION CODE 2023
CONSTRUCTION TYPE	5B

CONSTRUCTION TYPE: 5B  
UTILITIES: CITY WATER/SEWER  
AUTHORITY / JURISDICTION: TOWN OF MELBOURNE BEACH

## SCHEDULE OF DRAWINGS

<u>SHEET</u>	<u>DESCRIPTION</u>
C1	COVER SHEET
A1	EXISTING FLOOR PLANS
A2	EXISTING ROOF PLAN
A3	EXISTING ELEVATIONS
A4	FIRST & SECOND FLOOR DEMO PLANS
A5	NEW FIRST FLOOR PLAN
A6	NEW SECOND FLOOR PLAN
A7	NEW ROOF PLAN
A8	NEW EXTERIOR ELEVATIONS
A9	NEW EXTERIOR ELEVATIONS
A10	BUILDING SECTIONS
A11	INTERIOR ELEVATIONS
E1	NEW FIRST & SECOND FLOOR ELEC. PLANS

## WALL LEGEND



## AREA TABULATION

FIRST FLOOR LIVING	3,230 SF
SECOND FLOOR LIVING	1,008 SF
TOTAL LIVING	4,238 SF
3 CAR GARAGE	860 SF
ENTRY	226 SF
REAR COVERED PORCH	912 SF
MASTER PORCH	130 SF
GRAND TOTAL	6,366 SF

RESIDENTIAL PLANNING & DESIGN  
◦ 587 WEST EAU GALLIE BLVD.  
◦ SUITE 201 MELBOURNE FL. 32935  
◦ 321-745-8609  
◦ ALEX@MITZDESIGNGROUP.COM  
◦ MITZDESIGNGROUP.COM

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<b>JOB. NO.</b>	<b>25-039</b>
<b>DESIGNED</b>	<b>AAM</b>
<b>DRAWN</b>	<b>AAM</b>
<b>CHECKED</b>	<b>AAM</b>
<b>SCALE</b>	<b>AS SHOWN</b>
<b>DATE</b>	<b>11.19.25</b>

## CUSTOM DESIGN F RUNTE RESIDENCE

ADDRESS:  
1806 PINE STREET  
MELBOURNE BEACH FL. 32951

## SHEET TITLE

---

## COVER SHEET

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ALEX MITZ, PRESIDENT DESIGNER

A1



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CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BRG
C1(P)	51.65'	75.00'	39°27'28"		
C1(M)	51.60'	75.00'	39°25'15"	50.59'	S05°54'56"W
C2(P)	99.54'	75.00'	76°02'35"		
C2(M)	99.55'	75.00'	76°02'54"	92.40'	S52°17'30"E

LOT,

OB. NO.	25-039
ESIGNED	AAM
RAWN	AAM
HECKED	AAM
CALE	AS SHOWN
ATE	11.19.25

REVISIONS	BY	DATE

**CUSTOM DESIGN FOR  
RUNTE  
RESIDENCE**

**SHEET TITLE**

---

**PLOT PLAN**  
**SCALE: 1"=10'**

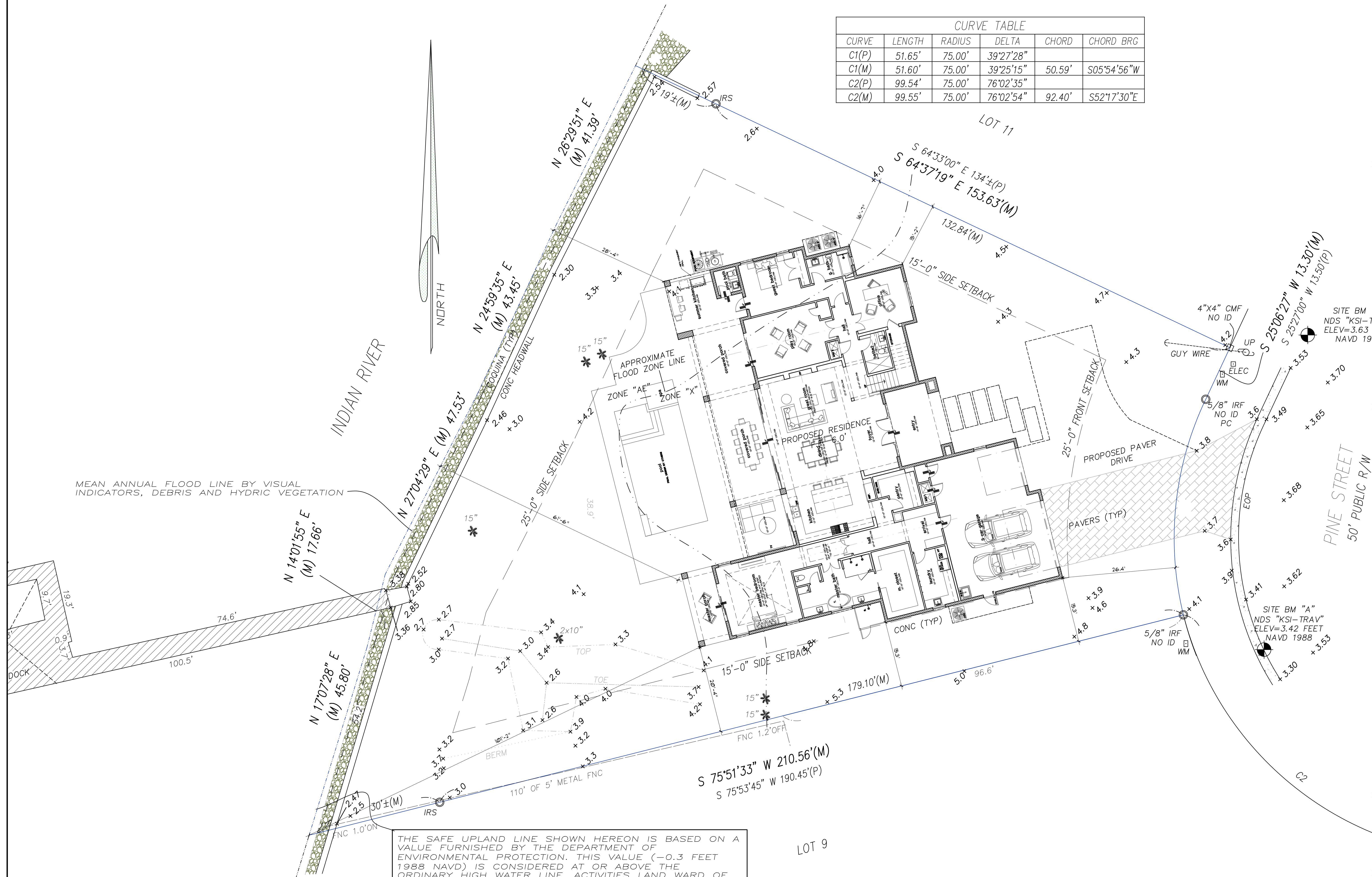
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ALEX MITZ, PRESIDENT DESIGNER

A2

LOT

THE SAFE UPLAND LINE SHOWN HEREON IS BASED ON A VALUE FURNISHED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION. THIS VALUE (-0.3 FEET 1988 NAVD) IS CONSIDERED AT OR ABOVE THE ORDINARY HIGH WATER LINE. ACTIVITIES LAND WARD OF A CONTOUR LINE ALONG THE NATURAL SHORE AT THIS ELEVATION ARE THEREFORE ABOVE THE ORDINARY HIGH WATER LINE AT THE SUBJECT LOCATION.



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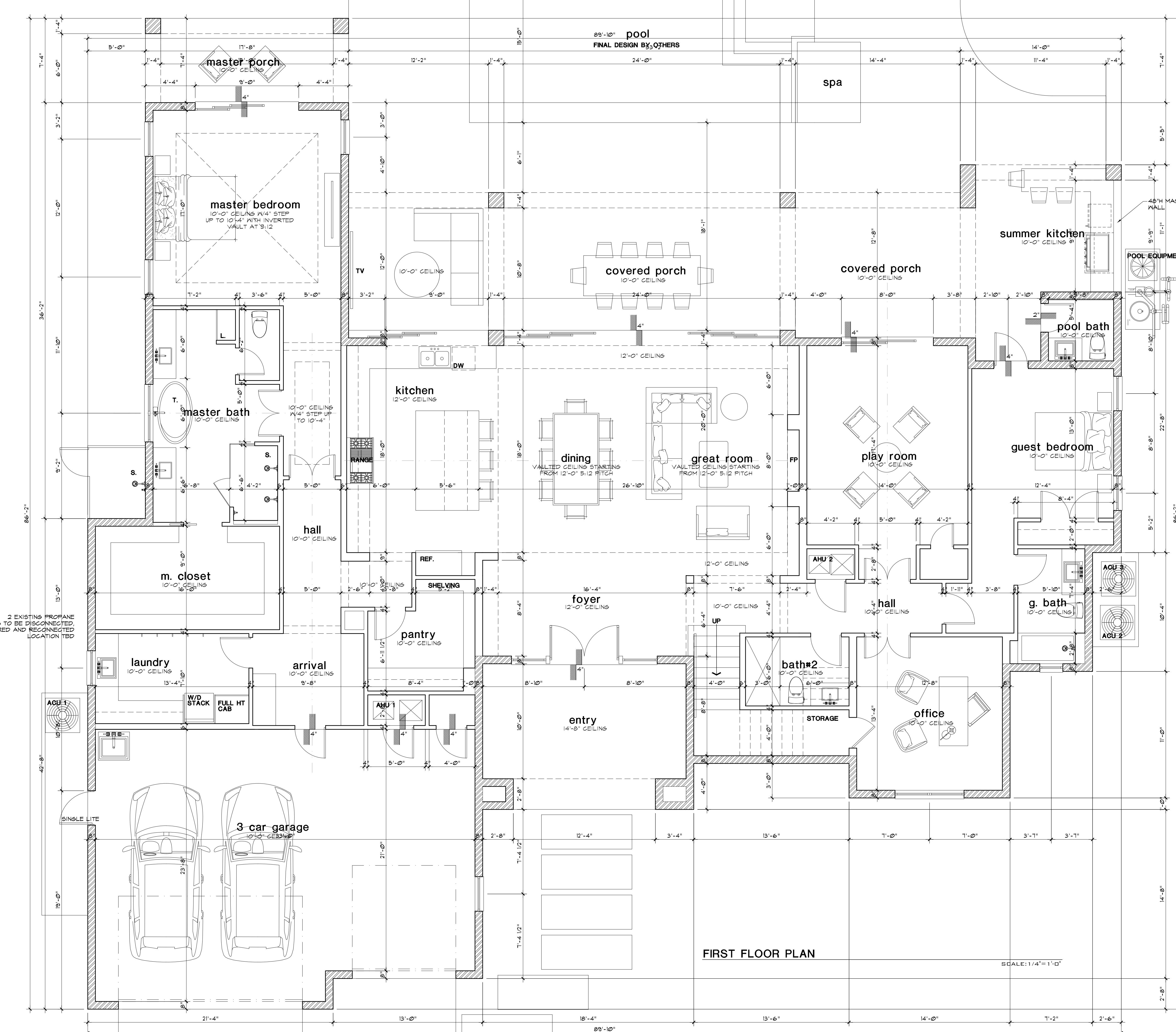
JOB. NO. 25-039  
 DESIGNED AAM  
 DRAWN AAM  
 CHECKED AAM  
 SCALE AS SHOWN  
 DATE 11.19.25

REVISIONS	BY	DATE

CUSTOM DESIGN FOR  
 RUNTE  
 RESIDENCE  
 ADDRESS:  
 1806 PINE STREET  
 MELBOURNE BEACH FL 32951

SHEET TITLE  
 FIRST FLOOR PLAN

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JOB. NO.	25-039
DESIGNED	AAM
DRAWN	AAM
CHECKED	AAM
SCALE	AS SHOWN
DATE	11.19.25

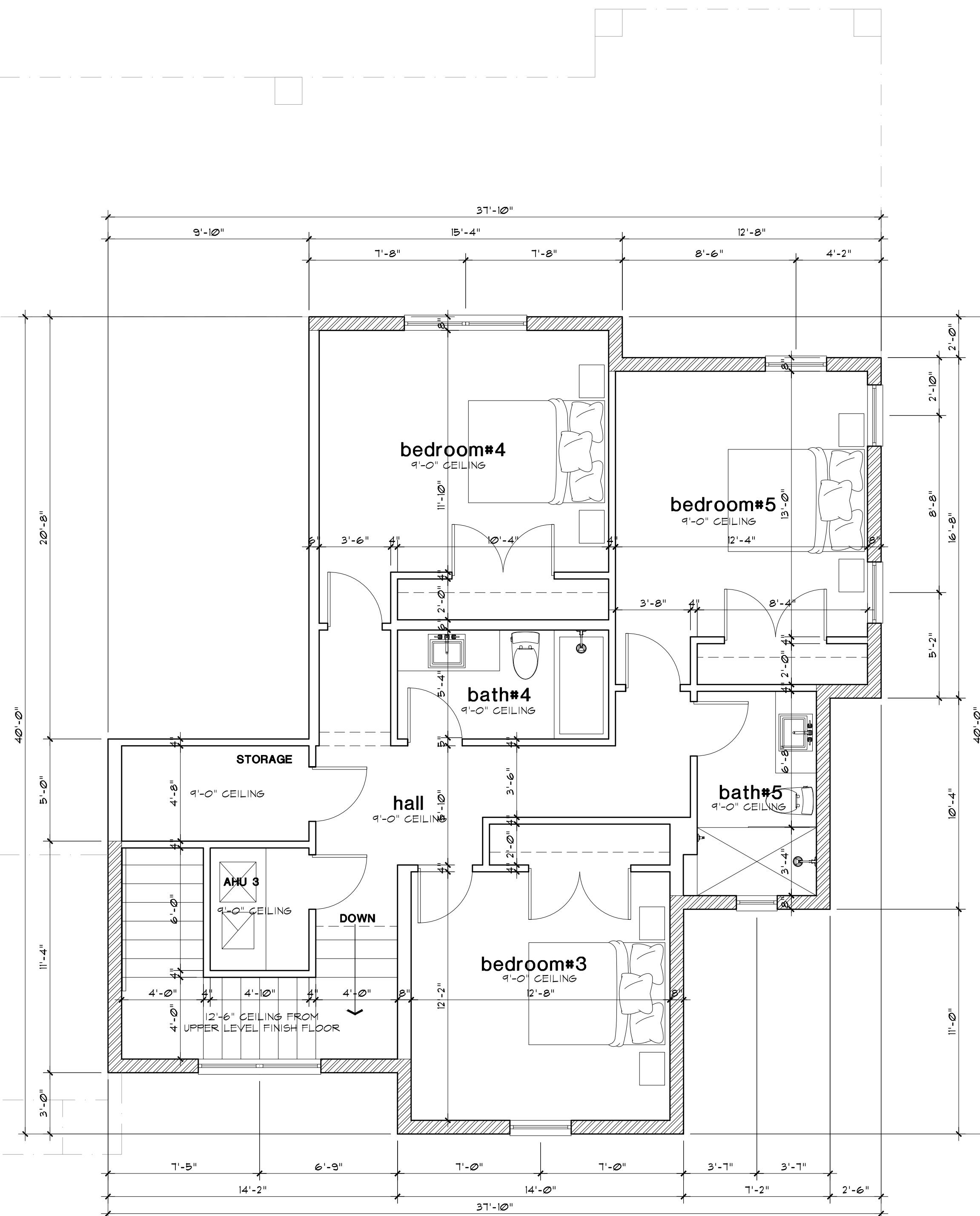
# CUSTOM DESIGN FOR **RUNTE RESIDENCE**

ADDRESS:  
1806 PINE STREET  
MELBOURNE BEACH FL. 32951

## **SHEET TITLE**

---

## **SECOND FLOOR PLAN**



## **SECOND FLOOR PLAN**

SCALE: 1/4" = 1'

---

## WALL LEGEND

---

NEW 4",6" OR 8" FRAME WALL

#### **NEW 8" MASONRY PARTITION**

## AREA TABULATION

FIRST FLOOR LIVING 3,230 SF  
SECOND FLOOR LIVING 1,008 SF

SECOND FLOOR LIVING	1,000 SF
<b>TOTAL LIVING</b>	<b>4,238 SF</b>

TOTAL LIVING 1,250 SF  
3 CAR GARAGE 860 SF

3 CAR GARAGE 300 SF  
ENTRY 226 SF  
REAR COVERED PORCH 912 SF

REAR COVERED PORCH	912 SF
MASTER PORCH	130 SF

GRAND TOTAL 6,366 SF SHEET 4

A4



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◦ MITZDESIGNGROUP.COM◦

<b>JOB. NO.</b>	<b>25-039</b>
<b>DESIGNED</b>	<b>AAM</b>
<b>DRAWN</b>	<b>AAM</b>
<b>CHECKED</b>	<b>AAM</b>
<b>SCALE</b>	<b>AS SHOWN</b>
<b>DATE</b>	<b>11.19.25</b>

# CUSTOM DESIGN FOR **RUNTE RESIDENCE**

ADDRESS:  
1806 PINE STREET  
MELBOURNE BEACH FL. 32951

## CLIENT TITLE

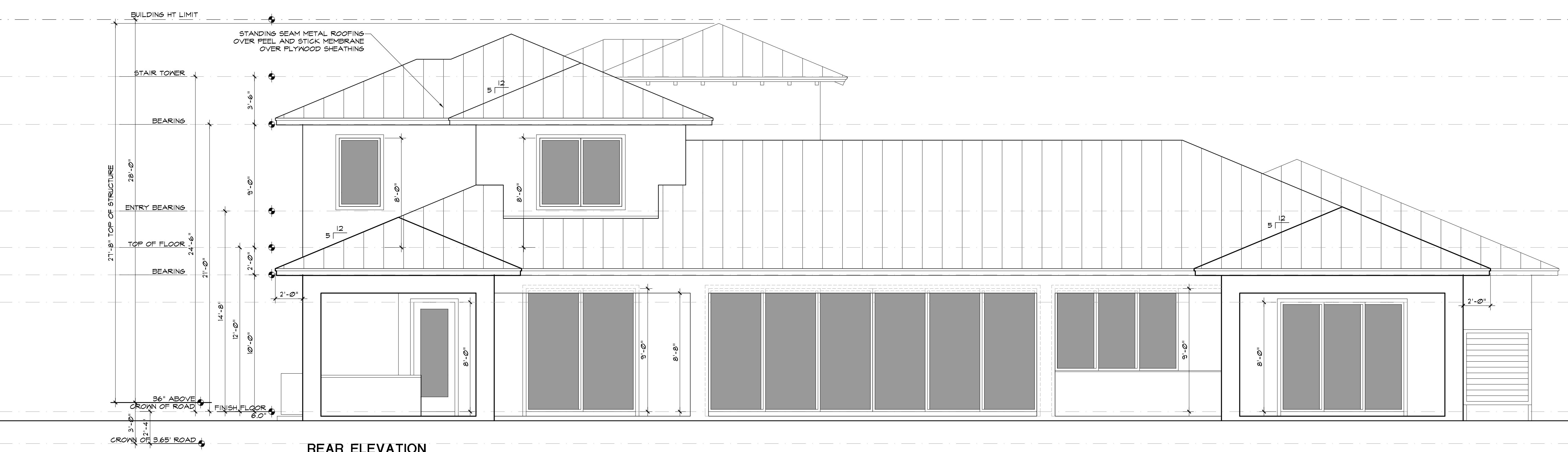
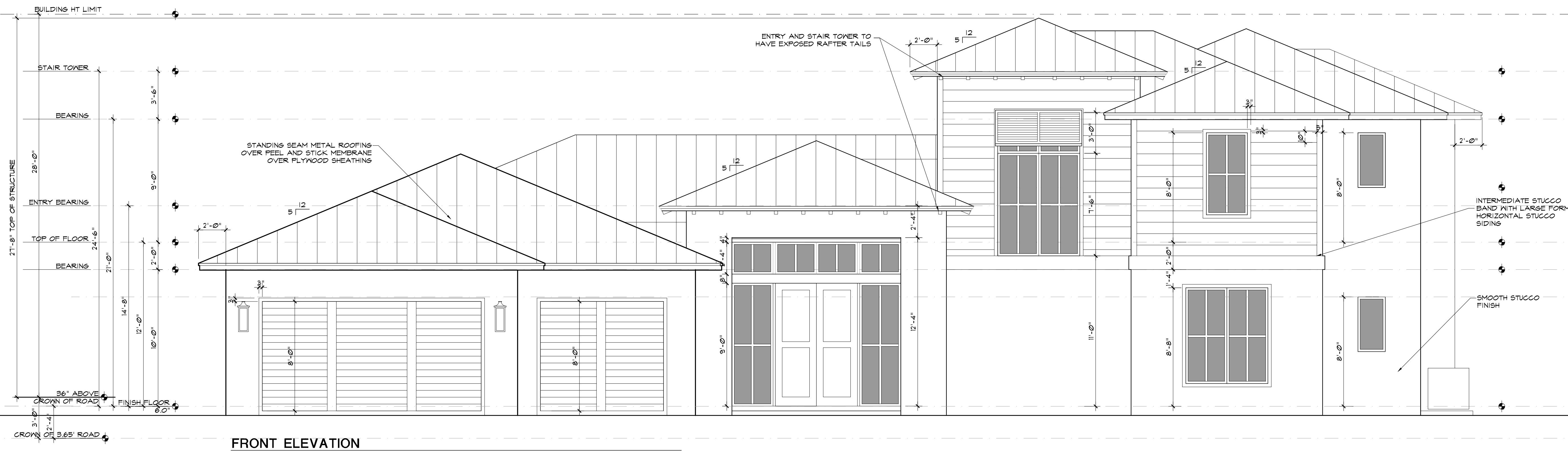
## **SHEET TITLE**

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## ALEX MITZ, PRESIDENT DESIGNER

A5



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<b>JOB. NO.</b>	<b>25-039</b>
<b>DESIGNED</b>	<b>AAM</b>
<b>DRAWN</b>	<b>AAM</b>
<b>CHECKED</b>	<b>AAM</b>
<b>SCALE</b>	<b>AS SHOWN</b>
<b>DATE</b>	<b>11.19.25</b>

# CUSTOM DESIGN FOR RUNTE RESIDENCE

ADDRESS:  
1806 PINE STREET  
MELBOURNE BEACH FL. 32951

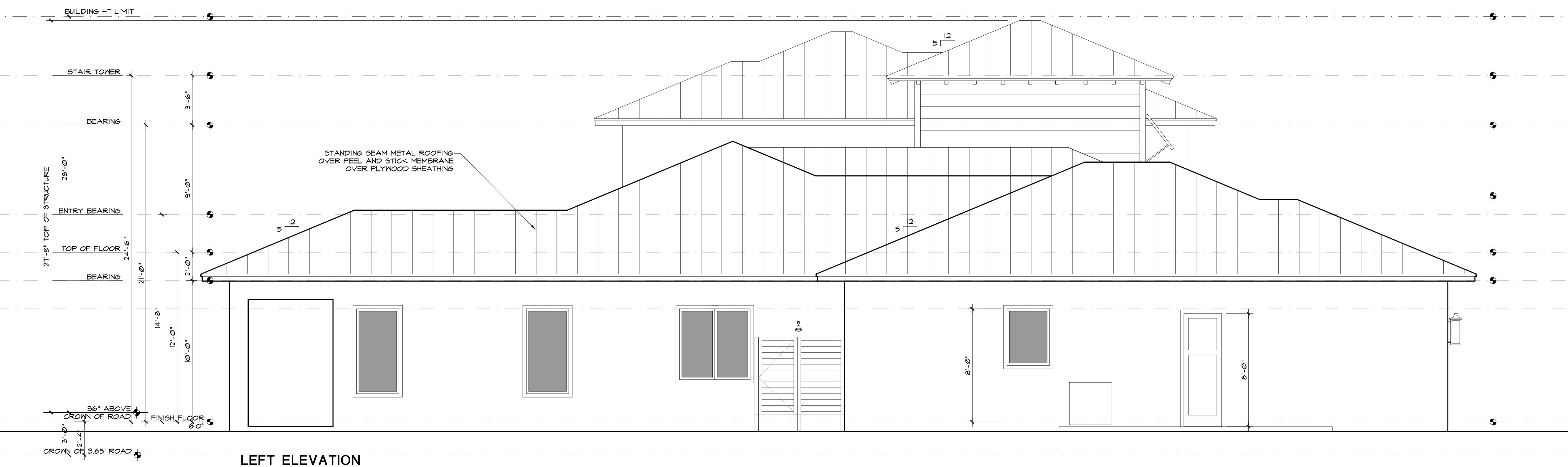
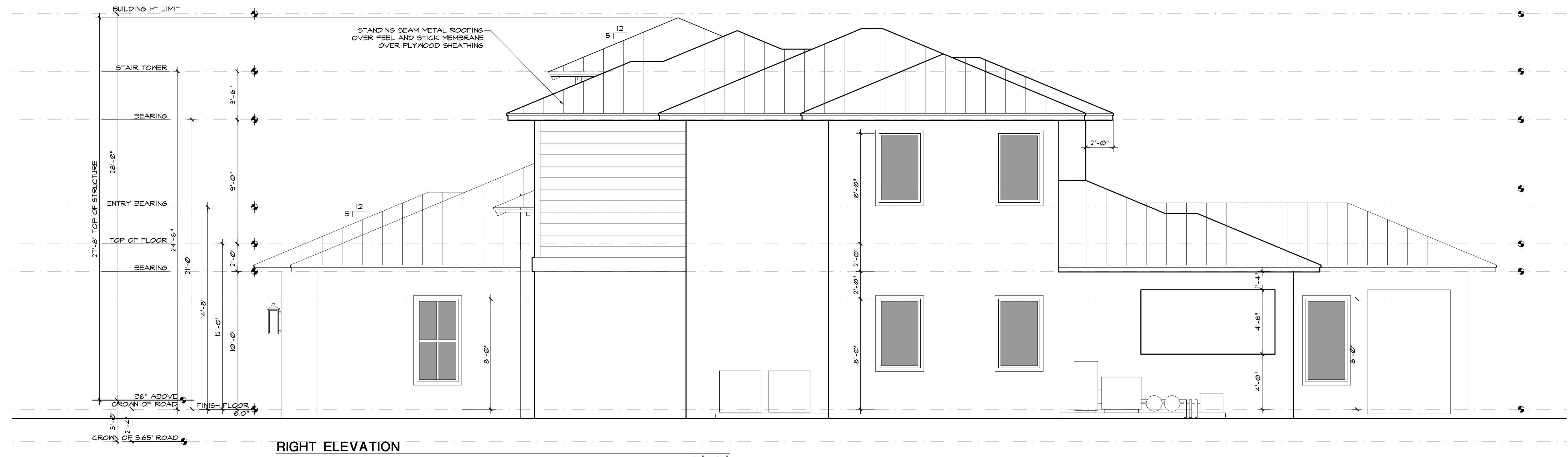
**SHEET TITLE**  
**EXTERIOR ELEVATIONS**

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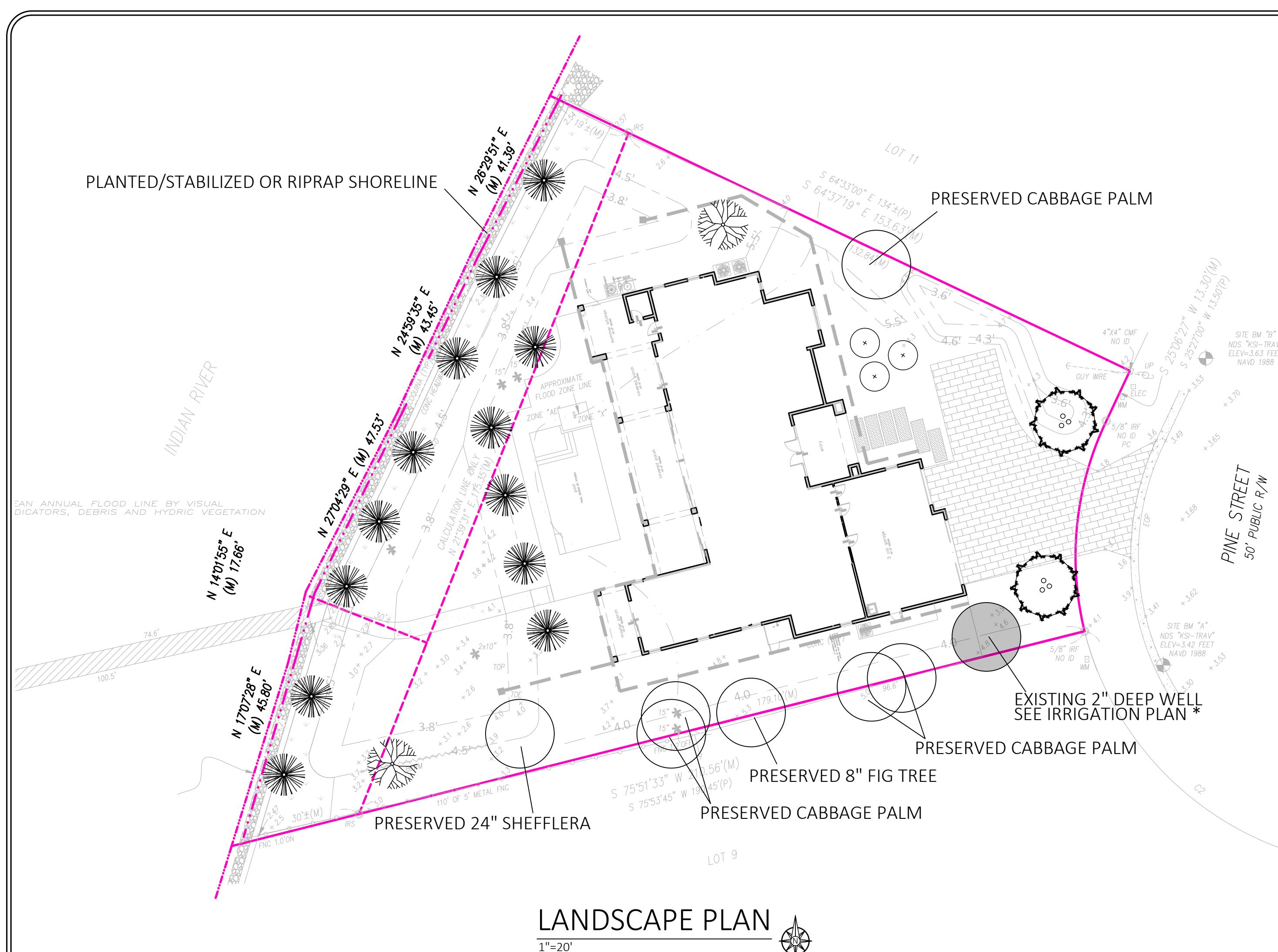
ALEX MITZ, PRESIDENT DESIGNER

A7

SHEET 7







### PLANT SCHEDULE:

SYMBOL	QUANTITY	COMMON NAME
Tree	2	LIVE OAK
Starburst	13	GREEN MALAYAN COCONUT PALMS
Circle with dots	2	ROYAL POINCIANAS
Circle with cross	3	MONTGOMERY PALMS

### LANDSCAPING CALCULATIONS:

**Tree Requirement:**  
Plant One (1) Canopy Tree Per 2,000 SF of lot area. = 0.47 ACRES = 20766 SF = 10.4 TREES = 11 TREES

Existing Preserved Trees = 7 TREES = 2 CANOPY TREES + 2 EQUIVALENT CANOPY TREES  
One (1) 24" Shefflera  
One (1) 8" Fig Fruit Tree  
Five (5) Existing Cabbage Palms = Equivalent to Two (2) Canopy Trees

Proposed Trees = 20 TREES = 4 CANOPY TREES + 3 EQUIVALENT CANOPY TREES  
Two (2) Royal Poincianas  
Two (2) Live Oaks  
Three (3) Montgomery Palms = Equivalent to One (1) Canopy Trees  
Thirteen (13) Green Malayan Coconut Palms = Equivalent To Three (2) Canopy Trees

1. NOTE THAT EXISTING 2" IRRIGATION WELL IS PROPOSED TO BE MAINTAINED. HUNTER IRRIGATION PUMP WITH SMART CONTROLS TO BE UTILIZED FOR IRRIGATION ON SITE.
2. NOTE THAT EXISTING PRESERVED TREE LOCATIONS HAVE BEEN INCLUDED BASED ON CLIENT FIELD REVIEW AND SKETCH. NO FIELD INSPECTION WAS COMPLETED BY ENGINEER. LOCATION OF TREES ARE NOT WARRANTED.
3. PLANTING LOCATION AND TREES PROVIDED BY OWNER AND SHOULD BE REVIEWED WITH OWNER PRIOR TO CONSTRUCTION.

**TRUGER**  
CONSULTING ENGINEERS

2210 FRONT STREET STE 204, MELBOURNE, FL 32901

Erin.Truger@gmail.com 0321.372.3060 C 321.652.5316

**1806 Pine Street**  
SINGLE FAMILY RESIDENCE  
BREVARD COUNTY, FLORIDA

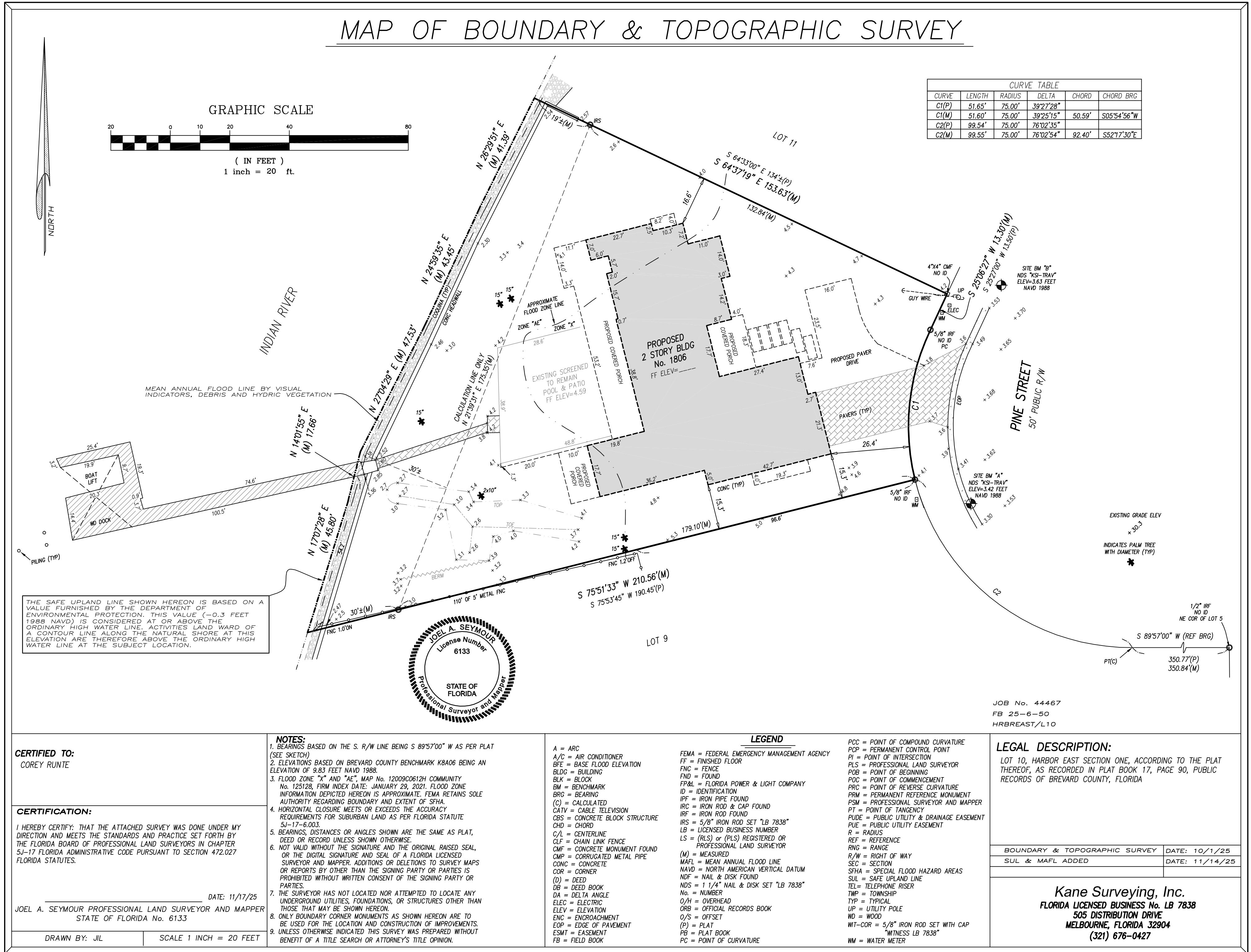
LANDSCAPE PLAN

ERIN L. TRUGER  
FL P.E. #665726

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EXPLICIT CONSENT OF THE OWNER IS PROHIBITED BY LAW.

DATE: 11-24-25  
TOWNSHIP: 28  
RANGE: 38  
SECTION: 07  
SCALE: 1"=20'  
DRAWING NO.: L-1  
DRAWN BY: TLW  
PROJECT: 25-PRE





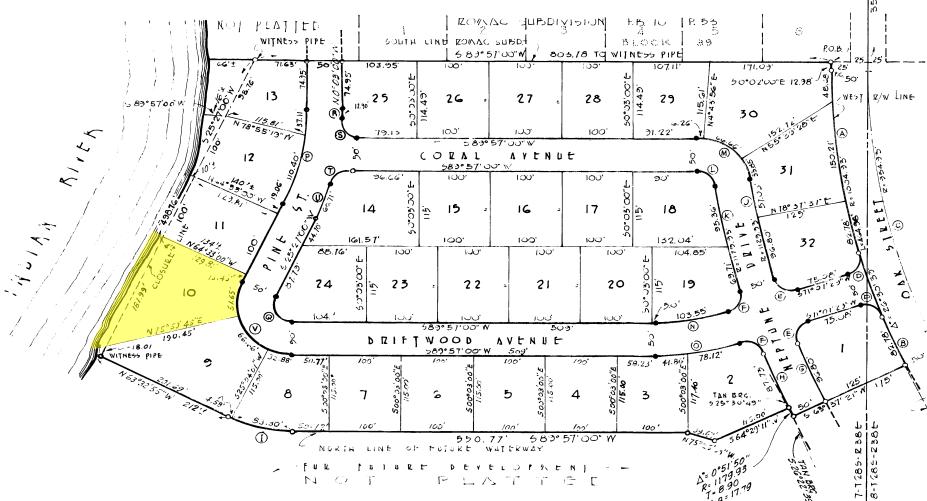
# HARBOR EAST

## SECTION ONE

### Aelbourne Beach, Brevard County Florida

A SUBDIVISION OF A PART OF SECTION 7 AND SECTION 8, TOWNSHIP 28 SOUTH, RANGE 38 EAST, BREVARD COUNTY, FLA.

BEGIN AT A POINT ON THE SOUTH LINE OF ROMAC SUBDIVISION ACCORDING TO THE PLAT THEREOF IN PLAT BOOK 10, PAGE 55 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, SAID POINT BEING 25 FT WESTERLY OF THE SOUTHEAST COR. OF BLK 39, SAID ROMAC SUBDIVISION, FOR THE FIRST CALL OF THE LANDS HEREIN DESCRIBED RUN 589' 57" 00' W ALONG THE SAID SOUTH LINE OF ROMAC SUBDIVISION, AND FROM PROJECTION THEREOF A DIST. OF 66' FT, MORE OR LESS, TO THE EASTERLY MEAN HIGH WATER LINE OF THE INDIAN RIVER, A WITNESS PIPE AT A DIST. OF 605.76 FT; RETURN THENCE TO THE POINT OF BEGINNING AND RUN THENCE 5' 00" 02' 00" ALONG THE WESTERLY RIGHT-OF-WAY LINE OF OAK STREET, 12.98 FT TO THE P.C. OF A RIGHT-OF-WAY CURVE CONCAVE TO THE N.E. HAVING A RADIUS OF 1004.93 FT AND A CENTRAL ANGLE OF 26° 30' 59"; THENCE ALONG THE ARC OF SAID CURVE 464.98 FT TO A POINT, THENCE FROM A TANGENT B.R.C. OF 5' 26" 22' 39" E RUN 5' 69" 37' 21" W A DIST. OF 175 FT TO A POINT ON A CURVE CONCAVE TO THE N.E. HAVING A RADIUS OF 1179.95 FT AND A CENTRAL ANGLE OF 0° 51' 50"; THENCE FROM A TANGENT B.R.C. OF 5' 26" 25' 53" E RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE 17.79 FT TO A POINT; THENCE FROM A TANGENT B.R.C. OF 5' 25" 30' 49" E RUN 5' 64" 29' 11" W A DIST. OF 115.00 FT; THENCE N 79° 25' 39" W A DIST. OF 39.67 FT; THENCE 589' 57" 00' A DIST. OF 550.77 FT TO THE P.C. OF A CURVE CONCAVE TO THE N.E. HAVING A RADIUS OF 190.00 FT AND A CENTRAL ANGLE OF 26° 30' 05"; THENCE 87.88 FT ALONG THE ARC OF SAID CURVE; THENCE N 79° 32' 55" W A DIST. OF 212 FT, MORE OR LESS, TO THE SAID EASTERLY MEAN HIGH WATER LINE OF THE INDIAN RIVER PASSING OVER A WITNESS PIPE AT A DIST. OF 201.65 FT; SAID WITNESS PIPE BEING 5' 25" 27' 00" W A DIST. OF 498.76 FT FROM THE WITNESS OF THE FIRST CALL AFORESAID; THENCE NORTHERLY ALONG THE SAID EASTERLY MEAN HIGH WATER LINE OF THE INDIAN RIVER TO CLOSE ON THE FIRST CALL AFORESAID.



CURVE DATA					
MARK	Δ <sup>°</sup>	T	L.A.	L.C.	
A	16° 03' 34"	1004.93	141.77	281.67	280.75'
B	1° 43' 11"	1004.93	41.41	82.78	82.75
C	26° 30' 49"	594.35	224.50	441.85	437.65
D	87° 32' 53"	20.81	500.00	544.49	544.49
E	92° 35' 57"	26.03	76.16	40.49	36.65
F	87° 37' 18"	26.03	23.26	38.92	34.61
G	47° 54' 51"	112.93	48.42	26.80	26.77
H	5° 07' 26"	179.98	59.80	105.56	105.48
I	26° 30' 05"	150.00	44.74	87.88	87.70
J	7° 46' 01"	112.93	77.05	153.85	153.71
K	8° 00' 05"	117.93	82.67	165.07	164.94
L	81° 34' 07"	25.00	21.57	35.59	32.66
M	81° 34' 07"	75.00	64.70	106.77	37.98
N	18° 49' 51"	315.16	52.25	103.55	103.05
O	18° 49' 51"	365.16	60.55	119.38	119.44
P	2° 50' 00"	331.45	75.60	147.51	146.30
Q	115° 20' 00"	25.00	39.62	504.0	42.29
R	1° 56' 15"	341.45	64.45	12.30	12.30
S	92° 12' 15"	25.00	25.91	40.16	35.98
T	78° 37' 08"	25.00	18.71	32.16	29.36
U	3° 07' 05"	381.45	30.42	60.71	60.67
V	115° 30' 00"	75.00	118.87	151.19	126.86

GENERAL NOTES:  
1. OPEN CIRCLE DENOTES PERMANENT REFERENCE MONUMENTS. (CLOSED CIRCLE DENOTES INTERIOR MON.)  
2. A 7.75 FT PUBLIC UTILITIES AND DRAINAGE EASEMENT IS RESERVED ALONG THE REAR OF ALL LOTS (EXCEPT THOSE LOTS ON THE RIVER AND ON OAK ST.)  
3. ALL LOTS WITH CURVED FRONT LINES HAVE A MINIMUM BLDG. SET-BACK OF 30 FT.  
4. BLDGS. SHOWN ARE BASED ON THE EAST LINE OF SEC 7 BEING N 0° 02' 00" W AND DO NOT REFER TO TRUE MERIDIAN.  
5. ALL DIST. SHOWN ON CURVED LINES REFER TO ARC DIMENSIONS.

OUTLAW, TUCKER & ASSOCIATES, INC.  
CONSULTING ENGINEERS  
EAU GALLIE, FLORIDA

62-161 A.M.S.

PLAT BOOK 17  
AND PAGE 90

311514

DEDICATION

KNOW ALL MEN BY THESE PRESENTS, That the Corporation named below, being the owner in fee simple of the lands described in the foregoing caption to this plat, hereby dedicates said lands and plat for the uses and purposes herein expressed and dedicates the Streets, alleys, thoroughfares, parks, canals and drainage easements shown herein to the perpetual use of the public, and  
IN WITNESS WHEREOF, has caused these presents to be signed and attested to by the officers named below and its corporate seal to be affixed hereto on Oct 21, 1962  
ALL FLORIDA DEVELOPERS INC.  
By Martin J. McGuire  
President

Attest:  
Martin J. McGuire  
SECRETARY

Signed and sealed in the presence of:  
Robert M. Noller  
C. M. G.

Frederick D. Lammel  
H. W. Hudson

STATE OF FLORIDA COUNTY OF BREVARD  
THIS IS TO CERTIFY, That on November 12, 1962 before me, an officer duly authorized to take acknowledgments in the State and County aforesaid, personally appeared Martin J. McGuire and Veronica M. McGuire, respectively President and Secretary of the above-named corporation incorporated under the laws of the State of Florida, to me known to be the individuals and officers described in and who executed the foregoing Dedication and attested to the execution thereof to be their free act and deed as such officers, the aforesaid duly authorized; that the seal of said corporation is duly affixed thereto; and that the said Dedication is the act and deed of said corporation.  
IN WITNESS WHEREOF, I have hereunto set my hand and seal on the above date.

NOTARY PUBLIC

My Commission Expires

SEAL

CERTIFICATE OF SURVEYOR

KNOW ALL MEN BY THESE PRESENTS, That the undersigned, being a licensed and registered land surveyor, does hereby certify that on November 12, 1962, he completed the survey of the lands as shown in the foregoing plat, that said plat is a correct representation of the lands therein described and that the permanent reference monuments have been placed as shown in the survey required by Chapter 177, Florida Statutes; and that said land is located in Brevard County, Florida. Dated March 28, 1963  
Richard H. Mann Registration No. 1854

CERTIFICATE OF APPROVAL  
BY MUNICIPALITY

THIS IS TO CERTIFY, That on October 23, 1962 the  
Town of Melbourne Beach, Brevard  
County, Florida approved the foregoing plat.  
J. Lee Cade  
MAYOR

ATTEST:  
Shirley J. McElroy  
CITY CLERK

CERTIFICATE OF APPROVAL BY BOARD  
OF COUNTY COMMISSIONERS

THIS IS TO CERTIFY, That on the  
foregoing plat was approved by the Board of County Commissioners of Brevard County, Florida.

Attest:

Chairman of the Board  
Clerk of the Board  
Approved  
County Engineer

CERTIFICATE OF APPROVAL  
BY ZONING COMMISSION

THIS IS TO CERTIFY, That on October 22, 1962 the  
Zoning Commission of the above Municipality approved the foregoing  
plat.  
Ed. H. Cade  
Zoning Director

CERTIFICATE OF CLERK

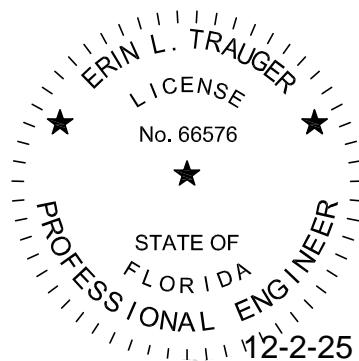
I HEREBY CERTIFY, That I have examined the foregoing plat and find that it complies in form with all the requirements of Chapter 177, Florida Statutes, and was filed for record on APRIL 3 1963  
at 1:30 P.M. File No. 311514  
Teresa R. Brown  
Clerk of the Circuit Court  
in and for Brevard County, Fla.



# STORMWATER CALCULATIONS

SUBMITTED TO:  
Town of Melbourne Beach

REVISION DATE: 12-2-25



---

Erin Trauger, P.E.  
FL License No. 66576

1806 Pine Street  
Residence

THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ERIN TRAUGER, PE ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

## ***I. Introduction***

The goal of this report is to detail requirements of compliance of the stormwater treatment system for the proposed improvements. The proposed single family residence improvements include a new single-family house located at 1806 Pine Street in the Town of Melbourne Beach, Florida. The Brevard County Property Appraiser Aerial and Details have been included for reference.

## ***II. Existing Conditions***

There is currently a house on this lot but there is no existing stormwater treatment. Much of the lot drains toward the east directly to the river with the remainder of the lot drainage to Third Avenue that ultimately discharges directly to the river.

## ***III. Proposed Conditions***

The proposed site improvements involve the construction of the new single-family house with porch as well as driveway and garage connected by a breezeway. A treatment swale is proposed mostly along the shoreline of the property to provide for stormwater treatment required on the lot before discharge to the river. Stormwater runoff created by the impervious surface for this project will be collected on-site and directed to the dry retention swales to treat the stormwater runoff. The 10 year 24 hour storm event was evaluated using the combined volume of the swales to verify retainage of the 8" storm event.

## ***IV. Required Stormwater Calculations***

A complete summary report has been provided in the attachments to include volume calculations for the proposed stormwater system, HydroCAD stormwater modeling information for the 10 year 24 hour storm event and a MODRET recovery analysis to ensure the Town of Melbourne Beach stormwater requirements are met. Also included in attached calculations are the soils reports provided by KSM Engineering identifying the season high water table and the percolation test results for conditions at the property. The following considerations were included in the evaluation.

- 8" of runoff from a 10-yr/24 hour storm event was evaluated for the 0.47 acre drainage basin at 1806 Pine Street (including the proposed improvements) using HydroCAD and zero discharge is proposed from the storm collection ponds for this storm event.
- 25-Canaveral-Palm Beach-Urban land Complex and 72-Welaka sand has been determined to be the soils mapped according to the Soils Survey Map of Brevard County which is reflect in the weighted average CN value using A soil values for grass.

- The Season High Water Table information is provided in the table below and the soils report completed by KSM Engineering and Testing is provided in the attachments for review. The highest value encountered was utilized for recovery analysis purposes.

Boring#	Natural Ground	Existing Ground Water Elevation	Estimated Wet Season Ground Water Table
HA-1	4.0	0.6	1.5

- The peak stage of the storm ponds remains below the top of bank.
- The pond area is proposed to include removal of any organic build up under the ponds such that the horizontal and vertical percolation rate are maintained. Based on the soils report these high percolations rate sands are available onsite and therefore the pond volume recovery will be less than 72 hours for the 8 inch storm event.

## **V. Summary**

As presented in the details above it has been determined that the proposed dry retention stormwater treatment system satisfies the design requirements of the Town of Melbourne Beach for the 10 year 24 hour-8 inch storm event.

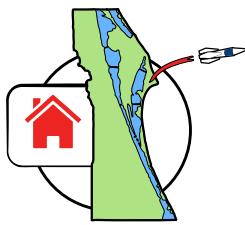
## LOCATION INFORMATION

1:500  
0 15 30 60 ft  
0 4.75 9.5 19 m

N 42  
W E  
S



All BCPAO maps and/or map applications are maintained for assessment and illustrative purposes only and do not represent surveys, plats, or any other legal instrument. Likewise, measurement and location tools are for assessment and illustrative purposes only and do not necessarily reflect real-world conditions. Due to the nature of Geographic Information Systems (GIS) and cadastral mapping, map layers may not precisely align and may not represent precise location, shape, and/or legal boundaries. Only a Florida-licensed surveyor can determine legally-relevant property boundaries, elevation, distance, area, and/or location in Florida.



## Dana Blickley, CFA, Brevard County Property Appraiser

Titusville • Viera • Melbourne • Palm Bay

(321) 264-6700

[www.bcpao.us](http://www.bcpao.us)

[Disclaimer](#)

### REAL PROPERTY DETAILS

Account 2847708 - Roll Year 2025

Owners	C H GUNTHORPE & LUCY A GUNTHORPE REVOCABLE TRUST
Mailing Address	1806 PINE ST MELBOURNE BEACH FL 32951
Site Address	1806 PINE ST MELBOURNE BEACH FL 32951
Parcel ID	28-38-07-50-*-10
Taxing District	34X0 - MELBOURNE BEACH
Exemptions	HEX1 - HOMESTEAD FIRST HEX2 - HOMESTEAD ADDITIONAL
Property Use	0110 - SINGLE FAMILY RESIDENCE
Total Acres	0.47
Site Code	0110 - RIVER FRONT
Plat Book/Page	0017/0090
Subdivision	HARBOR EAST SEC 1
Land Description	HARBOR EAST SEC 1 LOT 10



### VALUE SUMMARY

Category	2025	2024	2023
Market Value	\$1,330,590	\$1,341,760	\$1,423,320
Agricultural Land Value	\$0	\$0	\$0
Assessed Value Non-School	\$561,990	\$546,360	\$530,450
Assessed Value School	\$561,990	\$546,360	\$530,450
Homestead Exemption	\$25,000	\$25,000	\$25,000
Additional Homestead	\$25,722	\$25,000	\$25,000
Other Exemptions	\$0	\$0	\$0
Taxable Value Non-School	\$511,268	\$496,360	\$480,450
Taxable Value School	\$536,990	\$521,360	\$505,450

### SALES / TRANSFERS

Date	Price	Type	Instrument
01/27/2023	--	DC	9717/0898
07/27/2018	--	WD	8227/0661
02/28/1989	--	QC	2984/0919
03/01/1969	\$11,500	--	1070/0821

### BUILDINGS

#### PROPERTY DATA CARD #1

**Building Use:** 0110 - SINGLE FAMILY RESIDENCE

Materials	Details
Exterior Wall:	STUCCO
Frame:	MASNRYCONC
Roof:	ASPH/ASB SHNGL
Roof Structure:	HIP/GABLE
Year Built	1969
Story Height	8
Floors	1
Residential Units	1
Commercial Units	0
Sub-Areas	Extra Features
Base Area (1st)	Spa - Residential Attached
Garage	1
Open Porch	Paving - Stone
Total Base Area	702
Total Sub Area	All Screen - 1 Story
	1,235
	Pool - Residential
	1
	Fireplace
	1
	Dock Roof - Metal
	725
	Screen Enclosure
	756
	Paving - Stone
	60
	Dock
	946

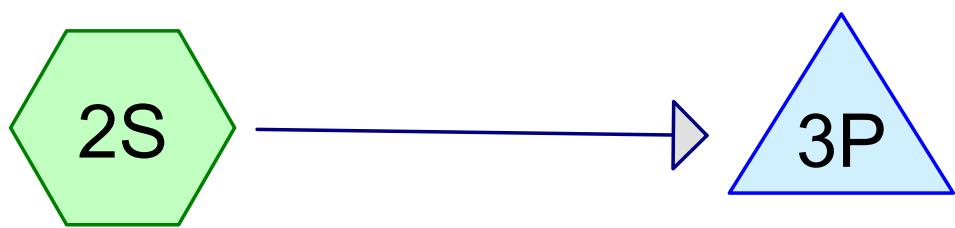
## DATA AND CALCULATIONS

**STORMWATER CALCULATIONS****Post-Development Drainage Basin Data: Type A Soils**

Cover Type	Area (acres)	CN Value
Impervious	8708.00	98
Pervious	12058.00	39
Total Area	<b>20766.00</b>	64

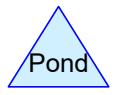
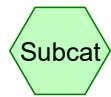
**Stage/Storage Volume of Dry Retention Pond:**

Elevation (Feet)	Area (Sq. Ft.)	Avg. Area (Sq. Ft.)	Volume (Cu. Ft.)	Sum. Volume (Cu. Ft.)
4.50	4,015		1,965	1,965
3.80	1,600	2,808	0	0



Runte Lot

Dry Retention Pond



**Routing Diagram for Runte on Pine**

Prepared by Trauger Consulting Engineers, Inc. Printed 12/1/2025  
HydroCAD® 10.20-7a s/n 12764 © 2025 HydroCAD Software Solutions LLC

**Runte on Pine**

Prepared by Trauger Consulting Engineers, In  
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Page 2

**Area Listing (all nodes)**

Area (acres)	CN	Description (subcatchment-numbers)
0.277	39	>75% Grass cover, Good, HSG A (2S)
0.200	98	Roofs, HSG A (2S)
<b>0.477</b>	<b>64</b>	<b>TOTAL AREA</b>

**Runte on Pine**

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Page 3

**Soil Listing (all nodes)**

Area (acres)	Soil Group	Subcatchment Numbers
0.477	HSG A	2S
0.000	HSG B	
0.000	HSG C	
0.000	HSG D	
0.000	Other	
<b>0.477</b>		<b>TOTAL AREA</b>

**Runte on Pine**

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**Ground Covers (all nodes)**

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.277	0.000	0.000	0.000	0.000	0.277	>75% Grass cover, Good	2S
0.200	0.000	0.000	0.000	0.000	0.200	Roofs	2S
<b>0.477</b>	<b>0.000</b>	<b>0.000</b>	<b>0.000</b>	<b>0.000</b>	<b>0.477</b>	<b>TOTAL AREA</b>	

**Runte on Pine**

Prepared by Trauger Consulting Engineers, In

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*Type II FL 24-hr 10 YR 24 HR Rainfall=8.00"*

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Time span=0.00-30.00 hrs, dt=0.01 hrs, 3001 points

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN

Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**Subcatchment 2S: Runte Lot**

Runoff Area=20,766 sf 41.93% Impervious Runoff Depth=3.78"

Tc=10.0 min CN=64 Runoff=1.14 cfs 0.150 af

**Pond 3P: Dry Retention Pond**

Peak Elev=4.22' Storage=921 cf Inflow=1.14 cfs 0.150 af

Outflow=0.67 cfs 0.150 af

**Total Runoff Area = 0.477 ac Runoff Volume = 0.150 af Average Runoff Depth = 3.78"**  
**58.07% Pervious = 0.277 ac 41.93% Impervious = 0.200 ac**

**Runte on Pine**

Prepared by Trauger Consulting Engineers, In

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**Type II FL 24-hr 10 YR 24 HR Rainfall=8.00"**

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**Summary for Subcatchment 2S: Runte Lot**

Runoff = 1.14 cfs @ 12.21 hrs, Volume= 0.150 af, Depth= 3.78"  
 Routed to Pond 3P : Dry Retention Pond

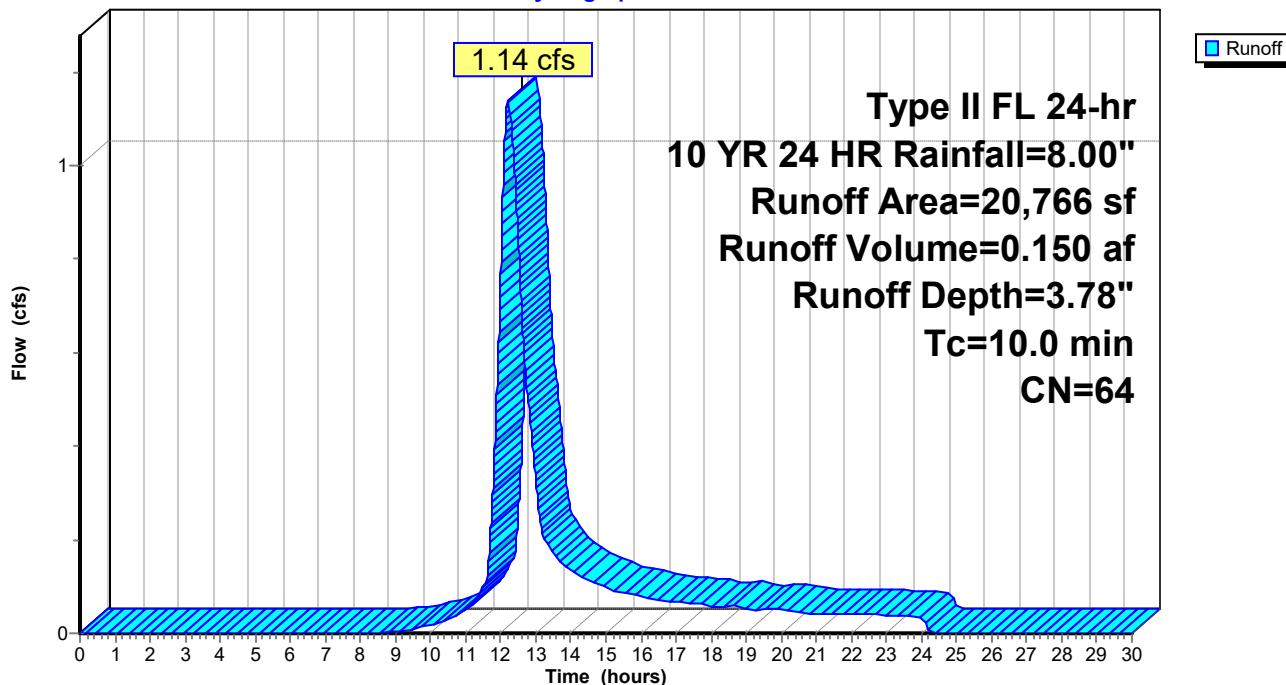
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs  
 Type II FL 24-hr 10 YR 24 HR Rainfall=8.00"

Area (sf)	CN	Description
8,708	98	Roofs, HSG A
12,058	39	>75% Grass cover, Good, HSG A
20,766	64	Weighted Average
12,058		58.07% Pervious Area
8,708		41.93% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

**Subcatchment 2S: Runte Lot**

Hydrograph



**Runte on Pine**

Prepared by Trauger Consulting Engineers, In

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Type II FL 24-hr 10 YR 24 HR Rainfall=8.00"

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**Summary for Pond 3P: Dry Retention Pond**

Inflow Area = 0.477 ac, 41.93% Impervious, Inflow Depth = 3.78" for 10 YR 24 HR event

Inflow = 1.14 cfs @ 12.21 hrs, Volume= 0.150 af

Outflow = 0.67 cfs @ 12.61 hrs, Volume= 0.150 af, Atten= 41%, Lag= 23.8 min

Discarded = 0.67 cfs @ 12.61 hrs, Volume= 0.150 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs

Peak Elev= 4.22' @ 12.61 hrs Surf.Area= 2,503 sf Storage= 921 cf

Plug-Flow detention time= 8.5 min calculated for 0.150 af (100% of inflow)

Center-of-Mass det. time= 8.5 min ( 866.5 - 858.0 )

Volume	Invert	Avail.Storage	Storage Description
#1	3.80'	1,689 cf	<b>30.00'W x 64.00'L x 0.70'H Prismatoid Z=7.0</b>

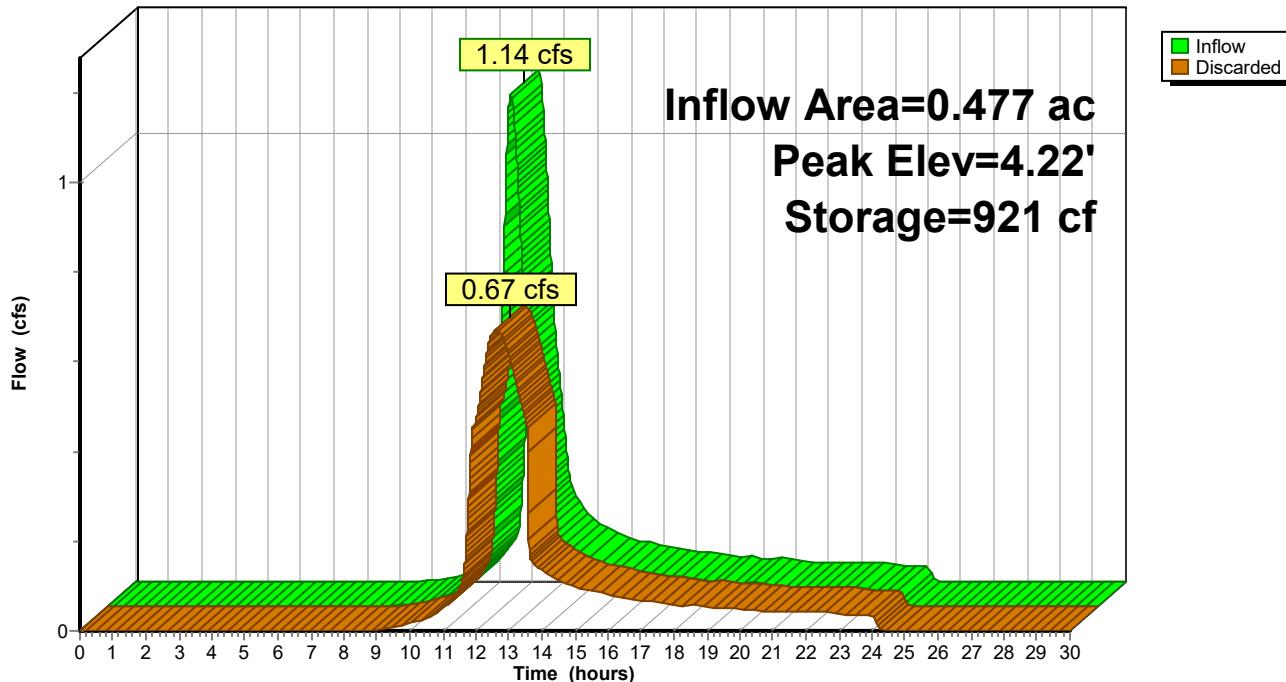
Device	Routing	Invert	Outlet Devices
#1	Discarded	3.80'	<b>10.000 in/hr Exfiltration over Surface area</b> Conductivity to Groundwater Elevation = 1.50' Phase-In= 0.01'

Discarded OutFlow Max=0.67 cfs @ 12.61 hrs HW=4.22' (Free Discharge)

↑ 1=Exfiltration ( Controls 0.67 cfs )

**Pond 3P: Dry Retention Pond**

Hydrograph



# MODRET

## SUMMARY OF UNSATURATED & SATURATED INPUT PARAMETERS

**PROJECT NAME : 1806 Pine Street**  
**POLLUTION VOLUME RUNOFF DATA USED**  
**UNSATURATED ANALYSIS INCLUDED**

Pond Bottom Area	1,600.00 ft <sup>2</sup>
Pond Volume between Bottom & DHWL	1,965.00 ft <sup>3</sup>
Pond Length to Width Ratio (L/W)	3.00
Elevation of Effective Aquifer Base	0.00 ft
Elevation of Seasonal High Groundwater Table	1.00 ft
Elevation of Starting Water Level	3.80 ft
Elevation of Pond Bottom	3.80 ft
Design High Water Level Elevation	4.50 ft
Avg. Effective Storage Coefficient of Soil for Unsaturated Analysis	0.17
Unsaturated Vertical Hydraulic Conductivity	10.00 ft/d
Factor of Safety	2.00
Saturated Horizontal Hydraulic Conductivity	20.00 ft/d
Avg. Effective Storage Coefficient of Soil for Saturated Analysis	0.19
Avg. Effective Storage Coefficient of Pond/Exfiltration Trench	1.00

### Hydraulic Control Features:

	Top	Bottom	Left	Right
<b>Groundwater Control Features - Y/N</b>				
Distance to Edge of Pond	N 0.00	N 0.00	N 0.00	N 0.00
Elevation of Water Level	0.00	0.00	0.00	0.00
<b>Impervious Barrier - Y/N</b>				
Elevation of Barrier Bottom	N 0.00	N 0.00	N 0.00	N 0.00

**MODRET****TIME - RUNOFF INPUT DATA****PROJECT NAME: 1806 PINE STREET**

<b>STRESS PERIOD NUMBER</b>	<b>INCREMENT OF TIME (hrs)</b>	<b>VOLUME OF RUNOFF (ft<sup>3</sup>)</b>
Unsat	2.28	761.60
1	1.00	1,203.40
2	8.59	0.00
3	8.59	0.00
4	8.59	0.00
5	8.59	0.00
6	8.59	0.00
7	8.59	0.00
8	8.59	0.00
9	8.59	0.00

# MODRET

## SUMMARY OF RESULTS

**PROJECT NAME : 1806 Pine Street**

Maximum Water Elevation: 4 164 feet @ 3 28 hours

Recovery @ 11.817 hours

\* Time increment when there is no runoff

Maximum Infiltration Rate: 2.458 ft/day

## **SOILS REPORT AND MAP INFORMATION**

Melbeach Investments LLC  
402 Riverview Lane  
Melbourne Beach, FL 32951

November 13, 2025  
KSM Project No. 2507322-p  
*Revised December 1, 2025*

Attention: Mr. Corey Runte

**Subject: Additional Subsurface Investigation and  
Geotechnical Engineering Evaluation  
Stormwater Improvements at 1806 Pine Street  
Melbourne Beach, Brevard County, Florida**

Dear Mr. Runte:

As requested, **KSM Engineering & Testing (KSM)** has performed an additional subsurface investigation and geotechnical engineering evaluation at the above referenced site. Presentation of the data gathered during the investigation, together with our geotechnical related opinions, are included in this report.

### **Scope of Work and Professional Service Agreement:**

The scope of work for our services provided is based upon KSM Proposal No. 250761, dated October 9, 2025, which was authorized and returned to us later that day.

### **Site and Location Description:**

The  $0.47\pm$  acre waterfront lot is located on the west side of Pine Street and on the east side of the Indian River, in Melbourne Beach, Brevard County, Florida. At the time of our investigation, the site was developed with a single-family residence with a footprint of  $3,138\pm$  square feet and an associated swimming pool, which were constructed in 1969.

### **Project Description:**

Based on our conversations and on our review of the provided Boundary and Topographic Survey, prepared by Kane Surveying, Inc., dated October 1, 2025, we understand that this phase of the project entails the design and construction of stormwater improvements at the subject site, and soil and groundwater conditions are required by your engineers to perform their stormwater analysis.

We note that, as requested, our subsurface exploration program for this phase of the project was limited to the location requested and does not include geotechnical explorations or engineering recommendations relative to the proposed structures; such explorations are recommended to explore bearing capacity of on-site soils and to generate data necessary to provide site preparation and bearing capacity recommendations.

If the construction plans differ from our understanding and assumptions of this phase of the project as stated above, we should be notified immediately to allow for re-evaluation of the recommendations in this report.

## Scope of Services Performed:

1. Reviewed the United States Department of Agriculture (USDA) Natural Resources Conservation Service (NRCS) Web Soil Survey to determine the predominant surficial soil types within the subject area.
2. Performed a soil boring at an accessible location in the general vicinity of the requested location.
3. Measured the depth to the groundwater level encountered at each boring location.
4. Performed a field Usual Open-Hole Test at a selected location within the area requested.
5. Reviewed the field soil boring logs and visually classified the soil samples in our laboratory.
6. Evaluated the subsurface soil conditions encountered and prepared this report to document our findings and summarize our conclusions and recommendations.

## NRCS Surficial Soil Information:

Based on KSM's review of the USDA soils survey for Brevard County, NRCS indicates that the following USDA soil mapping units were identified within the limits of the project.

**25: Canaveral-Palm Beach-Urban land complex** – The typical profile of this soil reportedly consists of layers of sand that extend to a depth of about 80 inches below the surface. The seasonal high groundwater level is typically within 1 to 3 feet of the natural ground surface.

**72: Welaka sand** – The typical profile of this soil reportedly consists of layers of sand that extend to a depth of about 80 inches below the surface. The seasonal high groundwater level is typically between 4 to 5 feet of the natural ground surface.

The general location of the subject area is shown on a reproduction of an aerial photograph which was obtained from the USDA Web Soil Survey and is presented as the attached USDA Soils Survey Map.

## Subsurface Investigation:

**Field Exploration Program** – Our site exploration program during this phase of the project consisted of performing one (1) hand auger boring to an approximate depth of 6 feet below the existing ground surface, and one (1) Usual Open-Hole Test at an approximate depth of 5 feet below the existing ground surface, within the general vicinity of the proposed stormwater improvements.

The approximate location of the boring is illustrated on a reproduction of an aerial photograph and is presented as the attached Boring Location Plan. This location was determined in the field by estimating distances from existing site features and other points of reference and should be considered accurate only to the degree implied by the method of measurement used. If a more accurate boring location is required, we recommend that the location be surveyed by a licensed surveyor.

**General Soil Profile** – The stratification of the boring profile represents our interpretation of the field boring log and the laboratory test results of the recovered samples. The stratification lines represent the approximate boundary between soil types. The actual transitions may be more gradual than implied.

As shown on the soil boring profile, the hand auger boring typically encountered dark brown sand in the upper 1 foot, underlain by light brown sand to the auger termination depth of 6 feet.

**Measured Groundwater Level** – The groundwater level was measured in the borehole on the day drilled, after stabilization of the downhole water level. As shown on the attached soil boring profile, groundwater was encountered at an approximate depth of 3.4 feet on the date indicated. We estimate the normal seasonal high groundwater level will be about 2.5 feet below the existing ground surface in the general vicinity of the location of our soil boring.

Fluctuations in groundwater levels should be anticipated throughout the year due to a variety of factors including tidal fluctuations due to the proximity of the site to the Indian River, as well as due to seasonal variations in the amount of rainfall, elevated tidal events, and other factors not evident at the time the boring was performed. Therefore, groundwater levels during construction or at other times in the future may be higher or lower than the levels indicated on the soil boring profiles.

## Laboratory Testing Program:

Upon completion of our field exploration activities, the field soil boring logs and recovered soil samples were transported to our soils laboratory from the project site for further review and testing. The soil classifications and other pertinent data obtained from our field explorations and laboratory observations are reported on the attached soil boring profiles. All laboratory testing was performed in general accordance with applicable laboratory standards and/or industry standards with a standard practice of care.

## Stormwater and Aquifer Parameters:

Based on the results of our exploration, the soils encountered are considered to be relatively permeable.

**Factor of Safety** – We note that a factor of safety has not been applied to the stormwater and aquifer parameters presented below. An appropriate factor of safety should be applied to these parameters for use in the stormwater design.

**Field Test Results** – At the test location, a Usual Condition Test was performed in general conformance with the South Florida Water Management District procedures for the ‘Usual Open-Hole Test’ method. The results of this test is presented in the table below.

Field Test Results – Estimated Soil Parameters			
Test Location (See Location Plan)	Approximate Test Depth (ft)	Hydraulic Conductivity (CFS/SF- Ft Head)	Hydraulic Permeability (ft/day)
HA-1	5	$1.3 \times 10^{-3}$	33.9

**Vertical Flow Rates** – We consider the measured permeability rate to be indicative of a saturated horizontal permeability. Our experience and published references have indicated that unsaturated vertical permeability as used in some locally available groundwater models is typically about 1/2 to 2/3 the saturated horizontal value.

**Hydrologic Soil Group (HSG) Classification and Estimated Fillable Porosity** – The HSG classification was estimated based on our interpretation of the estimated aquifer parameters at the time of our investigation and guidance provided by the USDA National Engineering Handbook. KSM has estimated the fillable porosity of the soils above the estimated wet season water table.

HSG and Estimated Fillable Porosity		
Location	HSG	Fillable Porosity
HA-1	A	30%

### Closure:

Based upon our subsurface investigation at the above-mentioned project location, the reliance of the recommendations presented within this signed and sealed report is predicated on KSM representative’s involvement in reviewing design plans and performing/monitoring construction testing services. Any design professional utilizing the information within this report are responsible for confirming the accuracy of the project information and assumptions stated in our report and that the soil parameters presented are adequate for the design of the proposed project. If additional parameters are required, KSM is to be notified so that our recommendations can be amended as required.

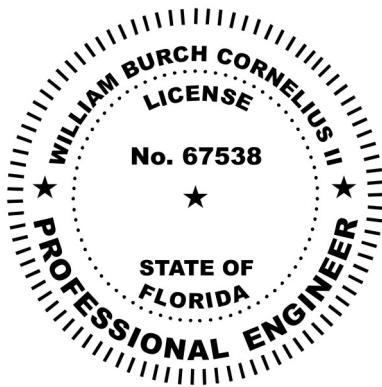
**Standard of Care** – This report has been prepared in accordance with generally accepted soil and engineering practices and is based on our evaluation of our geotechnical investigation and our stated understanding and assumptions of the proposed project. The procedural standards noted in this report are in reference to methodology in general. In some cases, variations to methods were applied because of local practice or professional judgement. No warranties, either expressed or implied, are intended or made. This report does not reflect any variations which may occur between or away from the borings. If variations appear evident during the course of construction, it would be necessary to re-evaluate the recommendations of this project.

**Limitations** – Environmental conditions, wetland delineation, karst activity, water quality, and municipal requirements are not a part of this report.

KSM Engineering and Testing should be retained to perform and/or monitor Construction Testing services. If Client elects to not have KSM provide Construction Testing services, the Client shall indemnify and hold KSM and its consultants harmless from and against damages, losses, and judgments arising from claims by Client or any third parties.

We are pleased to have been of assistance to you in this phase of your project. When we may be of further service to you or should you have any questions, please feel free to contact the office.

Respectfully,  
**KSM Engineering & Testing**



Will B. Cornelius II, P.E.  
Principal Engineer  
Florida License No. 67538

Attachments:      USDA Soil Survey Map  
                         Boring Location Plan  
                         Soil Boring Profile

Email to:            Mr. Corey Runte - [CRunte@gmail.com](mailto:CRunte@gmail.com)  
                         Ms. Erin Trauger, P.E. - [erin.trauger@gmail.com](mailto:erin.trauger@gmail.com)



## USDA SOILS SURVEY

25—Canaveral-Palm Beach-Urban land complex  
72—Welaka sand

PROJECT: 1806 Pine Street, Melbourne Beach, Florida

SHEET 1 OF 1

PERMIT #: N/A

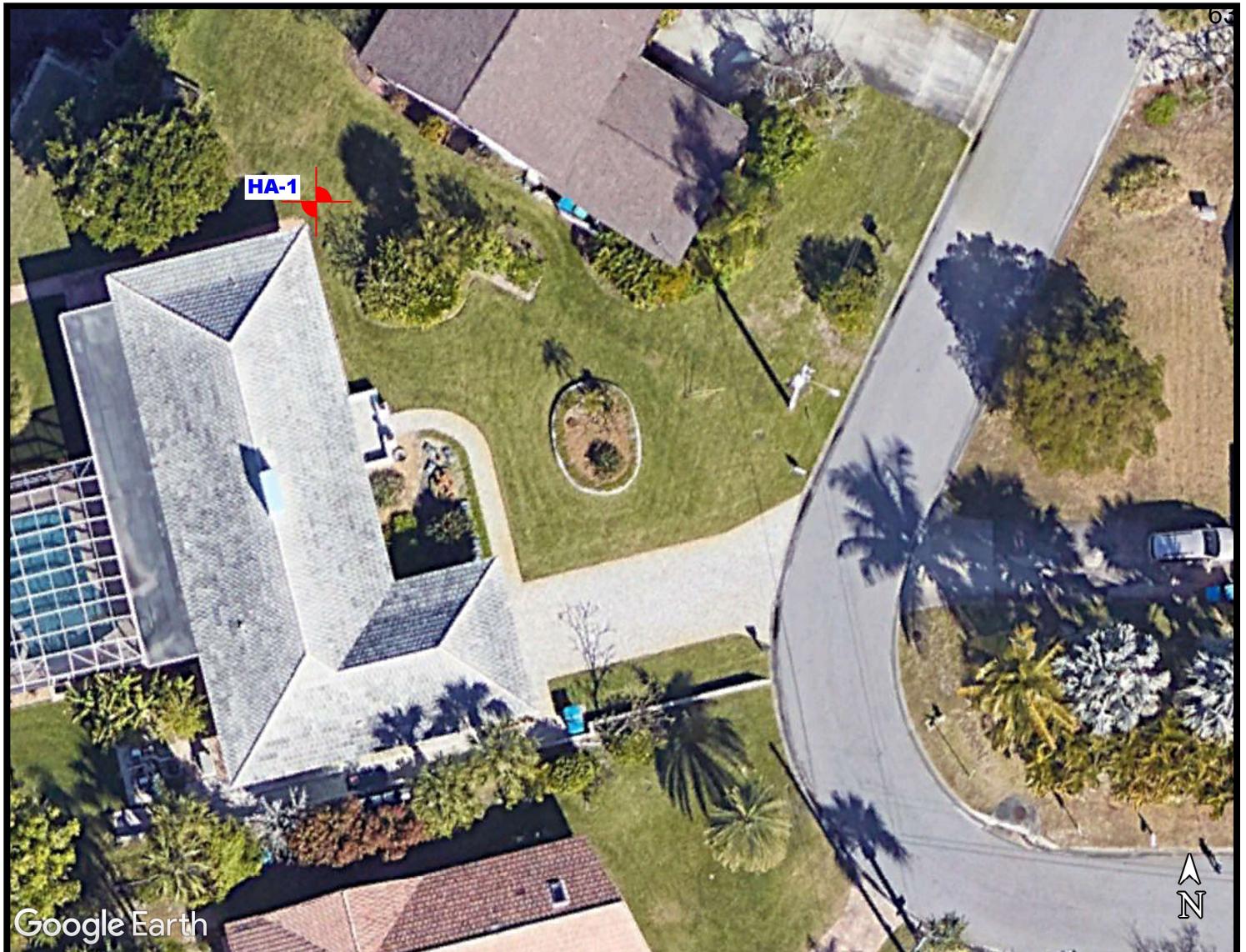
PROJECT #: 2507322-soils

**KSM** ENGINEERING  
AND TESTING

DRAWN BY: C.V.

DATE: 20251111

SCALE: NOT TO SCALE



## APPROXIMATE LOCATION OF SOIL TESTING

PROJECT: 1806 Pine Street, Melbourne Beach, Florida

SHEET 1 OF 1

PERMIT #: N/A

PROJECT #: 2507322-b

**KSM** ENGINEERING  
AND TESTING

DRAWN BY: C.V.

DATE: 20251111

SCALE: NOT TO SCALE



CLIENT Melbeach Investments, LLC  
PROJECT NUMBER 2507322-b  
DATE STARTED 11/10/25 COMPLETED 11/10/25  
DRILLING CONTRACTOR \_\_\_\_\_  
DRILLING METHOD Auger Boring  
LOGGED BY CH  
NOTES See Attached Location Plan

PROJECT NAME 1806 Pine Street  
PROJECT LOCATION Melbourne Beach, Florida  
GROUND ELEVATION \_\_\_\_\_  
GROUND WATER LEVELS:  
▽ AT TIME OF DRILLING 3.4 ft

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	BLOW COUNTS (N VALUE)	SCP VALUE	MOISTURE CONTENT (%)	FINE CONTENT (%)	ORGANIC CONTENT (%)	PERMEABILITY RATE (IN/HR)	ATTERBERG LIMITS
									PLASTIC LIMIT
									LIQUID LIMIT
0		Dark Brown Sand	45						
		Light Brown Sand	20						
			15						
			15						
			20						
5			30						

Bottom of borehole at 6.0 feet.

Melbeach Investments LLC  
402 Riverview Lane  
Melbourne Beach, FL 32951

November 13, 2025  
KSM Project No. 2507322-p  
*Revised December 1, 2025*

Attention: Mr. Corey Runte

**Subject: Additional Subsurface Investigation and  
Geotechnical Engineering Evaluation  
Stormwater Improvements at 1806 Pine Street  
Melbourne Beach, Brevard County, Florida**

Dear Mr. Runte:

As requested, **KSM Engineering & Testing (KSM)** has performed an additional subsurface investigation and geotechnical engineering evaluation at the above referenced site. Presentation of the data gathered during the investigation, together with our geotechnical related opinions, are included in this report.

### **Scope of Work and Professional Service Agreement:**

The scope of work for our services provided is based upon KSM Proposal No. 250761, dated October 9, 2025, which was authorized and returned to us later that day.

### **Site and Location Description:**

The  $0.47\pm$  acre waterfront lot is located on the west side of Pine Street and on the east side of the Indian River, in Melbourne Beach, Brevard County, Florida. At the time of our investigation, the site was developed with a single-family residence with a footprint of  $3,138\pm$  square feet and an associated swimming pool, which were constructed in 1969.

### **Project Description:**

Based on our conversations and on our review of the provided Boundary and Topographic Survey, prepared by Kane Surveying, Inc., dated October 1, 2025, we understand that this phase of the project entails the design and construction of stormwater improvements at the subject site, and soil and groundwater conditions are required by your engineers to perform their stormwater analysis.

We note that, as requested, our subsurface exploration program for this phase of the project was limited to the location requested and does not include geotechnical explorations or engineering recommendations relative to the proposed structures; such explorations are recommended to explore bearing capacity of on-site soils and to generate data necessary to provide site preparation and bearing capacity recommendations.

If the construction plans differ from our understanding and assumptions of this phase of the project as stated above, we should be notified immediately to allow for re-evaluation of the recommendations in this report.

## Scope of Services Performed:

1. Reviewed the United States Department of Agriculture (USDA) Natural Resources Conservation Service (NRCS) Web Soil Survey to determine the predominant surficial soil types within the subject area.
2. Performed a soil boring at an accessible location in the general vicinity of the requested location.
3. Measured the depth to the groundwater level encountered at each boring location.
4. Performed a field Usual Open-Hole Test at a selected location within the area requested.
5. Reviewed the field soil boring logs and visually classified the soil samples in our laboratory.
6. Evaluated the subsurface soil conditions encountered and prepared this report to document our findings and summarize our conclusions and recommendations.

## NRCS Surficial Soil Information:

Based on KSM's review of the USDA soils survey for Brevard County, NRCS indicates that the following USDA soil mapping units were identified within the limits of the project.

**25: Canaveral-Palm Beach-Urban land complex** – The typical profile of this soil reportedly consists of layers of sand that extend to a depth of about 80 inches below the surface. The seasonal high groundwater level is typically within 1 to 3 feet of the natural ground surface.

**72: Welaka sand** – The typical profile of this soil reportedly consists of layers of sand that extend to a depth of about 80 inches below the surface. The seasonal high groundwater level is typically between 4 to 5 feet of the natural ground surface.

The general location of the subject area is shown on a reproduction of an aerial photograph which was obtained from the USDA Web Soil Survey and is presented as the attached USDA Soils Survey Map.

## Subsurface Investigation:

**Field Exploration Program** – Our site exploration program during this phase of the project consisted of performing one (1) hand auger boring to an approximate depth of 6 feet below the existing ground surface, and one (1) Usual Open-Hole Test at an approximate depth of 5 feet below the existing ground surface, within the general vicinity of the proposed stormwater improvements.

The approximate location of the boring is illustrated on a reproduction of an aerial photograph and is presented as the attached Boring Location Plan. This location was determined in the field by estimating distances from existing site features and other points of reference and should be considered accurate only to the degree implied by the method of measurement used. If a more accurate boring location is required, we recommend that the location be surveyed by a licensed surveyor.

**General Soil Profile** – The stratification of the boring profile represents our interpretation of the field boring log and the laboratory test results of the recovered samples. The stratification lines represent the approximate boundary between soil types. The actual transitions may be more gradual than implied.

As shown on the soil boring profile, the hand auger boring typically encountered dark brown sand in the upper 1 foot, underlain by light brown sand to the auger termination depth of 6 feet.

**Measured Groundwater Level** – The groundwater level was measured in the borehole on the day drilled, after stabilization of the downhole water level. As shown on the attached soil boring profile, groundwater was encountered at an approximate depth of 3.4 feet on the date indicated. We estimate the normal seasonal high groundwater level will be about 2.5 feet below the existing ground surface in the general vicinity of the location of our soil boring.

Fluctuations in groundwater levels should be anticipated throughout the year due to a variety of factors including tidal fluctuations due to the proximity of the site to the Indian River, as well as due to seasonal variations in the amount of rainfall, elevated tidal events, and other factors not evident at the time the boring was performed. Therefore, groundwater levels during construction or at other times in the future may be higher or lower than the levels indicated on the soil boring profiles.

## Laboratory Testing Program:

Upon completion of our field exploration activities, the field soil boring logs and recovered soil samples were transported to our soils laboratory from the project site for further review and testing. The soil classifications and other pertinent data obtained from our field explorations and laboratory observations are reported on the attached soil boring profiles. All laboratory testing was performed in general accordance with applicable laboratory standards and/or industry standards with a standard practice of care.

## Stormwater and Aquifer Parameters:

Based on the results of our exploration, the soils encountered are considered to be relatively permeable.

**Factor of Safety** – We note that a factor of safety has not been applied to the stormwater and aquifer parameters presented below. An appropriate factor of safety should be applied to these parameters for use in the stormwater design.

**Field Test Results** – At the test location, a Usual Condition Test was performed in general conformance with the South Florida Water Management District procedures for the ‘Usual Open-Hole Test’ method. The results of this test is presented in the table below.

Field Test Results – Estimated Soil Parameters			
Test Location (See Location Plan)	Approximate Test Depth (ft)	Hydraulic Conductivity (CFS/SF- Ft Head)	Hydraulic Permeability (ft/day)
HA-1	5	$1.3 \times 10^{-3}$	33.9

**Vertical Flow Rates** – We consider the measured permeability rate to be indicative of a saturated horizontal permeability. Our experience and published references have indicated that unsaturated vertical permeability as used in some locally available groundwater models is typically about 1/2 to 2/3 the saturated horizontal value.

**Hydrologic Soil Group (HSG) Classification and Estimated Fillable Porosity** – The HSG classification was estimated based on our interpretation of the estimated aquifer parameters at the time of our investigation and guidance provided by the USDA National Engineering Handbook. KSM has estimated the fillable porosity of the soils above the estimated wet season water table.

HSG and Estimated Fillable Porosity		
Location	HSG	Fillable Porosity
HA-1	A	30%

### Closure:

Based upon our subsurface investigation at the above-mentioned project location, the reliance of the recommendations presented within this signed and sealed report is predicated on KSM representative’s involvement in reviewing design plans and performing/monitoring construction testing services. Any design professional utilizing the information within this report are responsible for confirming the accuracy of the project information and assumptions stated in our report and that the soil parameters presented are adequate for the design of the proposed project. If additional parameters are required, KSM is to be notified so that our recommendations can be amended as required.

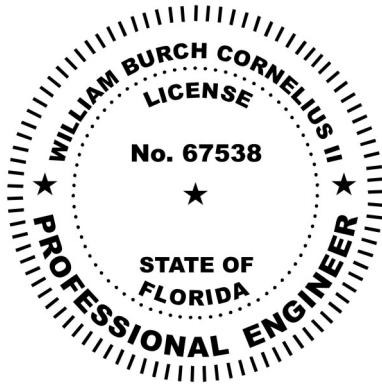
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Respectfully,  
**KSM Engineering & Testing**



Will B. Cornelius II, P.E.  
Principal Engineer  
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Attachments:      USDA Soil Survey Map  
                         Boring Location Plan  
                         Soil Boring Profile

Email to:            Mr. Corey Runte - [CRunte@gmail.com](mailto:CRunte@gmail.com)  
                         Ms. Erin Trauger, P.E. - [erin.trauger@gmail.com](mailto:erin.trauger@gmail.com)



## USDA SOILS SURVEY

**25—Canaveral-Palm Beach-Urban land complex**  
**72—Welaka sand**

PROJECT: 1806 Pine Street, Melbourne Beach, Florida

SHEET 1 OF 1

PERMIT #: N/A

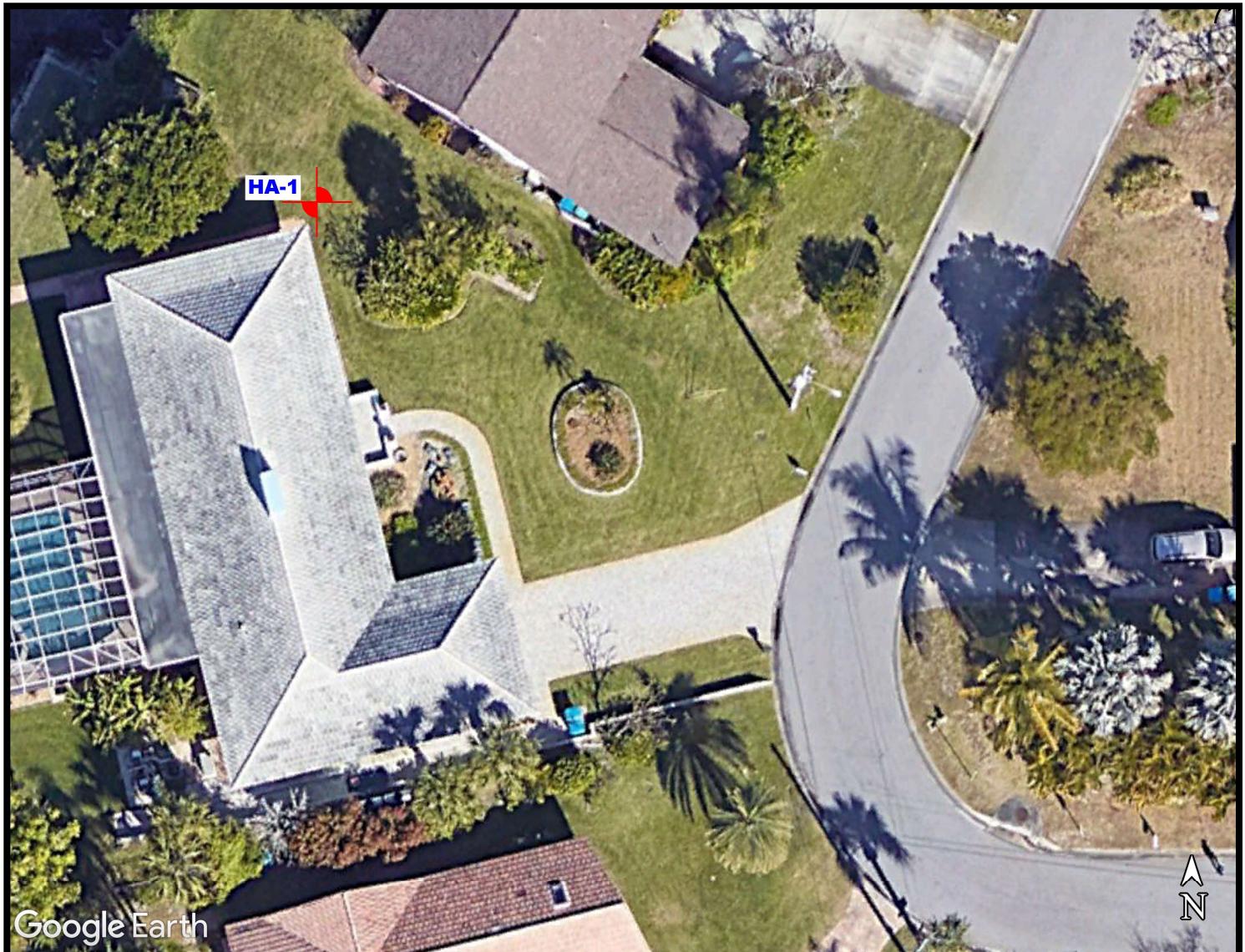
PROJECT #: 2507322-soils

**KSM** ENGINEERING  
AND TESTING

DRAWN BY: C.V.

DATE: 20251111

SCALE: NOT TO SCALE



## APPROXIMATE LOCATION OF SOIL TESTING

PROJECT: 1806 Pine Street, Melbourne Beach, Florida

SHEET 1 OF 1

PERMIT #: N/A

PROJECT #: 2507322-b

**KSM** ENGINEERING  
AND TESTING

DRAWN BY: C.V.

DATE: 20251111

SCALE: NOT TO SCALE



CLIENT Melbeach Investments, LLC  
PROJECT NUMBER 2507322-b  
DATE STARTED 11/10/25 COMPLETED 11/10/25  
DRILLING CONTRACTOR \_\_\_\_\_  
DRILLING METHOD Auger Boring  
LOGGED BY CH  
NOTES See Attached Location Plan

PROJECT NAME 1806 Pine Street  
PROJECT LOCATION Melbourne Beach, Florida  
GROUND ELEVATION \_\_\_\_\_  
GROUND WATER LEVELS:  
▽ AT TIME OF DRILLING 3.4 ft

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			15						
			15						
			20						
5			30						

Bottom of borehole at 6.0 feet.

## **Planning and Zoning Meeting**

**Section:** **New Business**

**Meeting Date:** **January 6, 2026**

**From:** **Building Department**

**RE:** **Site Plan Approval for 2003 Oak St. – Addition**

### **Background Information:**

The Town received plans for an addition to the home at 2003 Oak St.

### **Recommendation:**

Approve the site plan for 2003 Oak St.

### **Attachments:**

- Town Planner Letter – Pages 74-76
- Development Application – Pages 77-80
- Project Narrative – Pages 81-83
- Statement of Estimated Construction Cost – Page 84
- Residential Appraisal – Pages 85-90
- Original Plans and Survey – Pages 91-95

## Site Plan Review

### Applicable Codes:

**Town of Melbourne Beach Land Development Code**  
**Current Florida Building Code**

<b>Date:</b>	<b>January 6, 2026</b>
<b>Owner:</b>	<b>Frederic and Amanda Sax</b>
<b>Owner Address:</b>	<b>2003 Oak Street, Melbourne Beach, FL 32951</b>
<b>Site Address:</b>	<b>2003 Oak Street, Melbourne Beach, FL 32951</b>
<b>Parcel ID:</b>	<b>28-38-08-50-*-1</b>
<b>Zoning:</b>	<b>2RS</b>
<b>Proposed Project:</b>	<b>Addition of +/- 558 SF Bedroom and +/- 70 SF porch to existing single-family home</b>
<b>References:</b>	<b>Town of Melbourne Beach Code of Ordinances:  7A-32 Single-Family Residential District  7A-51.1, Site Plan Approval For Single-Family Residential Districts</b>
<b>Request:</b>	<b>Site Plan Approval in Accordance with 7A-51.1</b>
<b>Staff Review:</b>	<b>The property lies in Zoning District 2RS</b>

- 1) Project is a +/- 628 SF addition to a single-family home as a principal residence.
- 2) The Building Lot Zoning District requirements of min. lot area, width and depth.  
Lot area is 20,000 sq. ft. (min. 11,250 sq. ft.)  
Lot width is 100 ft. (min. 90 ft.)  
Lot depth is 200 ft. (min. 100 ft.)
- 3) Lot coverage has a maximum of 30% for principal structure.  
Lot coverage per plan is 18.3%  
Footprint of Primary Structure is 3,660 sq. ft. with the addition.  
Max allowed for Primary Structure is 6,000 sq. ft. for Lot Area of 20,000 sq. ft.  
Minimum pervious area per lot is 30%. Pervious area is +/- 64.48% (see attached calculation).
- 4) Structure maximum height for zoning district is 28 ft.  
The proposed height provided is 13' 2 5/8" from FFE.  
Flood Zone: X

5) Zoning District Setback requirements:

Proposed Primary Structure Front Setback: +/-70 ft. (min. 25 ft.)

Proposed Primary Structure Rear Setback: +/-46' 9" ft. (min. 25 ft.)

Proposed Primary Structure West Side Setback: 15 ft. (min. 15 ft.)

Proposed Primary Structure East Side Setback 15 ft. (min. 25 ft.)

6) Sediment and Erosion control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.

7) On-site Storm water Retention Control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.

8) Town Engineer will submit a review of the drainage plan per Ordinance 2019-06. The Town Engineer will require a final inspection before a Certificate of Occupancy will be issued. This applies to new home construction and construction values greater than 50% of the existing structure. Minimum landscaping standards will be met.

Based on the above review, I find the proposed site plan for the referenced property is in compliance with The Town of Melbourne Beach Code of Ordinances.



Corey W. O'Gorman  
Town Planner

### **2003 Oak Street**

<b>IMPERVIOUS</b>		<b>PERVIOUS</b>	
Primary Structure	3,660	Open areas	12,896
Pool	924		
Decks	420		
Driveway	1,800		
Accessory Bldg	100		
Concrete areas	200		
Total Paved Area	7,104		
Total Lot Area	20,000	Total Lot Area	20,000
<b>% IMPERVIOUS</b>	<b>35.52%</b>	<b>% PERVIOUS</b>	<b>64.48%</b>

**Note:** The figures above are based on the plans dated 10-28-2025 and the accompanying calculations prepared by melD studio Architecture, and take-off approximations by the Town Planner using the plans provided.



## TOWN OF MELBOURNE BEACH DEVELOPMENT APPLICATION

### **I. SUBMITTAL REQUIREMENTS:**

1. Fees per current schedule.
2. Deed to property.
3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting.
4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

### **II. REQUEST:**

<input type="checkbox"/> Land Use Plan Amendment <input type="checkbox"/> Special Exception <input type="checkbox"/> Variance <input checked="" type="checkbox"/> Site Plan Review Single Family (1RS, 2RS, 3RS) <input type="checkbox"/> Site Plan Review Commercial (6B, 7C, 8B, 9I)	<input type="checkbox"/> Rezoning <input type="checkbox"/> Coastal Construction Variance <input type="checkbox"/> Appeal (Application must be filed within 30 days) <input type="checkbox"/> Site Plan Review Multifamily (4RM, 5RMO) <input type="checkbox"/> Amendment to the Land Development Code <input type="checkbox"/> Other (specify) _____
--	---

### **III. PROPERTY INFORMATION:**

General Location: 2003 Oak Street, Melbourne Beach, FL 32951

Address: 2003 Oak Street, Melbourne Beach, FL 32951

Parcel Number(s): 28-38-08-50-\*-1

Area (in acreage): 0.46      Area (in square feet): 20,037.6 sq ft

Current Zoning: 2RS - SINGLE FAMILY      Proposed Zoning: 2RS - SINGLE FAMILY

Current Future Land Use: 0110 - SINGLE FAMILY RESIDENCE      Proposed Future Land Use: 0110 - SINGLE FAMILY RESIDENCE

Brief Description of Application: SMALL ADDITION TO AN EXISTING SINGLE-FAMILY RESIDENCE.

Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable): \_\_\_\_\_

IV. APPLICANT INFORMATION:

## Property Owner

Name: Frederic L Sax  
 Address: 2003 Oak Street,  
Melbourne Beach, FL 32951

Phone: 610-764-7560  
 Fax: \_\_\_\_\_  
 Email: drrsax@me.com

## Applicant (if other than property owner)

Name: Jeffrey Anderson  
 Address: 1542 Guava Ave  
Unit A, Melbourne, FL  
32935

Phone: 321-428-3869  
 Fax: N/A  
 Email: Jeff@meidarch.com

V. OWNER AUTHORIZATION:\*

The undersigned hereby affirms the following:

1. That I/we are the fee simple title owner/contract purchaser (circle one) of the property described in this application.
2. That I/we have read and understands the entire application and concurs with the request.
3. That I/we have appointed the Applicant to represent the application, and empowers the Applicant to accept any and all conditions of approval imposed by the Town of Melbourne Beach.

Signature: Frederic L Sax

Date: Oct. 27, 2025

Print Name: FREDERIC L. SAX

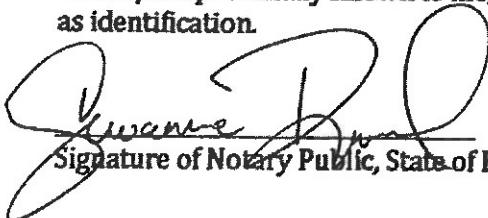
Title: OWNER

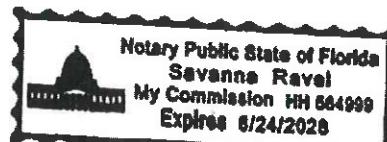
\*Must sign in front of notary.

State of Florida

County of Brevard.

The foregoing application is acknowledged before me  
 this 17<sup>th</sup> day of October, 2025, by Frederic Sax  
 who is/are personally known to me, or who has/have produced Drivers License  
 as identification.

  
 Signature of Notary Public, State of Florida



VI. APPLICANT CERTIFICATION:\*

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

Signature: Jeffrey K. Anderson

Date: 10/28/2025

Print Name: Jeffrey K. Anderson

Title: Architect

\*Must sign in front of notary.

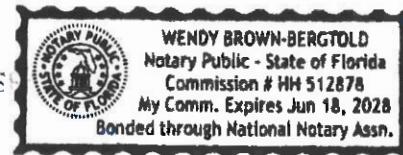
State of Florida

County of Brevard.

The foregoing application is acknowledged before me this 28 day of October, 2025, by Jeffrey Anderson, who is/are personally known to me, or who has/have produced or as identification.

W. G. Brown - B.A.

Signature of Notary Public, State of Florida

VII. PROJECT DESCRIPTION:

Describe Application: Please see the attached description.

Provide attachment if more space is needed.

Describe Existing Conditions: The house is an existing single-story residence with a two-car garage.

Provide attachment if more space is needed.

### Site Plan for Single Family Development

A site plan must be reviewed and evaluated by the Town Engineer, Building Official and or Zoning Official and Planning and Zoning Board and approved by the Town Commission. The applicant shall provide the following in support of their application for site plan approval of a single family home:

- ✓ 1. Narrative description of proposed improvements and demolitions.
2. Two (2) Sealed Surveys of the existing conditions prepared by a professional surveyor. All elevations should be NGVD/DAVD or Comparable for FEMA reference. (Include Lot Dimensions, Square footage & Coverage Percentage)
  - a. All existing structures (including but not limited to outbuildings, sheds, pools, etc), major features, trees and fences shall be fully dimensioned, including the height of all structures and the distance between principal and accessory structures on site and the distance between structures and driveways, and property or lot lines.
3. Two (2) Professionally prepared plans in compliance with Ordinance 2019-06 showing the following:
  - a. Name, location, owner, and designer of the proposed development and the intended use
  - b. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties
  - c. Date, north arrow, and graphic scale (not less than one inch equals 20 feet)
  - d. Location of all property lines, existing streets adjacent to the subject property, easements, as well as proposed driveways and general lot layout
  - e. All existing and/or proposed structures, major features, and fences shall be fully dimensioned, including the height of all structures and the distance between principal and accessory structures on site and the distance between structures and driveways, and property or lot lines
  - f. Site data providing all information needed to confirm compliance with zoning regulations including "required" and "provided" information:
    - i. Proposed principal use and/or any proposed accessory uses
    - ii. Lot size and dimensions
    - iii. Lot coverage
    - iv. Proposed living area square footage (e.g., square footage under air), and square footage of any other spaces including garage, covered entries, covered porches, screen rooms, etc.
    - v. Number of enclosed parking spaces
    - vi. Setbacks from all property lines
    - vii. Number of stories
    - viii. Height of structure
    - ix. Floor plan – a fully dimensioned floor plan shall be provided depicting all existing and/or proposed spaces corresponding to the square footages on the site data breakdown above.
    - x. Architectural elevations of each building façade professionally prepared plan drawn to scale and depicting the height dimension of the proposed structure, construction, or expansion or redevelopment thereof.
    - xi. Landscaping & irrigation plan
4. Drainage Site Plan showing flow paths and retention areas to meet certification requirements. (3A-80 & 7A-51.1)
5. Ten (10) 11X17 Complete sets of plans (all information as outlined in item 3 above) including a copy of the survey both existing and proposed and the Drainage Site Plan.

## Frederic and Amanda Sax Residence

2003 Oak Street, Melbourne Beach, FL 32951



### Client Information:

Frederic Sax  
Amanda Sax

### Project Information:

2003 Oak Street, Melbourne Beach, FL 32951  
Lot: 26  
Parcel Number: 28-38-08-50-\*-1





ARCHITECTURE

**Architect:**

MelD Studio Architecture, LLC  
 Jeffrey K. Anderson, Architect  
 1542 Guava Ave. Unit A  
 Melbourne, FL 32935  
 321-403-9295

**Structural Engineer:**

MK Structural Engineering  
 Michael Kalajian, PE  
 587 W. Eau Gallie Blvd. Suite #201  
 Melbourne FL 32935  
 321-574-2702

**Project Narrative:**

MelD Studio Architecture and Frederick and Amanda Sax propose to expand their existing single-family residence located at 2003 Oak Street, Melbourne Beach, Florida. The project includes an addition to the existing one-story home, extending the footprint to create a new primary bedroom suite with two closets and a custom bathroom.

The design maintains the character of the existing residence while enhancing comfort and function. The new owner's suite features a covered porch near the pool, a tongue-and-groove tray ceiling, and a bathroom with a large walk-in shower, window seat, and dual sinks.

Architecturally, the addition complements the existing home through consistent materials and detailing, creating a seamless transition between old and new. The residence is located on the north side of Oak Street, just east of Cherry Drive, and the design continues the architectural language and scale consistent with the Melbourne Beach neighborhood.

**General Location:**

The property is located on the north side of Oak Street, just east of the intersection with Cherry Drive, in Melbourne Beach, Florida.

**General Lot Information:**

Area (in acreage): 0.46

Area (in square feet): 20,037.6 square feet

Set Back Lines:

Front:	25'-0"
Side Interior:	15'-0"
Rear:	25'-0"



Zoning Classification: 2 R-S - Single Family Residential

Lot Dimension: 100' x 200' x 100' x 200'

**General Project Information:**

Proposed Principal Use: Single-Family Residence (Addition to Existing One-Story Home)

Number of Stories: 1 story

Garage Spaces: 2 car

Max Building Height: 28'

Lot Coverage:

Principal Lot Coverage: 18.3% (3,659.74 sq. ft.)

Existing Conditioned Square Feet: 2,071 sq. ft.

Existing Front Porch: 101 sq. ft.

Existing Back Porch: 360 sq. ft.

Existing Garage: 500 sq. ft.

New Conditioned Square Feet: 557.62 sq. ft.

New Covered Porch: 70.12 sq. ft.

Total Project Square Feet: 3,659.74 sq. ft.

**BC Reno Group LLC**  
 2740 Business Center Blvd, # 25  
 Melbourne, FL 32940



**Subject:** Formal Statement of Estimated Construction Cost – Sax Residence

**Date:** October 24, 2025

**Permit Number:** \_\_\_\_\_ (TBD)

**Authority / Jurisdiction:** Town of Melbourne Beach

**Contractor License Number:** CRC1332660

**Contractor Name:** Chad A. Giesen

**Property Address:** 2003 Oak Street, Melbourne Beach, FL 32951

**To:** Town of Melbourne Beach – Planning & Zoning Board

**Re:** Estimated Construction Cost – Residential Addition/Expansion

Dear Members of the Planning & Zoning Board,

Pursuant to the preliminary architectural drawings prepared by *MelD Architecture Studio* and based upon a review of all parameters pertinent to the proposed addition and expansion of the single-family residence located at the address referenced above, *BC Reno Group* has prepared the following formal estimate of construction cost:

**Estimated Total Construction Cost: ≤ \$160,000.00**

This estimate reflects the anticipated cost of labor, materials, and associated expenses required to complete the scope of work as depicted in the preliminary architectural plans.

Should any further clarification, supporting documentation, or adjustments to this estimate be required, please direct all correspondence to the undersigned at the contact information provided below.

Respectfully,

**Chad A. Giesen**

Owner – BC Reno Group LLC  
 Florida Certified Residential Contractor  
 License No. CRC1332660  
 Phone: (321) 288-6909  
 Email: chad@bcrenogroup.com

COSTON APPRAISAL & RESEARCH, INC.  
26 NELSON AVENUE  
MELBOURNE, FL 32935  
(321) 768-0370  
<http://WWW.COSTONAPPRAISAL.COM>

10/08/2025

FREDERIC L. SAX  
2003 OAK STREET  
MELBOURNE BEACH, FL 32951

Re: Property: 2003 Oak St  
Melbourne Beach, FL 32951  
Borrower: N/A  
File No.: 2003 OAK ST

Opinion of Value: \$ 875,000, ALSO SEE ADDENDUM FOR EXTRACTION OF DWELLING  
Effective Date: 10/03/2025

In accordance with your request, we have appraised the above referenced property. The report of that appraisal is attached.

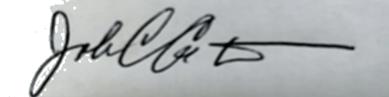
The purpose of the appraisal is to develop an opinion of market value for the property described in this appraisal report, as improved, in unencumbered fee simple title of ownership.

This report is based on a physical analysis of the site and improvements, a locational analysis of the neighborhood and city, and an economic analysis of the market for properties such as the subject. The appraisal was developed and the report was prepared in accordance with the Uniform Standards of Professional Appraisal Practice.

The opinion of value reported above is as of the stated effective date and is contingent upon the certification and limiting conditions attached.

It has been a pleasure to assist you. Please do not hesitate to contact me or any of my staff if we can be of additional service to you.

Sincerely,



JOHN C. COSTON  
MRA  
License or Certification #: CERT RES RD2803  
State: FL Expires: 11/30/2026  
[JCOSTON@CFL.RR.COM](mailto:JCOSTON@CFL.RR.COM)

## RESIDENTIAL APPRAISAL SUMMARY REPORT

SUBJECT ASSIGNMENT MARKET AREA DESCRIPTION SITE DESCRIPTION DESCRIPTION OF THE IMPROVEMENTS	Property Address: 2003 Oak St			City: Melbourne Beach			State: FL Zip Code: 32951		
	County: BREVARD			Legal Description: BEACH ESTATES LOT 1 PB 19 PG 57			Assessor's Parcel #: 28-38-08-50-*-1		
	Tax Year: 2024 R.E. Taxes: \$ 6,702			Special Assessments: \$			Borrower (if applicable): N/A		
	Current Owner of Record: FREDERIC & AMANDA J. SAX			Occupant: <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant <input type="checkbox"/> Vacant			<input type="checkbox"/> Manufactured Housing		
	Project Type: <input type="checkbox"/> PUD <input type="checkbox"/> Condominium <input type="checkbox"/> Cooperative			<input type="checkbox"/> Other (describe)			HOA: \$ 0 <input type="checkbox"/> per year <input type="checkbox"/> per month		
	Market Area Name: BEACH ESTATES			Map Reference: 37340			Census Tract: 0661.01		
	The purpose of this appraisal is to develop an opinion of: <input checked="" type="checkbox"/> Market Value (as defined), or <input type="checkbox"/> other type of value (describe)								
	This report reflects the following value (if not Current, see comments): <input checked="" type="checkbox"/> Current (the Inspection Date is the Effective Date) <input type="checkbox"/> Retrospective <input type="checkbox"/> Prospective								
	Approaches developed for this appraisal: <input checked="" type="checkbox"/> Sales Comparison Approach <input type="checkbox"/> Cost Approach <input type="checkbox"/> Income Approach (See Reconciliation Comments and Scope of Work)								
	Property Rights Appraised: <input checked="" type="checkbox"/> Fee Simple <input type="checkbox"/> Leasehold <input type="checkbox"/> Leased Fee <input type="checkbox"/> Other (describe)								
Intended Use: DETERMINE MARKET VALUE FOR INTERNAL DECISION MAKING TO SUBMIT TO THE TOWN P & Z BOARD.									
Intended User(s) (by name or type): FREDERIC L. SAX, NO OTHER INTENDED USERS									
Client: FREDERIC L. SAX			Address: 2003 OAK STREET, MELBOURNE BEACH, FL 32951						
Appraiser: JOHN C. COSTON			Address: 26 NELSON AVENUE, MELBOURNE, FL 32935						
Location: <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural Built up: <input checked="" type="checkbox"/> Over 75% <input type="checkbox"/> 25-75% <input type="checkbox"/> Under 25% Growth rate: <input type="checkbox"/> Rapid <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Slow Property values: <input type="checkbox"/> Increasing <input type="checkbox"/> Stable <input checked="" type="checkbox"/> Declining Demand/supply: <input type="checkbox"/> Shortage <input checked="" type="checkbox"/> In Balance <input type="checkbox"/> Over Supply Marketing time: <input type="checkbox"/> Under 3 Mos. <input checked="" type="checkbox"/> 3-6 Mos. <input type="checkbox"/> Over 6 Mos.				Predominant Occupancy <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant		One-Unit Housing PRICE: \$300 AGE: 0 2-4 Unit: 6,500 Multi-Unit: 6,500 Comm'l: 850 Pred: 35		Present Land Use One-Unit: 80% 5% 10% 2-4 Unit: * To: Multi-Unit: 5% Comm'l: %	
Market Area Boundaries, Description, and Market Conditions (including support for the above characteristics and trends): THE SUBJECT PROPERTY IS LOCATED EAST OF INDIAN RIVER, WEST OF THE ATLANTIC OCEAN SOUTH OF FIFTH AVE, INDIALANTIC AND NORTH OF SPESSARD HOLLAND G.C.. THE CURRENT MARKET CONDITIONS APPEAR TO BE MOSTLY STABLE WITH RECENT DECREASE THIS PAST QUARTER. MOST HOMES THAT ARE APPROPRIATELY LISTED FOR SALE WILL SELL IN 3-6 MOS., AND EXPOSURE TIME APPEARS TO BE THE SAME. THE SUBJECT COMMUNITY INCLUDES MIDRISE CONDOS, CLUSTER TOWNHOMES, SINGLE STORY AND TWO STORY TOWNHOMES, AS WELL AS DETACHED SINGLE FAMILY HOMES LIKE THE SUBJECT. THE DETACHED HOME IS THE MOST COMMON WITHIN THE SUBJECT IMMEDIATE NEIGHBORHOOD.									
Dimensions: 100 X 200				Site Area: 20,000 sf					
Zoning Classification: 2RS				Description: SINGLE FAM. RESIDENTIAL					
Zoning Compliance: <input checked="" type="checkbox"/> Legal				<input type="checkbox"/> Legal nonconforming (grandfathered) <input type="checkbox"/> Illegal <input type="checkbox"/> No zoning					
Are CC&Rs applicable? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown				Have the documents been reviewed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
Highest & Best Use as improved: <input checked="" type="checkbox"/> Present use, or <input type="checkbox"/> Other use (explain)									
Actual Use as of Effective Date: SFR				Use as appraised in this report: SFR					
Summary of Highest & Best Use: THE SUBJECT USE OF SFR IS THE HIGHEST AND BEST USE, AND MEETS THE FOLLOWING FOUR CRITERIA: FINANCIALLY FEASIBLE, LEGALLY PERMISSABLE, PHYSICALLY POSSIBLE, AND MEETS THE MAXIMUM PRODUCTIVITY.									
Utilities			Public Other		Provider/Description		Off-site Improvements		
Electricity			<input checked="" type="checkbox"/>				Type: ASPHALT		
Gas			<input type="checkbox"/>				Public: <input checked="" type="checkbox"/> Private: <input type="checkbox"/>		
Water			<input checked="" type="checkbox"/>				Topography: TYPICAL		
Sanitary Sewer			<input checked="" type="checkbox"/>				Size: TYPICAL		
Storm Sewer			<input type="checkbox"/>				Shape: RECTANGULAR		
Other site elements: <input checked="" type="checkbox"/> Inside Lot <input type="checkbox"/> Corner Lot <input type="checkbox"/> Cul de Sac <input checked="" type="checkbox"/> Underground Utilities <input type="checkbox"/> Other (describe)							Drainage: APPEARS ADEQUATE		
FEMA Spec'l Flood Hazard Area			<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		FEMA Flood Zone: X		View: TYP. NEIGH.		
FEMA Map #			12009C0616H		FEMA Map Date		1/29/2021		
Site Comments: THE SUBJECT PROPERTY CONFORMS TO THE NEARBY HOMES, AND FALLS WITHIN RANGE OF NEIGHBORHOOD SIZE AND PRICING.									
General Description			Exterior Description			Foundation		Basement	
# of Units 1 <input type="checkbox"/> Acc.Unit			Foundation: SLAB			Slab: YES		<input checked="" type="checkbox"/> None	
# of Stories 1			Exterior Walls: BRK/FRM/ST			Crawl Space: NONE		Area Sq. Ft. % Finished	
Type <input checked="" type="checkbox"/> Det. <input type="checkbox"/> Att. <input type="checkbox"/>			Roof Surface: SHINGLE			Basement: NONE		Ceiling	
Design (Style) RANCH			Gutters & Dwnspts: YES			Sump Pump: <input type="checkbox"/>		Walls	
<input checked="" type="checkbox"/> Existing <input type="checkbox"/> Proposed <input type="checkbox"/> Und.Cons.			Window Type: AL. SLIDERS			Dampness: <input type="checkbox"/>		Floor	
Actual Age (Yrs.) 60			Storm/Screens: PER CODE			Settlement: NONE NTD		Outside Entry	
Effective Age (Yrs.) 20						Infestation: NONE NTD			
Interior Description			Appliances			Amenities		Car Storage	
Floors: VINYL			Refrigerator: <input checked="" type="checkbox"/> Stairs: <input type="checkbox"/> None			Fireplace(s) #: <input type="checkbox"/> Woodstove(s) #:		<input type="checkbox"/> None	
Walls: DW			Range/Oven: <input checked="" type="checkbox"/> Drop Stair: <input type="checkbox"/> Patio: <input type="checkbox"/> PATIO					Garage: # of cars ( 2 Tot.)	
Trim/Finish: WD			Disposal: <input checked="" type="checkbox"/> Scuttle: <input checked="" type="checkbox"/> Deck: <input type="checkbox"/>					Attach. 2	
Bathtub: CT/CONC/WD			Dishwasher: <input checked="" type="checkbox"/> Doorway: <input type="checkbox"/> Porch: <input type="checkbox"/> PORCH					Detach.	
Bath Wainscot: CT			Fan/Hood: <input checked="" type="checkbox"/> Floor: <input type="checkbox"/> Fence: <input type="checkbox"/> FENCE					Bit-In	
Doors: HC WD/SC FIBR/WD			Microwave: <input checked="" type="checkbox"/> Heated: <input type="checkbox"/> Pool: <input type="checkbox"/> SCR POOL					Carport: 0	
Washer/Dryer: <input checked="" type="checkbox"/>			Finished: <input checked="" type="checkbox"/>					Driveway: X OPEN	
Finished area above grade contains: 7 Rooms			4 Bedrooms			2 Bath(s)		Surface: CONC/GD	
						2,091 Square Feet of Gross Living Area Above Grade			
Additional features: SCR ING POOL									
Describe the condition of the property (including physical, functional and external obsolescence): THE SUBJECT PROPERTY WAS IN GOOD CONDITION AT THE TIME OF VISIT ON 10/01/2025. THERE WAS NO FUNCTIONAL, NOR EXTERNAL OBSOLESCENCE. THE APPRAISER IS NOT A HOME INSPECTOR AND IT IS BEYOND THE SCOPE OF THE APPRAISAL TO TEST AND INSPECT MECHANICAL SYSTEMS, THE APPRAISAL IS COMPLETED UNDER THE ASSUMPTION THE MECHANICAL SYSTEMS ARE IN WORKING ORDER. THE APPRAISER RATES THE HOME "OVERALL" AND BASED ON THE VISIT THE SUBJECT IS DEEMED GOOD CONDITION.									

# RESIDENTIAL APPRAISAL SUMMARY REPORT

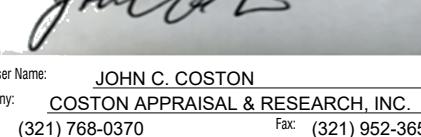
2003 OAK ST  
File No.: 2003 OAK ST

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TRANSFER HISTORY	<p>My research <input checked="" type="checkbox"/> did <input type="checkbox"/> did not reveal any prior sales or transfers of the subject property for the three years prior to the effective date of this appraisal.</p> <p>Data Source(s): <b>TAX ASSESSMENT RECORDS, MLS</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;">1st Prior Subject Sale/Transfer</td> <td colspan="9" style="padding: 5px;">Analysis of sale/transfer history and/or any current agreement of sale/listing: <b>THE SUBJECT HAS HAD A TRANSFER IN THE PAST THREE YEARS AS MENTIONED ABOVE. THE SIGNING APPRAISER HAS NOT COMPLETED ANY SERVICES, APPRAISAL OR OTHERWISE ON THE SUBJECT PROPERTY IN THE PAST THREE YEARS. SUBJECT IS NOT LISTED IN THE MLS, AND NOT LISTED FOR SALE ON THE INTERNET.</b></td> </tr> <tr> <td>Date: 3/28/2025</td> <td colspan="9"></td> </tr> <tr> <td>Price: 885,000</td> <td colspan="9"></td> </tr> <tr> <td>Source(s): MLS/CNTY RECORDS</td> <td colspan="9"></td> </tr> <tr> <td>2nd Prior Subject Sale/Transfer</td> <td colspan="9"></td> </tr> <tr> <td>Date:</td> <td colspan="9"></td> </tr> <tr> <td>Price:</td> <td colspan="9"></td> </tr> <tr> <td>Source(s):</td> <td colspan="9"></td> </tr> </table>										1st Prior Subject Sale/Transfer	Analysis of sale/transfer history and/or any current agreement of sale/listing: <b>THE SUBJECT HAS HAD A TRANSFER IN THE PAST THREE YEARS AS MENTIONED ABOVE. THE SIGNING APPRAISER HAS NOT COMPLETED ANY SERVICES, APPRAISAL OR OTHERWISE ON THE SUBJECT PROPERTY IN THE PAST THREE YEARS. SUBJECT IS NOT LISTED IN THE MLS, AND NOT LISTED FOR SALE ON THE INTERNET.</b>									Date: 3/28/2025										Price: 885,000										Source(s): MLS/CNTY RECORDS										2nd Prior Subject Sale/Transfer										Date:										Price:										Source(s):									
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	<b>SALES COMPARISON APPROACH TO VALUE (if developed)</b>																																																																																									
FEATURE		SUBJECT		COMPARABLE SALE # 1			COMPARABLE SALE # 2			COMPARABLE SALE # 3																																																																																
Address		2003 Oak St Melbourne Beach, FL 32951		250 Pompano Dr Melbourne Beach, FL 32951			320 Amberjack Pl Melbourne Beach, FL 32951			217 Cherry Dr Melbourne Beach, FL 32951																																																																																
Proximity to Subject				0.49 miles SE			0.63 miles SE			0.09 miles NE																																																																																
Sale Price		\$		\$ 850,000			\$ 925,000			\$ 830,000																																																																																
Sale Price/GLA		\$ /sq.ft.		\$ 409.05 /sq.ft.			\$ 380.97 /sq.ft.			\$ 395.61 /sq.ft.																																																																																
Data Source(s)				MLS/P.R./DOM:30			MLS/P.R./DOM 14			MLS/P.R./FSBO																																																																																
Verification Source(s)				INT OBS./MLS1038059			INTOBS./MLS1044918			INT. OBS./P.R.																																																																																
VALUE ADJUSTMENTS		DESCRIPTION		DESCRIPTION		+(-) \$ Adjust.		DESCRIPTION		+(-) \$ Adjust.																																																																																
Sales or Financing		CASH		CONV				CONV.																																																																																		
Concessions				10000				-10,000																																																																																		
Date of Sale/Time		4/11/2025		0 6/18/2025				0 06/11/2025																																																																																		
Rights Appraised		Fee Simple		FEE SIMPLE				FEE SIMPLE																																																																																		
Location		AVERAGE		AVERAGE				AVERAGE																																																																																		
Site		.46 ACRE		.37 ACRE		+25,000		.31 ACRE		+25,000																																																																																
View		TYP. NEIGH.		TYP. NEIGH.				TYP. NEIGH.																																																																																		
Design (Style)		RANCH		RANCH				RANCH																																																																																		
Quality of Construction		AVERAGE		AVERAGE				AVERAGE		0																																																																																
Age		64		47				0 40		46																																																																																
Condition		GOOD		GOOD				GOOD																																																																																		
Above Grade		Total	Bdrms	Baths	Total	Bdrms	Baths	Total	Bdrms	Baths																																																																																
Room Count		7	4	2	7	3	2	0	8	5	2																																																																															
Gross Living Area		2,091 sq.ft.		2,078 sq.ft.				0 2,428 sq.ft.		-50,600 2,098 sq.ft.																																																																																
Basement & Finished		NONE		NONE				NONE		NONE																																																																																
Rooms Below Grade																																																																																										
Functional Utility		ADEQUATE		ADEQUATE				ADEQUATE		ADEQUATE																																																																																
Heating/Cooling		CENTRAL		CENTRAL				CENTRAL		CENTRAL																																																																																
Energy Efficient Items		TYPICAL		TYPICAL				TYPICAL		TYPICAL																																																																																
Garage/Carport		2-GARAGE		2-GARAGE				2-GARAGE		2-GARAGE																																																																																
Porch/Patio/Deck		PORCH		PORCH				PORCH		PORCH																																																																																
ING. POOL		YES		YES				YES		YES																																																																																
Net Adjustment (Total)				<input checked="" type="checkbox"/> + <input type="checkbox"/> - \$ 25,000				<input type="checkbox"/> + <input checked="" type="checkbox"/> - \$ -35,600		<input checked="" type="checkbox"/> + <input type="checkbox"/> - \$ 40,000																																																																																
Adjusted Sale Price of Comparables				\$ 875,000				\$ 889,400		\$ 870,000																																																																																
<p>Summary of Sales Comparison Approach</p> <p>WE HAVE USED THREE RECENT COMPS. ALL WITHIN A MILE OF THE SUBJECT AND LOCATED IN MELBOURNE BEACH. THE SUBJECT IS A NON-POOL HOME, THAT HAS BEEN RECENTLY RENOVATED. THE SUBJECT IS SIMILAR IN CONDITION TO COMPS. 2 AND 3, YET THOSE ARE BOTH POOL HOMES, WHILE COMP. 1 IS IN ITS MOSTLY ORIGINAL CONDITION AND ADJUSTED AT 18%. THE MARKET HAS REMAINED VERY STABLE THE PAST FEW YEARS WHILE ATTEMPTING TO FIND ITS EQUILIBRIUM, THE MOST RECENT STATISTICS SUGGEST A DECLINE, HOWEVER, THE AVERAGE SALES PRICES HAVE BEEN ROLLER COASTERING MONTH TO MONTH. WE HAVE INCLUDED THE MOST RECENT MLS STATISTICS, PLEASE PAY SPECIAL ATTENTION TO AREA 384, THE SUBJECT MARKET AREA, AND "SINGLE FAMILY RESIDENCE". AS MENTIONED, THE SUBJECT IS RENOVATED AND HAS AN ADDITION TO THE REAR INCLUDED IN THIS REPORT. THE RENOVATIONS ARE GOOD QUALITY, HOWEVER, THE FLOORING IS LEFT AS TERRAZZO. THE CLIENT ATTEMPTED TO MATCH THE EXISTING ORIG. TERRAZZO, WHICH IS A DIFFICULT TASK FOR MOST MODERN DAY FLOORING SPECIALISTS, THERE WAS WHAT APPEARS LIKE SETTLEMENT (CRACKING), SHORTLY AFTER THE TERRAZZO INSTALL. THE KITCHEN COUNTERTOPS ARE AN EPOXY PRODUCT OVER PLY WOOD, WITH A SOLID SURFACE LOOK. THE SUBJECT OVERALL IS IN GOOD CONDITION, AND THE COMPS. 2 AND 3 ARE ALSO GOOD CONDITION WITH THE BULK OF THE ADJUSTMENT TO POOL, COMP. 2 AND GLA AND POOL COMP. 3. MOST WEIGHT IS GIVEN TO COMP. 2, AS IT APPEARS TO BE THE MOST SIMILAR. ALL THREE COMPS. ARE ADJUSTED FOR THE TWO CAR GARAGE VS. SINGLE GARAGE WITH CARPORT.</p>																																																																																										
<p>Indicated Value by Sales Comparison Approach \$ 875,000</p>																																																																																										

# RESIDENTIAL APPRAISAL SUMMARY REPORT

File No.: 2003 OAK ST

<b>COST APPROACH TO VALUE (if developed)</b>		<input checked="" type="checkbox"/> The Cost Approach was not developed for this appraisal.	
Provide adequate information for replication of the following cost figures and calculations.			
Support for the opinion of site value (summary of comparable land sales or other methods for estimating site value):			
<b>THE COST APPROACH IS BEYOND THE SCOPE OF THIS APPRAISAL. WE ARE COMPLETING A "SALES COMPARISON" APPROACH TO SATISFY THE CLIENT'S REQUEST TO DETERMINE THE MARKET VALUE OF THE SUBJECT PROPERTY.</b>			
COST APPROACH			
ESTIMATED <input type="checkbox"/> REPRODUCTION OR <input type="checkbox"/> REPLACEMENT COST NEW		OPINION OF SITE VALUE ----- = \$ 450,000	
Source of cost data:		DWELLING Sq.Ft. @ \$ ----- = \$	
Quality rating from cost service: Effective date of cost data:		Sq.Ft. @ \$ ----- = \$	
Comments on Cost Approach (gross living area calculations, depreciation, etc.):		Sq.Ft. @ \$ ----- = \$	
		Sq.Ft. @ \$ ----- = \$	
		Sq.Ft. @ \$ ----- = \$	
		Sq.Ft. @ \$ ----- = \$	
		Garage/Carport Sq.Ft. @ \$ ----- = \$	
		Total Estimate of Cost-New ----- = \$	
		Less Physical	Functional
		Depreciation	External
		----- = \$	
		Depreciated Cost of Improvements ----- = \$	
		"As-is" Value of Site Improvements ----- = \$	
		----- = \$	
		----- = \$	
Estimated Remaining Economic Life (if required): 58 Years		INDICATED VALUE BY COST APPROACH ----- = \$	
INCOME APPROACH TO VALUE (if developed)		<input checked="" type="checkbox"/> The Income Approach was not developed for this appraisal.	
Estimated Monthly Market Rent \$ X Gross Rent Multiplier		= \$	
Indicated Value by Income Approach			
INCOME APPROACH			
Summary of Income Approach (including support for market rent and GRM):			
PROJECT INFORMATION FOR PUDS (if applicable)		<input type="checkbox"/> The Subject is part of a Planned Unit Development.	
Legal Name of Project:			
Describe common elements and recreational facilities:			
PUD			
Indicated Value by: Sales Comparison Approach \$ 875,000 Cost Approach (if developed) \$		Income Approach (if developed) \$	
Final Reconciliation ALL WEIGHT IS AFFORDED THE SALES COMPARISON APPROACH IN THIS INSTANCE AS THIS MEETS THE INTENDED USE AND FULFILLS THE APPRAISER'S SCOPE OF WORK. NEITHER THE COST APPROACH NOR THE INCOME APPROACHES TO VALUE ARE RELEVANT TO THE APPRAISAL. THE COST APPROACH IS TYPICALLY COMPLETED ON NEW HOMES, OR HOMES NEARLY NEW, AND THE INCOME APPROACH TO VALUE IS TYPICALLY COMPLETED ON HOMES LOCATED IN PREDOMINANTLY RENTAL AREAS WHERE THE GROSS RENT MULTIPLIER HAS BEEN ESTABLISHED.			
This appraisal is made <input checked="" type="checkbox"/> "as is", <input type="checkbox"/> subject to completion per plans and specifications on the basis of a Hypothetical Condition that the improvements have been completed, <input type="checkbox"/> subject to the following repairs or alterations on the basis of a Hypothetical Condition that the repairs or alterations have been completed, <input type="checkbox"/> subject to the following required inspection based on the Extraordinary Assumption that the condition or deficiency does not require alteration or repair: _____			
RECONCILIATION			
<input type="checkbox"/> This report is also subject to other Hypothetical Conditions and/or Extraordinary Assumptions as specified in the attached addenda.			
Based on the degree of inspection of the subject property, as indicated below, defined Scope of Work, Statement of Assumptions and Limiting Conditions and Appraiser's Certifications, my (our) Opinion of the Market Value (or other specified value type), as defined herein, of the real property that is the subject of this report is: \$ 875,000, as of: 10/03/2025, which is the effective date of this appraisal. If indicated above, this Opinion of Value is subject to Hypothetical Conditions and/or Extraordinary Assumptions included in this report. See attached addenda.			
ATTACHMENTS			
A true and complete copy of this report contains 29 pages, including exhibits which are considered an integral part of the report. This appraisal report may not be properly understood without reference to the information contained in the complete report.			
Attached Exhibits:			
<input checked="" type="checkbox"/> Scope of Work		<input checked="" type="checkbox"/> Limiting Cond./Certifications	
<input checked="" type="checkbox"/> Map Addenda		<input checked="" type="checkbox"/> Additional Sales	
<input checked="" type="checkbox"/> Hypothetical Conditions		<input checked="" type="checkbox"/> Extraordinary Assumptions	
		<input checked="" type="checkbox"/> Narrative Addendum	
		<input checked="" type="checkbox"/> Photograph Addenda	
		<input checked="" type="checkbox"/> Sketch Addendum	
		<input checked="" type="checkbox"/> Cost Addendum	
		<input checked="" type="checkbox"/> Flood Addendum	
		<input checked="" type="checkbox"/> ADDENDUM	
		<input checked="" type="checkbox"/> Manuf. House Addendum	
SIGNATURES			
Client Contact: E-Mail: DRRSAX@ME.COM		Client Name: FREDERIC L. SAX	
Address: 2003 OAK STREET, MELBOURNE BEACH, FL 32951			
APPRaiser		SUPERVISORY APPRAISER (if required) or CO-APPRAISER (if applicable)	
			
Appraiser Name: JOHN C. COSTON		Supervisory or Co-Appraiser Name:	
Company: COSTON APPRAISAL & RESEARCH, INC.		Company:	
Phone: (321) 768-0370 Fax: (321) 952-3659		Phone: _____	
E-Mail: JCOSTON@CFL.RR.COM		E-Mail: _____	
Date of Report (Signature): 10/08/2025		Date of Report (Signature): _____	
License or Certification #: CERT RES RD2803 State: FL		License or Certification #: _____ State: _____	
Designation: MRA		Designation: _____	
Expiration Date of License or Certification: 11/30/2026		Expiration Date of License or Certification: _____	
Inspection of Subject: <input checked="" type="checkbox"/> Interior & Exterior <input type="checkbox"/> Exterior Only <input type="checkbox"/> None		Inspection of Subject: <input type="checkbox"/> Interior & Exterior <input type="checkbox"/> Exterior Only <input type="checkbox"/> None	
Date of Inspection: 10/03/2025		Date of Inspection: _____	

## Supplemental Addendum

File No. 2003 OAK ST

Borrower	N/A	Property Address	2003 Oak St	County	BREVARD	State	FL	Zip Code	32951
City	Melbourne Beach	Lender/Client	FREDERIC L. SAX						

### A quick recap of the Brevard County Residential Report for August 2025:

- **Closed Sales are down -2.4%** for August 2025 in which the number of units closed was 890 compared to 912 in August 2024, with an increase in cash sales of 15.5%.
- **New Pending Sales are up 2.6%** and New Listings are down -5.8%.
- **The Median Sales Price for Brevard County Single Family homes is -4.0%** to \$369,715 compared to a year ago, which was \$385,000.
- **Months' Supply of Inventory is up 12.5%** to 4.5 months, an increase from 4.0 months in August 2024.
- **Traditional Sales are down -3.2%** with a median sales price of \$370,000.
- **Foreclosure/REO Sales are up 25.0%** with 5 closed sales and a median sales price of \$335,000.
- **Short Sale Closings are N/A** with 6 closed sales and a median sales price of \$280,205.

#### **What this means:**

In Brevard County, the housing market in August 2025 shows a slight shift. Fewer homes closed compared to last year, but pending sales are up, meaning buyers are still actively shopping. The median home price has dipped slightly to \$369,715, giving buyers a bit more breathing room. Inventory has increased, offering more options, while cash buyers and investors remain active. Foreclosures and short sales are limited but may present opportunities for those looking for bargains. Overall, buyers have more choices and potential negotiating power, while sellers may need to price strategically in this evolving market.

### A quick recap of the Brevard County Townhouses/Condos for August 2025:

- **Closed Sales are up 3.2%** for August 2025 in which the number of units closed was 193 compared to 187 in August 2024, with an increase in cash sales of 14.4%.
- **New Pending Sales are down -10.7%** and New Listings are down -11.2%.
- **The Median Sales Price for Brevard County Townhouses/Condos is down -5.4%** to \$265,000 compared to a year ago, which was \$280,000.
- **Months' Supply of Inventory is up 25.0%** to 8.0 months, an increase from 6.4 months in August 2024.
- **Traditional Sales are up 2.7%** with a median sales price of \$267,500.
- **Foreclosure/REO Sales are N/A** with 1 closed sale and a median sales price of \$86,000.
- **Short Sale Closings are N/A** with 0 closed sales and a median sales price of (no sales)

COVID-19 has been declared a pandemic and a national state of emergency in place. Substantial turmoil has occurred in financial markets and due to the developing situation, it is not possible at this time to quantify its long-term or short-term effects on real estate markets or on the subject property. The value opinion contained in this appraisal is based on findings of an analysis of market data available to the appraiser at the time of the assignment.

INTENDED USE: The intended use of the appraisal is solely to assist the client in decision making regarding the current county tax situation. The identified users are the only intended users of the appraisal report. The appraiser does not guarantee that the property is free from defects. The appraisal establishes the value of the property for the internal decision making purposes only.

**Supplemental Addendum**

File No. 2003 OAK ST

Borrower	N/A		
Property Address	2003 Oak St		
City	Melbourne Beach	County	BREVARD
Lender/Client	FREDERIC L. SAX	State	FL
		Zip Code	32951

THE SCOPE OF WORK IN THIS INSTANCE WAS TO ESTIMATE THE SUBJECT MARKET VALUE , AS WELL AS THE LAND "AS THOUGH VACANT" , IN ORDER FOR THE CLIENT TO SUBMIT THE TOTAL VALUE , MINUS THE LAND AND ING. POOL AMENITY TO THE CITY PLANNING AND ZONING BOARD FOR INTERNAL DECISION MAKING REGARDING A CONSTRUCTION DECISION. PRIOR TO ACCEPTING THE ASSIGNMENT , THE CLIENT STATED AS LONG AS THE FIGURES ARE PRESENTED IN THE REPORT, IT ACCOMPLISHES THEIR DECISION MAKING. THE CALCULATIONS ARE BELOW:

TOTAL MARKET VALUE INCLUDING HOME , SCR.ING. POOL PACKAGE , AND LAND:

\$875,000

LAND VALUE: \$450,000

MARKET CONTRIBUTION OF THE SCR.ING.POOL PACKAGE: \$50,000

\$875,000 MINUS THE LAND VALUE AND CONTRIBUTORY VALUIE OF THE SCR.ING.POOL = \$375,000

THE \$375,000 IS THE CONTRIBUTORY MARKET VALUE OF THE DWELLING AS REQUESTED BY THE CLIENT.



## FLOOR PLAN NOTES

1. REFERENCE ARCHITECTURAL SPECIFICATION SHEET A0.2 FOR GENERAL CONSTRUCTION INFORMATION RELATED TO THE PROJECT.
2. FINISH FLOOR DATUM REFERENCES TOP OF SLAB DRAWINGS. VERIFY WITH SURVEY OR CIVIL ENGINEERING DRAWINGS.
3. EACH CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWING AND OBTAIN ALL MEASUREMENTS REQUIRED FOR PROPER EXECUTION OF WORK. DO NOT SCALE PLANS. CONTACT ARCHITECT FOR ANY ADDITIONAL INFORMATION OR DIMENSIONS REQUIRED.
4. DIMENSIONS ARE TAKEN FROM STRUCTURAL ELEMENTS ONLY. INTERIOR DIMENSIONS ARE TAKEN FROM ONE SIDE OF THE WALL. REFER TO WALL SCHEDULE FOR WALL THICKNESS AND CONSTRUCTION.
5. PROVIDE WOOD BLOCKING AS REQUIRED FOR INSTALLATION OF CABINETS, EQUIPMENT, FIXTURES, BATHROOM ACCESSORIES AND AROUND WINDOWS AND DOORS.
6. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
7. FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE PRODUCT MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND STANDARD DETAILS, IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS REQUIREMENTS AND DESIGN INTENT.
8. GYPSUM BOARD SHALL BE INSTALLED PER ASTM C840-18 AND AS SPECIFIED PER THE MANUFACTURER'S SPECIFICATIONS. UNLESS OTHERWISE NOTE, INTERIOR GYPSUM BOARD WALLS SHALL BE FINISHED TO LEVEL 5.
9. WALL CABINERY TO BE PROVIDED BY OWNER OR CONTRACTOR SELECTED CABINET CONTRACTOR. CONTRACTOR TO COORDINATE ALL ELECTRICAL AND PLUMBING ELEMENTS WITH CABINET CONTRACTOR PRIOR TO INSTALLING.
10. MILLWORK SHALL BE INSTALLED PER THE ARCHITECTURAL MILLWORK INSTITUTE STANDARDS AND MANUFACTURER'S SPECIFICATIONS.
11. ALL APPLIANCES TO BE PROVIDED BY CLIENT, APPLIANCE CONTRACTOR OR OTHER. COORDINATE ALL CABINET MILLWORK, ELECTRICAL LOCATIONS AND PLUMBING LINES WITH SELECTED APPLIANCES.
12. MECHANICAL UNITS AND DUCTWORK TO BE PROVIDED BY CONTRACTOR'S SELECTED SUBCONTRACTOR.
13. SEE WALL LEGEND BELOW.

## WALL LEGEND:

-  2X6 FRAMED EXTERIOR BEARING WALL. SEE WALL SECTION A, SHEET A3.01 FOR MORE INFORMATION. SEE STRUCTURAL DRAWINGS FOR CONSTRUCTION INFORMATION.
-  2X4 FRAMED WALL WITH  $\frac{1}{2}$ " GYPSUM BOARD (OR MATERIAL AS SPECIFIED IN FINISH SCHEDULE) ON EITHER SIDE. SEE SECTION A, SHEET A3.01 FOR FRAMING INFORMATION.
-  EXISTING INTERIOR OR EXTERIOR WALLS. REPAIR FINISHES AS REQUIRED FOR RENOVATION.

## FLOOR PLAN NOTES:

- I. ITEMS NOTED BELOW REFER TO TAGS ON FLOOR PLAN. CONTRACTOR TO CONTACT ARCHITECT WITH ANY ERROR OR ISSUES WITH NOTES OR DIMENSION ON PLAN.
  - NEW OPENING IN EXISTING STUCCO-FINISHED FRAMED EXTERIOR WALL FOR INTERIOR DOOR. REMOVE EXISTING WINDOW, PROTECT FOR REUSE AND RELOCATION. MODIFY WALL PER STRUCTURAL DRAWINGS. SEE DOOR SCHEDULE FOR DOOR TYPE AND DETAILS.  
P-1
  - BUILT-IN CLOSET SYSTEM (TO BE SELECTED BY CLIENT.) INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE IN-WALL BLOCKING AS REQUIRED FOR INSTALLATION.  
P-2
  - HOSE BIB. INSTALL PER MANUFACTURERS SPEC.  
P-3
  - COMPRESSOR UNIT. CONTRACTOR'S SELECTED MECHANICAL SUBCONTRACTOR TO PROVIDE SPECIFICATION AND INSTALLATION DETAIL FOR THE HOUSE MECHANICAL SYSTEM, INCLUDING THE COMPRESSOR. SEE STRUCTURAL DRAWINGS FOR PAD INFORMATION.  
P-4
  - AIR HANDLING UNIT (AHU). CONTRACTOR'S SELECTED MECHANICAL SUBCONTRACTOR TO PROVIDE SPECIFICATION AND INSTALLATION DETAIL FOR THE HOUSE MECHANICAL SYSTEM, INCLUDING THE COMPRESSOR. SEE STRUCTURAL DRAWINGS FOR PAD INFORMATION.  
P-5
  - WALL-MOUNTED TANKLESS WATER HEATER. COORDINATE LOCATION AND CONNECTIONS WITH PLUMBING AND ELECTRICAL. MAINTAIN REQUIRED CLEARANCES FOR SERVICE ACCESS AND VENTING.  
P-6
  - PROVIDE BLOCKING AND ELECTRICAL OUTLET FOR HEATED TOWEL BAR (TO BE SELECTED BY OWNER). COORDINATE FINAL LOCATION, MOUNTING HEIGHT, AND POWER REQUIREMENTS WITH ARCHITECT AND ELECTRICAL PRIOR TO INSTALLATION.  
P-7
  - 4" ZURN DECK DRAIN. INSTALLED PER MANUFACTURER'S SPECIFICATION.  
P-8

## CUSTOM DESIGN

# SAX RESIDENCE

2003 OAK STREET, MELBOURNE BEACH, FL 32951

SE

DATE: 2025-10-28

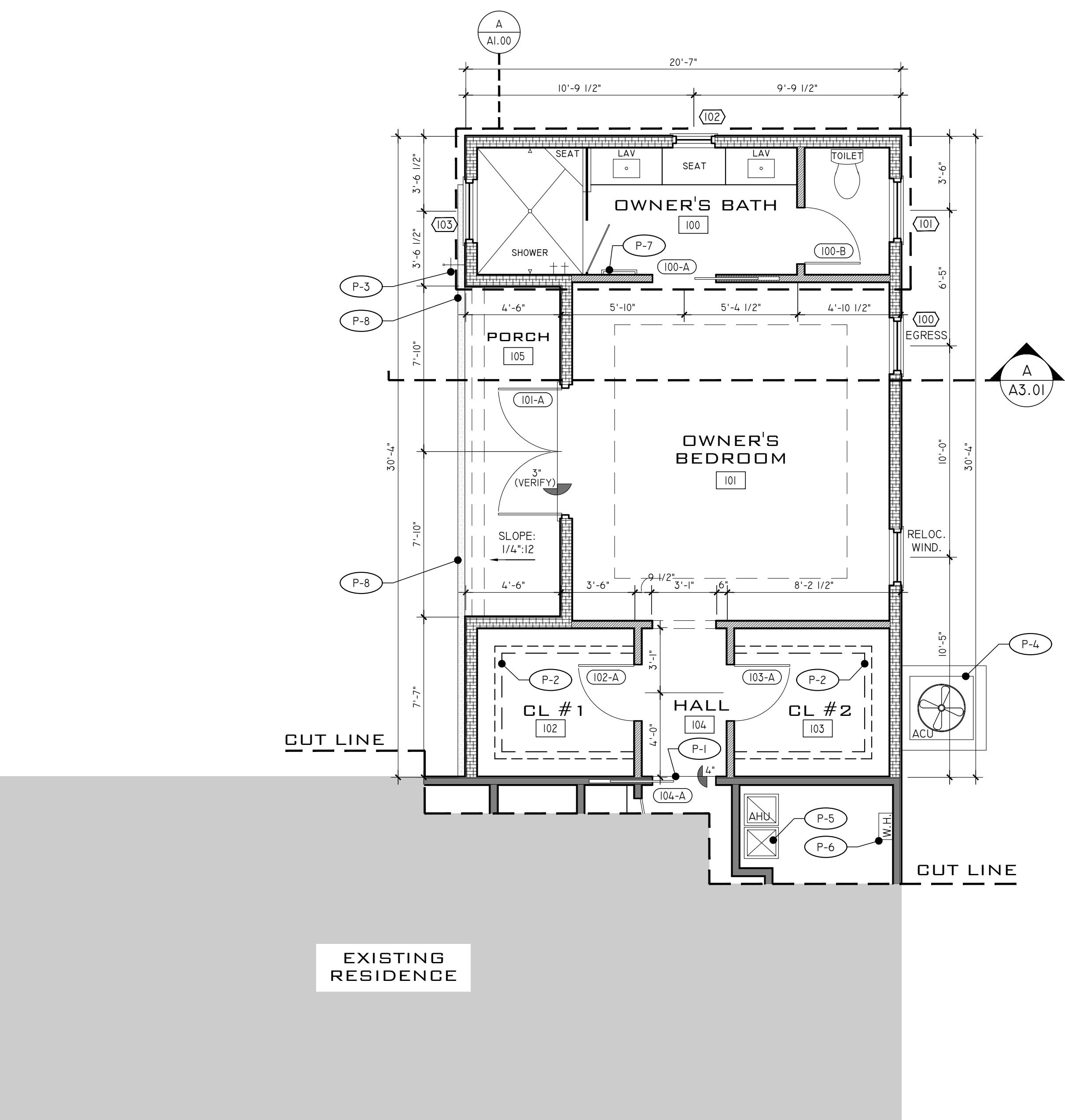
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SHEET TITLE

# ENLARGED PLAN, FLOOR PLAN, & DEMO PLAN

**SHEET NUMBER**

A1.00





# FLOOR PLAN

SCALE: 1/4" - 1'-0"

A horizontal bar chart representing a 40' span. The first 5' is shaded with diagonal lines, the next 15' is unshaded, the next 20' is shaded with diagonal lines, and the final 10' is unshaded. The x-axis is marked with 0', 5', 10', 20', and 40'.

### ELEVATION NOTES

#### GENERAL NOTES:

1. REFERENCE ARCHITECTURAL SPECIFICATION SHEET A.02 FOR GENERAL CONSTRUCTION INFORMATION RELATED TO THE PROJECT.
2. FINISH FLOOR DATUM REFERENCES TOP OF SLAB DRAWINGS. VERIFY WITH SURVEY OR CIVIL ENGINEERING DRAWINGS.
3. EACH CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWING AND OBTAIN ALL MEASUREMENTS REQUIRED FOR PROPER EXECUTION OF WORK. DO NOT SCALE PLANS. CONTACT ARCHITECT FOR ANY ADDITIONAL INFORMATION OR DIMENSIONS REQUIRED.
4. DIMENSIONS ARE TAKEN FROM STRUCTURAL ELEMENTS ONLY.
5. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
6. FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE PRODUCT MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND STANDARD DETAILS, IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS REQUIREMENTS AND DESIGN INTENT.
7. ALL EXTERIOR PORCHES AND BALCONIES ARE SLOPED. SEE FLOOR PLAN FOR REQUIRED SLOPE.
8. SLOPE GRADE AWAY FROM STRUCTURE ON ALL SIDES.

#### ELEVATION NOTES:

1. ITEMS NOTED BELOW REFER TO TAGS ON FLOOR PLAN. CONTRACTOR TO CONTACT ARCHITECT WITH ANY ERROR OR ISSUES WITH NOTES OR DIMENSION ON PLAN.
2. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL DETAILS AND INFORMATION.

E-1 ROOF SPEC TO BE SELECTED BY OWNER & INSTALLED PER MANUFACTURER SPECS. SEE ROOF PLAN, SHEET A1.10 FOR INSTALLATION DETAILS, PITCH, ETC.

E-2 NEW EXTERIOR DOOR/ WINDOW. SEE FLOOR PLAN AND DOOR SCHEDULE FOR LOCATION, SIZE AND INSTALLATION DETAILS.

E-3 STUCCO OVER FRAME. SEE ARCHITECTURAL SPECIFICATIONS DETAIL 4, SHEET A3.10 FOR STUCCO SPECIFICATION.

E-4 NEW 4" STUCCO TRIM AT ALL NEW DOORS AND WINDOWS TO MATCH EXISTING. EXTERIOR PAINT TO BE SELECTED BY OWNER.

JOB #: R-2025-023

DRAWN: JKA

CHECKED: JKA

DATE

SD

DD

CD

BID

PERMIT

REVISIONS:

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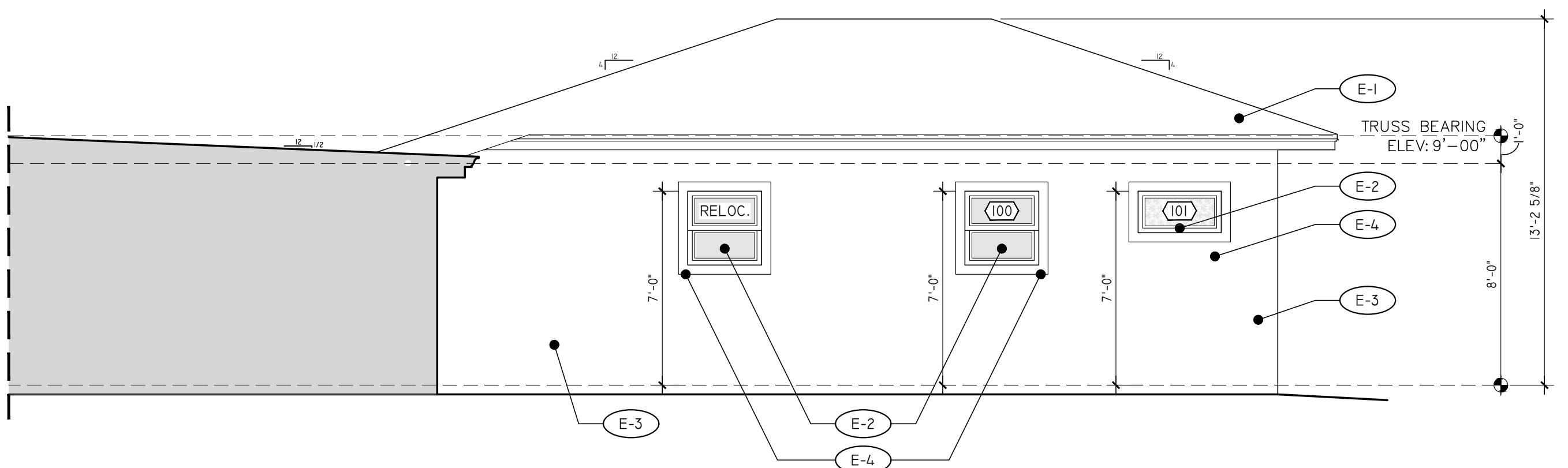
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CUSTOM DESIGN  
**SAX RESIDENCE**  
2003 OAK STREET, MELBOURNE BEACH, FL 32951

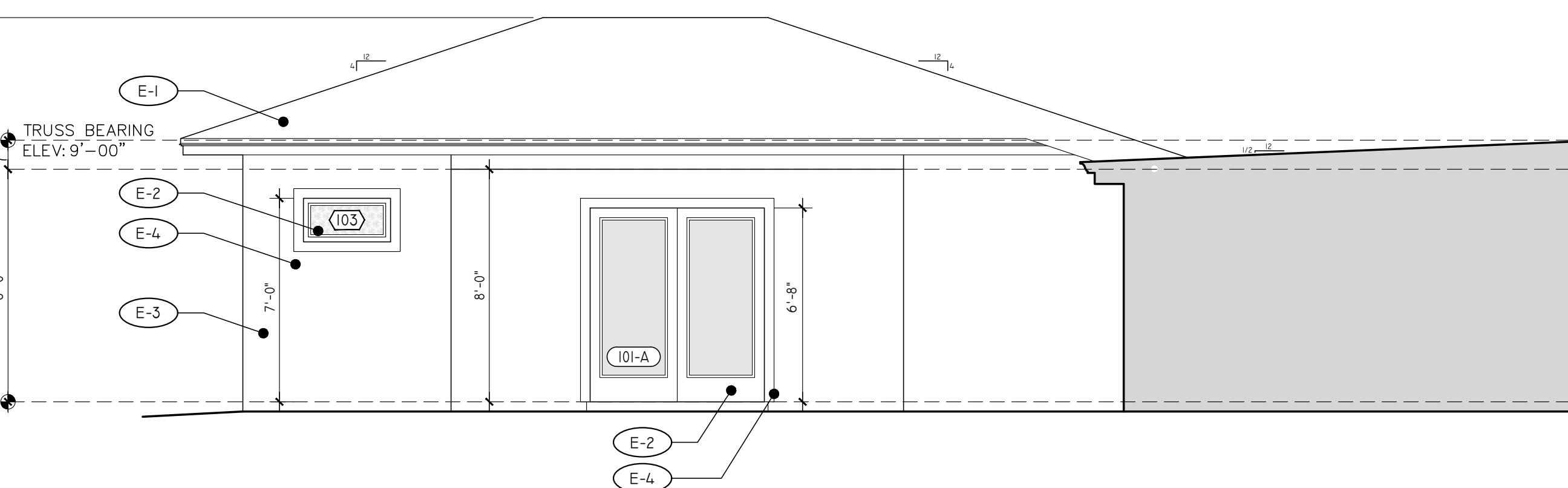
SOUTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



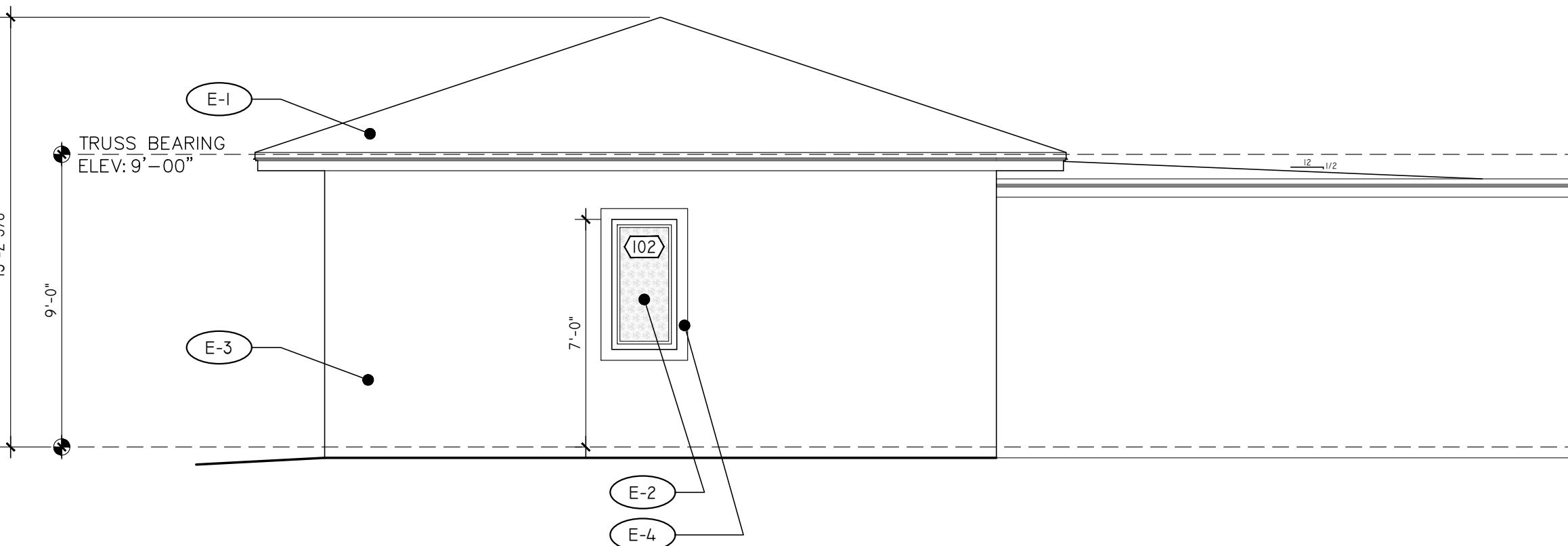
NORTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



EAST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



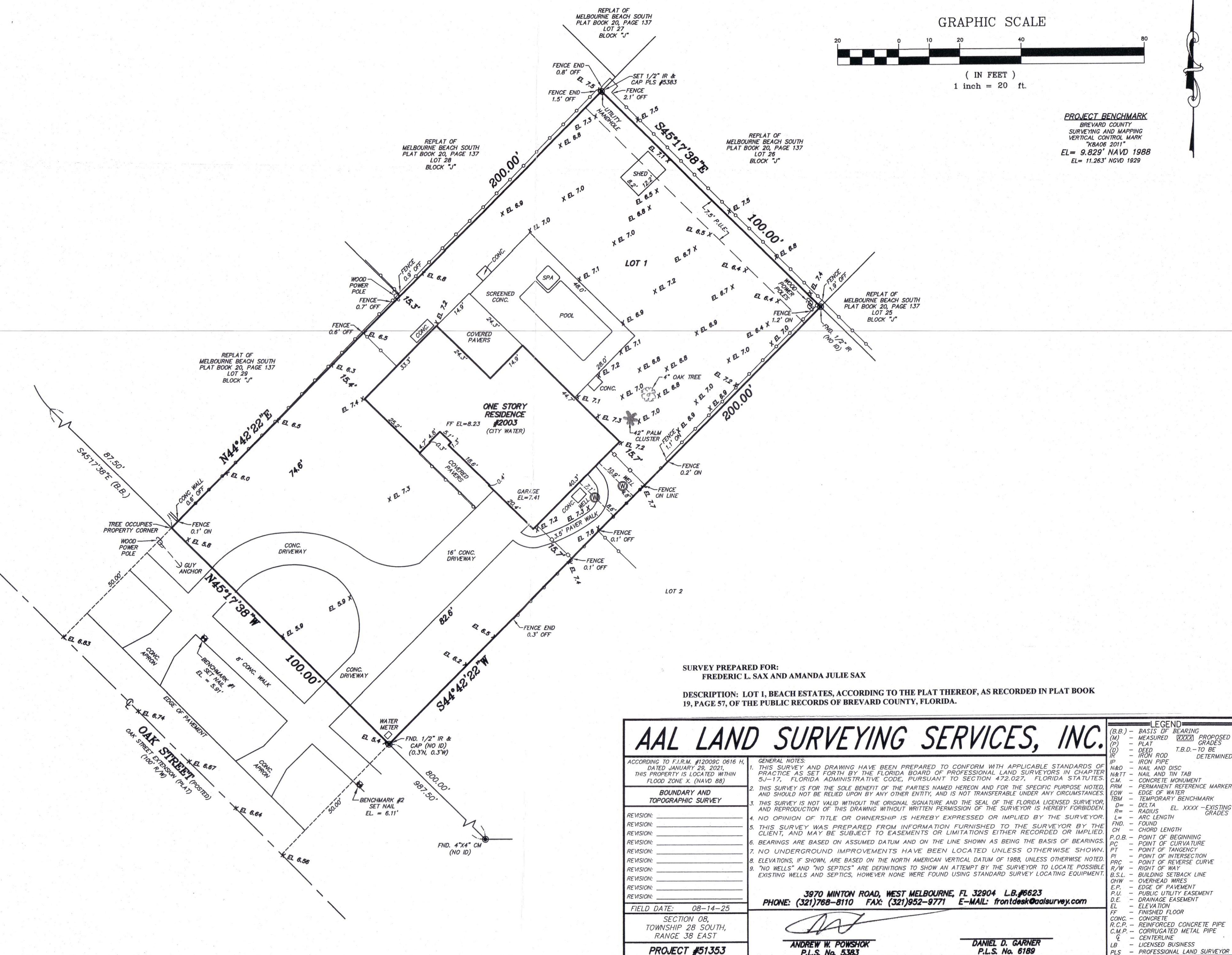
DATE: 2025-10-28  
SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

**A2.01**





## **Planning and Zoning Meeting**

**Section:** New Business

**Meeting Date:** January 6, 2026

**From:** Town Clerk Amber Brown

**RE:** Appointment of the 2026 Chairperson

### **Background Information:**

The Town Code of Ordinances provides that the Planning and Zoning Board shall appoint the Chairperson of the Board on a yearly basis.

## Planning and Zoning Meeting

**Section:** New Business

**Meeting Date:** January 6, 2026

**From:** Town Clerk Amber Brown

**RE:** Appointment of the 2026 Vice Chairperson

### **Background Information:**

Appointment of the Planning and Zoning Board Vice Chairperson for the calendar year 2026.

## **Planning and Zoning Meeting**

**Section:** New Business

**Meeting Date:** January 6, 2026

**From:** Town Clerk Amber Brown

**RE:** 2026 Planning and Zoning Board meeting schedule and enabling act ordinance

### **Background Information:**

Approval of the 2026 Planning and Zoning Board meeting schedule and review of the enabling act ordinance.

# 2026

## Town of Melbourne Beach

### Planning & Zoning, Commission

Application Deadline	P & Z Meeting Date	Town Commission Date
December 02, 2025	January 06, 2026	January 21, 2026
January 06, 2026	February 03, 2026	February 18, 2026
February 03, 2026	March 03, 2026	March 18, 2026
March 03, 2026	April 07, 2026	April 15, 2026
April 07, 2026	May 05, 2026	May 20, 2026
May 05, 2026	June 02, 2026	June 17, 2026
June 02, 2026	July 07, 2026	July 15, 2026
July 07, 2026	August 04, 2026	August 19, 2026
August 04, 2026	September 01, 2026	September 16, 2026
September 01, 2026	October 06, 2026	October 21, 2026
October 06, 2026	November 03, 2026	November 18, 2026
November 03, 2026	December 01, 2026	December 16, 2026
December 01, 2026	January 05, 2027	January 20, 2027

### Board of Adjustment Schedule

Application Deadline	Meeting Date
November 20, 2025	January 15, 2026
December 18, 2025	February 19, 2026
January 15, 2026	March 19, 2026
February 19, 2026	April 16, 2026
March 19, 2026	May 21, 2026
April 16, 2026	June 18, 2026
May 21, 2026	July 16, 2026
June 18, 2026	August 20, 2026
July 16, 2026	September 17, 2026
August 20, 2026	October 15, 2026
September 17, 2026	November 19, 2026
October 15, 2026	December 17, 2026
November 19, 2026	January 21, 2027

## ARTICLE VIII. PLANNING AND ZONING BOARD

### **§ 7A-135. ESTABLISHMENT; TERMS AND MEMBERSHIP.**

(a) The Planning and Zoning Board is a five- member body plus two alternates established by the Town Commission. The term of office of the first members of the Board shall be one year for one member, two years for two members, three years for two members and three years for each alternate with appointments thereafter to be for a term of three years for each member. The alternates will have a voice but not a vote in all Planning and Zoning Board deliberations, unless one or more regular members are absent, in which case the alternates are authorized to vote in accordance with their designation as alternate number one and alternate number two, in that order.

(b) Members and alternates shall be appointed by the Town Commission and may be removed by the Commission for cause and after a public hearing held on written charges. Vacancies shall be filled by the Town Commission for the unexpired term of the members affected.

(c) The Planning and Zoning Board shall appoint the Chairperson of the Board on a yearly basis.

(d) Three members of the Planning and Zoning Board shall constitute a quorum.

(`75 Code, Appendix A, Art. IX) (Ord., passed 9-26-72; Am. Ord. 85-7, passed 11-12-85; Am. Ord. 87-01, passed 1-20-87; Am. Ord. 2017-05, adopted 12-20-17)

### **§ 7A-136. PROCEEDINGS OF BOARD.**

The Planning and Zoning Board shall adopt rules necessary to the conduct of its affairs, and in keeping with the provisions of the Land Development Code. Meetings shall be held at the call of the Chairperson and at such other times as a majority of Board members may determine. The Chairperson, or in his absence the acting Chairperson, may administer oaths and compel the attendance of witnesses. All meetings shall be open to the public. The Board shall keep minutes of its proceedings, showing the vote of each member upon each question, or if absent or failing to vote, indicating other official actions, all of which shall be a public record and be immediately filed in the office of the Town Clerk for the Board. The Town Clerk or said individuals designee shall act as Secretary to the Board.

(Ord. 2017-05, adopted 12-20-17)

### **§ 7A-137. POWERS AND DUTIES.**

(a) The Planning and Zoning Board shall have the powers and duties set forth herein.

(b) The Planning and Zoning Board shall study the resources, possibilities and needs of the Town, land development regulations, and the comprehensive plan, and prepare plans and maps for the systematic future development and betterment of the Town and from time to time make such recommended changes as are deemed advisable.

(c) Any building construction that differs from single-family inclusive of accessory buildings, is by definition to be identified as a commercial structure. A commercial structure is further differentiated from residential construction by stricter building codes (reference Standard Building Code) and a higher state rated contractors' licensing. (See § 489.105, Fla. Stat.)

(d) A member of the Planning and Zoning Board selected by the Planning and Zoning Board may attend all meetings of the Board of Adjustment for the purpose of providing input to the Board of Adjustment with regard to applicable provisions of the Land Development Code. However, if said Planning and Zoning Board member fails to attend a meeting of the Board of Adjustment any action taken by the Board of Adjustment in the absence of said Planning and Zoning Board member shall not be invalid or void by reason of said absence. Said member of the Planning and Zoning Board will have no vote and will not be considered to be a member of the Board of Adjustment, ex officio or otherwise.

(e) The Planning and Zoning Board at public hearings is expected to advise the Town Commission on all matters relating to proposed changes in this Land Development Code.

(f) The Planning and Zoning Board will at all times also operate as the Town's land development regulation commission and the Town's Local Planning Agency, all in accordance with and as provided for by the Community Planning Act (§§ 163.3161 et seq., Fla. Stat.) and § 2A-17 of this code.

(g) The Planning and Zoning Board shall review site plans for all multi-family residential and commercial construction as provided by § 7A-51 to determine compliance with the Land Development Code, compliance with all height and setback regulations and § 7A-59 of the Town of Melbourne Beach Code of Ordinances, and to prepare written recommendations for the Town Commission. If the Town Commission has directed from time to time that the Planning and Zoning Board undertake review of site plans for development within the 1-RS, 2-RS, and 3-RS zoning districts as provided by § 7A-51.1, the Planning and Zoning Board will review site plans for single-family residential and other development as provided by § 7A-51.1 to determine compliance with the Land Development Code and to prepare written recommendations for the Town Commission.

(h) No permit for building, remodeling, or building expansion shall be issued on any multi- family residential or commercial structure until a site plan required to be reviewed pursuant to § 7A-51 is reviewed and approved by the Zoning Official for compliance with all provisions of the Town of Melbourne Beach Code of Ordinances.

(`75 Code, Appendix A, Art. IX) (Ord., passed 9-26-72; Am. Ord. 85-7, passed 11-12-85; Am. Ord. 87-01, passed 1-20-87;

**§§ 7A-138. – 7A-149. RESERVED.**

(a) Purpose. The purpose of this section is to assure that all development of principal permitted uses within the 1-RS, 2-RS, and 3-RS meets the requirements of this chapter 7A. This review shall be applicable for all principal uses, certain accessory uses, and special exceptions within the 1-RS, 2-RS, and the 3-RS zoning districts, except for churches, museums, places of worship, temples, libraries, or schools in the 1-RS, 2-RS, or 3-RS zoning districts, which shall be reviewed pursuant to § 7A-51. At a minimum, all site plans subject to this section shall be reviewed and evaluated by the Civil Engineer, Building Official and the Town Commission. As provided in subsection (b), the Planning and Zoning Board and the Zoning Official may from time to time also be required to review and evaluate site plans pursuant to this section.

(b) Site plan approval required.

(1) A site plan must be reviewed and evaluated by the Civil Engineer, Building Official and approved by the Town Commission prior to issuance of a permit for development and construction of a principal use, an accessory use developed simultaneous with a principal use, or special exception in the 1-RS, 2-RS, or 3-RS zoning district, as provided in subsection (c).

(2) From time to time, the Town Commission may by voice vote direct that all or certain of the site plans subject to review pursuant to this section shall also be reviewed and evaluated by the Zoning Official and/or the Planning and Zoning Board. The review and evaluation authority of site plans pursuant to this section by the Zoning Official and/or the Planning and Zoning Board may also be withdrawn from time to time by voice vote of the Town Commission.

(3) Review and evaluation of site plans by the Planning and Zoning Board pursuant to this section, if provided for by the Town Commission, shall occur after review by the Civil Engineer and Building Official and prior to review and approval by the Town Commission. Upon completion of review by the Planning and Zoning Board, the Planning and Zoning Board shall make a recommendation to the Town Commission with regard to appropriate action to be taken by the Town Commission relating to a site plan reviewed pursuant to this section.

(4) Review and evaluation of site plans by the Zoning Official, if provided for by the Town Commission, shall occur prior to review and evaluation by the Planning and Zoning Board and the Town Commission. Upon completion of review by the Zoning Official, the Zoning Official shall make a recommendation with regard to appropriate action to be taken relating to a site plan reviewed pursuant to this section.

(c) Site plan review and approval pursuant to this section shall occur with regard to any of the following types of development:

(1) New construction for any principal use structure, any accessory use structure developed simultaneous with any principal use structure, or the expansion or redevelopment of any principal use structure, or use permitted by special exception, in the 1-RS, 2-RS, or 3-RS zoning districts. As used in the foregoing sentence, the term "simultaneous" shall mean that a building permit for development of an accessory use structure is to be issued within 180 days of the issuance of a building permit for new construction of, or the expansion or redevelopment of, any principal use structure;

(2) Construction or alterations that will increase the height of an existing principal use building or structure, including but not limited to additional stories, false roofs, false walls, and facades, in the 1-RS, 2-RS, or 3-RS zoning districts;

(3) Construction or alteration that will expand the footprint of an existing principal use structure or building, or use permitted by special exception, including but not limited to porches, patios, decks, balconies, or the like of an existing structure, all in the 1-RS, 2-RS, or 3-RS zoning districts; and

(4) Construction or alteration that occurs in conjunction with a change in the principal use or use permitted by special exception of an existing building or structure, all in the 1-RS, 2-RS, or 3-RS zoning districts.

(d) General consideration and site plan review for development. The Civil Engineer, Building Official and, if so directed, the Zoning Official and the Planning and Zoning Board shall ascertain that proposed lot area, lot width, lot depth, lot coverage, minimum living area, building or structure height, yard requirements, applicable ocean setback, number of stories, stormwater retention, and use of a principal structure are consistent with and adequate to meet the requirements of this Land Development Code and other applicable provisions of the Land Development Code or are or will be subject to a variance permitting the varying of applicable provisions of the Land Development Code.

(e) Procedure for obtaining site plan approval shall be as follows:

(1) Preapplication conference. The applicant shall meet with the Building Official to discuss basic site plan requirements, consider preliminary features of the site and the proposed development, and determine if the proposed use conforms to the zoning requirements of the district.

(2) Site plan checklist. The applicant shall properly fill out a checklist provided by the Building Official. This checklist will summarize the site plan, and it will be used as a guide for site plan evaluation.

(3) Preliminary site plan. Following the preapplication conference, seven copies of a preliminary site plan prepared and sealed by a civil engineer or architect, registered and licensed by the state, showing the proposed general layout and a vicinity map showing the location of abutting streets, existing and proposed use of the site, and all the factors required by subsections (d) and (f) shall be submitted to the Building Department.

(4) Review and recommendations. Applications for site plan approval shall be submitted to the Civil Engineer and

Building Official, who shall review and evaluate the site plan to assure compliance with the requirements of this section, making recommendations to the Town Commission and, if applicable, the Planning and Zoning Board. If the Town Commission has directed that site plans of the type submitted are to be evaluated by the Zoning Official and/or the Planning and Zoning Board, a copy of the site plan shall be forwarded by the Building Department to the Zoning Official and/or the Planning and Zoning Board for review and evaluation to assure compliance with the requirements of this section. The Zoning Official and/or the Planning and Zoning Board shall make recommendations to the Town Commission and, if applicable, the Planning and Zoning Board.

(5) Upon completion of the review and evaluation of the Civil Engineer, Building Official and, if applicable, the Zoning Official, the recommendations with regard to approval of the site plan shall be forwarded to the Planning and Zoning Board, if review has been directed by this board. Otherwise, the site plan and recommendations shall be forwarded directly to the Town Commission and placed on the Commission's consent agenda. If directed by the Town Commission, the Planning and Zoning Board shall review and evaluate the site plan as provided by this section. Upon completion of review and evaluation, the site plan shall be forwarded to the Town Commission, together with the comments and recommendation of the Planning and Zoning Board and other staff reviewing authorities. If review has not been directed by the Town Commission to be conducted by the Planning and Zoning Board, the applicable Town staff report and recommendations shall be forwarded directly to the Town Commission and placed on the Commission's consent agenda. The Town Commission then shall review all comments and recommendations and take appropriate action with regard to the proposed site plan.

(f) Site plan requirements. Site plans shall include:

- (1) Name, location, owner, and designer of the proposed development and the intended use;
- (2) Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties;
- (3) Date, north arrow, and graphic scale (not less than one inch equals 20 feet);
- (4) Location of all property lines, existing streets adjacent to the subject property, easements, as well as proposed driveways and general lot layout, which shall also be reflected on a professionally signed and sealed survey;
- (5) All proposed structures, major features, and fences, including all existing outbuildings, accessory structures and trees (whether to be affected by the construction or not) which shall also be reflected on a professionally signed and sealed survey, shall be fully dimensioned, including the height of all structures and the distance between principal and accessory structures on site and the distance between structures and driveways, and property or lot lines;
- (6) A professionally prepared drainage plan drawn to scale showing flow paths and retention areas and certifying that retention requirements are met;
- (7) A professionally prepared plan drawn to scale and depicting the height dimension of the proposed structure, construction, or expansion or redevelopment thereof.

(g) Final approval to site plan.

(1) Upon the site plan being approved and a building permit being issued, the development shall be built substantially in accordance with the site plan and the plans and specifications and in such a manner that no requirements of the Land Development Code are violated. Deviations from the approved site plan being made are subject to the approval of the Town Manager, Civil Engineer and Building Official. Substantial deviations as defined by the Town Manager or Civil Engineer or Building Official require approval of the Town Commission and will follow the initial site plan approval process.

(2) Approval of a site plan shall become a binding condition on the use of the land encompassed by the approved site plan under the applicable land use classification. Upon any conveyance of any portion of such land encompassed by the approved site plan, the grantee or transferee shall also be bound by the approved site plan. All changes will be recorded with the original site plan and retained at the Town Hall.

(3) Site plans for the 1-RS, 2-RS, and 3-RS zoning districts are approved for 365 days. During that time a building permit must be applied for. In the event a permit is not applied for within that 365-day period, application must be made for a new site plan approval. Any change in the Land Development Code that occurs during that period will be applicable to the new site plan approval.

(Ord. 2010-01, adopted 3-17-10; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2019-06, adopted 1-15-20)

## **Planning & Zoning Board Meeting**

**Section: Old Business**

**Meeting Date: January 6, 2026**

**From: Town Manager**

**RE: Chapter 9A: Landscaping and Trees**

**Background Information:**

The Environmental Advisory Board (EAB) submitted to the Planning and Zoning Board (PZ) proposed revisions to Chapter 9A: Landscaping and Trees. A response was prepared by PZ Board member Dan Harper, dated September 30, 2025 and was shared with both the EAB and PZ. At the November 3<sup>rd</sup> PZ meeting, PZ recommended denial of the proposed changes to the Town Commission. The Town Manager requested that the changes be reviewed by the Town Planner and brought back to both groups for their review prior to any action being brought to Town Commission.

**Recommendation:**

**Review proposed modifications and propose recommendation to Town Commission for approval or denial.**

Following are suggestions from Corey O'Gorman, Town Planner, Town Manager based on review of the existing code language, proposed amendments from EAB, comments from P&Z and EAB responses, and the EAB handout on intent. Please note that the language include below is not intended as final verbiage, but rather recommendations for consideration. All highlighted verbiage are comments from the Town Planner.

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## ARTICLE I. LANDSCAPING

### § 9A-1. DEFINITION.

For the purpose of this article the following definitions shall apply unless the context clearly indicates or requires a different meaning.

[Include definition of Tree and Palm:](#)

[TREE. A Florida native tree species with a trunk diameter of four inches \(4"\) diameter at breast height \(dbh\) or greater, and a native palm with a minimum clear trunk height of eight feet \(8'\).](#)

[YARD AREA.](#) The front, side and rear yard areas as established and required by Chapter 7A.

(` 75 Code, § 22-17) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17)

### § 9A-2. INTENT.

[Suggest including intent language that reflects the provisions of this chapter such as:](#)

[The intent of this article is to define Florida native and invasive plant species, establish provisions for the preservation and ~~reptae~~ replacement of e-native species and removal of invasive species, and to provide a procedure for Town review and approval of tree removal applications and landscape development applications.](#)

The intent of this article is [also](#) to preserve [Florida native](#) trees whenever and wherever they exist and to provide trees wherever they are sparse or do not exist, thus enhancing the health, welfare and beautification of the Town. The intent of the article also includes the encouragement of "Florida Friendly Landscaping" as defined by § 375.185(b), Fl. Stat. and "Florida Native Landscaping" as defined by the University of Florida's *Institute of Food and Agricultural Sciences (IFAS)*.

This chapter addresses the increasing canopy loss in the Town, by setting standards to help restore it one property at a time and preserve the environment of the Town for future generations.

Landscaping and trees benefit the Town by performing the following functions: such as the following:

- Improve air quality through the ~~Absorb~~absorption of carbon dioxide and return release of oxygen to the atmosphere.
- Remove dust and other particulates from the air.
- Provide wildlife habitat, particularly for birds which, in turn, help control insects.
- Provide soil stabilization, which reduces erosion and mitigates the effect of flooding.
- Provide shade to conserve energy, reduce glare, modulate temperature and reduce heat island effects, make outdoor areas more comfortable during hot weather.
- Provide barrier to ~~Reduce~~ ground-level wind speeds during tropical storms and hurricanes, thereby reducing danger to people and damage to property.
- Enhance the Town's attractiveness.
- Provide attractive buffering between different land uses.
- Reduce noise and surface water runoff.
- Mitigate conflicts between adjoining land uses.
- Maintain preservation of native ecosystems for future generations, immediate benefits of decade and century old mature trees which cannot be quickly replaced by a new sapling.

(` 75 Code, § 22-16) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17)

#### § 9A-3. APPLICABILITY.

The terms and provisions of this article shall apply to all real property in all zoning districts.

(` 75 Code, § 22-18) (Ord. 75-3, passed 5-27-75; Am. Ord. 87-13, passed 9-22-87; Am. Ord. 2017-05, adopted 12-20-17)

#### § 9A-4. PERMIT REQUIRED FOR ~~CUTTING DOWN~~MOVING TREES :TREE REMOVAL

Suggest capitalizing "Tree" as a defined term, referencing the definition in 9A-1. Suggest not including reference to a list of Certified Arborists because it would have to be kept up to date, and don't want to show any preference if the list isn't up to date.

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No person, organization, society, association or corporation, or any agent or representative thereof, directly or indirectly, shall cut down, destroy, remove, move or effectively destroy through damaging any native Tree or cluster of Trees including palm trees, scrub oak or sand live oak of any size, or any non-invasive tree as defined herein with a trunk diameter four inches (4") dbh or greater, situated on property in any zoning district without first obtaining a permit as herein provided. Tree removal on any property in any zoning district shall be in accordance with the standards mandated in the most recent edition of the *Best Management Practices - Tree Risk Assessment* published by the International Society of Arboriculture or a certification from an arborist certified by the International Society of Arboriculture or a Florida licensed landscape architect as to substantial compliance with such standards. Any tree which poses an unacceptable risk may qualify for removal without a permit pursuant to Fla. Stat. § 163.045 or as such section may be amended. A current list of Certified Arborists with a tree risk assessment qualification is maintained by the Town manager.

(` 75 Code, § 22-19(a)) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17; Ord. 2023-01, adopted 3-15-23)

#### § 9A-5. APPLICATION FOR PERMIT; REVIEW OF APPLICATION.

(a) Application. Permits for removal, relocation, or replacement of trees covered herein, shall be obtained by making application for a permit to the Building Official. The application shall be accompanied by a written statement prepared by a Certified Arborist indicating the reason for removal, relocation, or replacement of trees, a mitigation plan, and two copies of a legible site plan prepared by a Landscape Architect drawn to a minimum scale of one inch (1") equals 20 twenty feet (20'), indicating the following and including a tree survey provided by a licensed Surveyor or accurately locating the trees in relationship to other improvements and including a legend identifying the type and size of trees:

**Commented [MT1]:** Not necessary and can be expensive for single family lot owners

**Commented [MT2]:** Again, can be very expensive if not a new build or rebuild project.

- (1) Location of all existing or proposed structures, improvements, and sites used, properly dimensioned and referenced to property lines, setback, and yard requirements;
- (2) Location of existing or proposed utility services and drainage plan, when known;
- (3) The location of all trees on the site designating the trees to be retained, removed, relocated, or replaced. Groups of trees in close proximity may be designated as clumps of

trees with the predominant type and estimated number and average diameter noted. Only those trees to be removed, relocated, or replaced must be named (common or botanical name) on the site plan;

(4) The tree information required above shall be summarized in legend form on the plan and shall include the reason for the proposed removal, relocation, or replacement; and

(5) An application involving developed properties may be based on drawings showing only that portion of the site directly involved, and adjacent structures and landscaping or natural growth incidental thereto.

Except for new construction permits, if removal of a Protected Tree is requested, homeowner will develop a mitigation plan for how they will replace the tree.

**Commented [MT3]:** Protected Tree not defined.  
Generally we are stating all native trees.

(b) Application review. Upon receipt of a proper complete application, the Building Official shall review the application, which will include a field check of the site and referral of the application to others concerned other departments including planning and engineering as necessary, to determine any adverse effect upon the general public welfare, adjacent properties, or Town services and facilities.

Consider including the criteria for review and approval from Section 9A-6, or referencing it here to be clear. Also suggest reliance on information and documents submitted by a Surveyor, Certified Arborist and/or a Landscape Architect.

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**Commented [MT4]:**

(` 75 Code, § 22-19(b), (c)) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23) Penalty, see § 9A-12

#### § 9A-6. ON-SITE INSPECTION CRITERIA FOR TREE REMOVAL PERMITTING.

Consider requiring survey, plans and/or documentation submitted by Surveyor, Certified Arborist and/or Landscape Architect as appropriate to provide the evidence needed to review and approve a permit for removal, and a final inspection by the Town would be in conjunction with a final building/CO inspection to confirm compliance with the plan.

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**Commented [MT5]:** Yes, already part of entitlement process.

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(a) On-site inspection. Prior to the issuance of a permit for tree removal or relocation (and prior to issuance of a certificate of occupancy in the case of new construction), the Building Official or his agent shall conduct an on-site inspection to determine whether or not such a removal or relocation conforms to the requirements of this chapter. The on-site inspection will also be conducted by a Landscape Officer in the case of new landscape designs or permits to remove one or more canopy trees.

(b) Issuance.

(1) Removal. No permit shall be issued for tree removal unless one of the following conditions exists with supporting documentation from a Surveyor, Certified Arborist and/or Landscape Architect:

- a. The tree is located in a buildable area of the property where a structure or improvements may be placed and where not removing the tree would unreasonably restrict the permitted use of the property and the tree removal has been authorized by the Town as part of a site plan review;
- b. The tree cannot be relocated on or off the site because of age, type, or size of tree;
- c. The tree is diseased, dead, injured, in danger of falling, too close to existing or proposed structures, interferes with utility service, creates unsafe vision clearance at intersections or road entries, or conflicts with other ordinances or regulations; or
- d. It is in the welfare of the general public that the tree be removed for a reason other than set forth above and in accordance with Florida Statute 163.045 Tree pruning, trimming, or removal on residential property.

e. (a) Mangroves can only be trimmed per state code. 1996 Mangrove Trimming and Preservation Act (sections 403.9321-403.9333, F.S.)

e. Unless restricted by Florida Statute 163.045, Protected Trees shall not be permitted to be removed without Town Commission approval. Protected Tree determination will be conducted by the Landscape Officer during on-site inspection.

f. A permit request to remove a tree because it poses unacceptable risk to persons or property must be accompanied with a signed risk assessment from an ISA certified arborist or a Florida licensed landscape architect.

(2) Relocation or replacement. As a condition to the granting of a permit, unless restricted by Florida Statute 163.045, the applicant may will be required, where practical, to relocate the tree being removed or be required to replace the tree being removed with a tree somewhere within the site on the property of the same or similar species type that will attain an overall height of at least twelve feet (12') and have a trunk caliper of at least four two inches (24") dbh at planting for canopy trees; and a measured four and one-half feet (4.5') above grade minimum clear trunk height of eight feet (8') for Palms. The green areas left after all building and parking lot requirements have been met shall contain a tree density equal to or greater than that what was existing on the overall site before the beginning of construction. A permit to relocate a tree will be granted only if there is a

Commented [MT6]: Redundant

Commented [MT7]: FL Statute covers e and f. Redundant

Commented [MT8]: Industry standard definition of DBH – redundant

reasonable expectation that the tree will survive the relocation and thrive in the new location. The Town may require a recommendation from a Department of Agriculture Forester or a Certified Arborist to determine and assure that the tree is of a species which can be successfully moved at its current size and that all conditions for its survival are being met in the plan to relocate.

(` 75 Code, § 22-19(d)) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23) Penalty, see § 9A-12

#### § 9A-7. MINIMUM TREE PLANTINGS-LANDSCAPE PLANS

Consider adding language for when trees must be planted in conjunction with specific codified approval processes including:

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\* When a tree is removed on an existing developed site per 9A-4.

\* As part of the plan review for single-family renovation reviewed under Section 7A-51.1.

\* As part of the plan review for single-family new construction reviewed under Section 7A-51.1

\* As part of the plan review for multi-family and commercial renovations or new construction reviewed under Section 7A-51.

(a) Landscaping in all zoning districts.

(1) All developed lots within the Town shall be landscaped in accordance with the provisions of this section. All lots to be developed or re-developed shall be landscaped in accordance with this chapter prior to the issuance of a final building inspection or certificate of occupancy.

(2) All permeable and semi-permeable areas of the site shall be designed and maintained in a manner which allows water to percolate into the ground and prevents erosion from wind or rain.

(3) Landscaping plans must be encouraged to incorporate Florida-Friendly Landscaping and Florida Native Landscaping principles consistent with the guidelines, including the use of drought-tolerant native plants, efficient irrigation systems, and soil amendments that promote water retention, consistent with the guidelines set forth by the Florida-Friendly Landscaping program and Chapter 373.185, Florida Statutes shall be used for all new development and redevelopment. Excluding the grass lawn, at least 70 percent each of the number of ground covers.

**Commented [MT9]:** Recommend adding language to the zoning section referencing landscaping regulations. However, all applicants should be reviewing the entire LDC for reference prior to submitting applications for building.

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grasses, vines, shrubs, and trees comprising the landscape Landscaping plans shall be comprised of 50% ~~shall be~~ native plants selected from the current edition of the Florida Native Plant Society's list of native plants, as applicable to the East Central Florida Region. A list of native trees and plants known to survive within this region is listed in section 9A-14. This applies to tree removal permits and for all lots being developed or redeveloped with new construction.

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(4) Any other activity that involves replacement of ground covers, grasses (excluding lawns), vines, shrubs, and trees, replacement species should be Florida natives until or unless 70% native plantings is already attained.

(53) Plants in the Florida Invasive Species Council's most current list of invasive species shall be removed from a property during development or redevelopment and shall not be planted as part of the approved landscape plan used in landscapes. Reference the list of nuisance species in Section 9A-13.

(4) Minimum replacement standards for new construction/development or re-development under the guidelines of the Land Development Code: Any trees that are removed for new construction or reconstruction shall be replaced by the same or similar species. Specifically for mature oak trees ~~10 years old or more~~, replacement of one (1) similar species for each tree removed shall be required which at a minimum will attain an overall height of at least twelve feet (12') and have a trunk caliper of at least two four (4) inches dbh(2") at planting, measured four and one-half feet (4.5') above grade. The two for one oak replacement is required until the mini number of canopy trees required has been met.

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(a) Trees in residential zoning districts. Trees planted must be of a variety which is compatible with the existing soil and drainage conditions and must be provided with adequate water and food materials to encourage growth. Trees shall be planted in locations so as not to cause danger to nor interference with existing structures at the time of maturity.

(5) Minimum specifications for trees and hedge material shall be as follows:

a. Canopy trees at the time of planting shall have a trunk diameter of four (4) inches dbh. The trees shall be a minimum of eight feet in height and have a minimum spread of five feet. The trees are not required to be spaced evenly along property lines.

\_\_\_\_\_ b. Trees smaller than canopy trees shall at the time of planting have a trunk diameter of one and one-half inches measured four and one-half feet above grade. The trees shall be a minimum of six feet in height and have a minimum spread of four feet.

\_\_\_\_\_ c. Palms at the time of planting shall have a minimum clear trunk of eight feet.

\_\_\_\_\_ d. Hedge material at the time of planting shall be a minimum of eighteen (18) inches in height when planted. Individual plants shall be planted a maximum of 24 inches on center.

\_\_\_\_\_ (6) All plant material shall be Florida Number 1 in quality and shall be planted according to sound landscape installation standards.

\_\_\_\_\_ (7) All landscaping shall be maintained to present a neat and orderly appearance. Dead, deteriorating or missing landscape material shall be replaced with landscaping as permitted in 9A-7(a). Replacement of landscaping material shall occur within sixty (60) days of loss, unless said time is extended by the Town Manager for good cause shown.

\_\_\_\_\_ (8) Exceptions shall be considered on an individual basis based upon demonstrated unique characteristics of the site in question. Any such reduction or relocation shall comply with the intent of this chapter.

\_\_\_\_\_ (9) Canopy trees shall be those that develop a crown spread of 25 feet or greater at maturity. Trees with less than twenty-five (25) feet of crown spread at maturity shall be considered ornamental trees or small trees.

\_\_\_\_\_ (10) Clusters of three palms shall be an acceptable substitute for up to 50% of the required canopy trees and 50% of the required ornamental trees.

\_\_\_\_\_ (11) Landscape material should be drought tolerant to the extent practical and feasible. A water source shall be available to ensure the plant material can be watered while it is being established and during drought occurrence. Automatic irrigation systems may be utilized.

\_\_\_\_\_ (12) Currently developed sites that do not meet the landscape requirements will not be considered non-conforming. Landscaping consistent with the regulations shall be installed at these sites, to the extent practical, as redevelopment occurs. of over six months occurs, full compliance with this section shall not be required.

(b) Buffer and tree planting requirements for all non-residential and multiple family residential uses.

(1) A landscape buffer with a minimum of ten feet in width shall be provided between any residentially zoned property and a property utilized for a non-residential or multiple family residential use. Responsibility for providing a landscape buffer shall be upon the nonresidential or multifamily use. The landscape buffer shall include a minimum of one native canopy tree for every 40 linear feet, or fraction thereof. In addition, one ornamental smaller tree or palm shall be planted for each 50 linear feet, or fraction thereof.

(2) A landscape buffer with a minimum of ten feet in width shall be provided along all road frontage of the site. The landscape buffer shall include a minimum of one canopy tree for every 25 feet of frontage, or fraction thereof.

(3) A continuous hedge shall be planted in all perimeter landscape buffer areas.

(4) Parking areas shall be designed so that there is a minimum of two hundred (200) square feet of open space, not including perimeter landscape buffer areas, at the end of each row of parking. In addition, a minimum of two hundred (200) square feet of open permeable green space shall be provided in the interior of the parking lot for each ten parking spaces, or fraction thereof. These open spaces shall be distributed throughout the parking lot in a manner that no more than ten parking spaces in a row shall be allowed without an intervening landscaped area.

— (5) Minimum specifications for trees and hedge material shall be as follows:

— a. Canopy trees at the time of planting shall have a trunk diameter of two four (4) inches dbh measured four and one-half feet above grade. The trees shall be a minimum of eight feet in height and have a minimum spread of five feet. The trees are not required to be spaced evenly along property lines.

— b. Ornamental trees smaller than canopy trees at the time of planting shall at the time of planting have a trunk diameter of one and one-half inches measured four and one-half feet above grade. The trees shall be a minimum of six feet in height and have a minimum spread of four feet.

— c. Palms at the time of planting shall have a minimum clear trunk of eight feet.

— d. Hedge material at the time of planting shall be a minimum of eighteen (18) inches in height when planted. Individual plants shall be planted a maximum of 24 inches on center.

— (6) All plant material shall be Florida Number 1 in quality and shall be planted according to sound landscape installation standards.

— (7) All landscaping shall be maintained to present a neat and orderly appearance. Dead, deteriorating or missing landscape material shall be replaced with substantially

equivalent landscaping as permitted by the Land Development Code in 9A-7(a).

Replacement of landscaping material shall occur within sixty (60) days of loss, unless said time is extended by the Town Manager for good cause shown.

(8) Exceptions shall be considered on an individual basis based upon demonstrated unique characteristics of the site in question. Any such reduction or relocation shall comply with the intent of this chapter when obstacles such as overhead power lines or other conditions inhibit the ability to comply.

(9) Canopy trees shall be those that develop a crown spread of 25 feet or greater at maturity. Trees with less than twenty five (25) feet of crown spread at maturity shall be considered ornamental trees.

(10) Clusters of three palms shall be an acceptable substitute for up to 50% of the required canopy trees and 50% of the required ornamental trees.

(11) Landscape material should be drought tolerant to the extent practical and feasible. A water source shall be available to ensure the plant material can be watered while it is being established and during drought occurrence. Automatic irrigation systems may be utilized.

(12) Currently developed sites that do not meet the landscape requirements will not be considered non-conforming. Landscaping consistent with the regulations shall be installed at these sites, to the extent practical, as redevelopment occurs. Unless complete reconstruction or rehabilitation that results in closure of a building or buildings for a period of over six months occurs, full compliance with this section shall not be required.

(c) Minimum replacement standards for new construction development or redevelopment under the guidelines of the Land Development Code. Any trees that are removed for new construction shall be replaced by the same or similar species. Specifically for mature oak trees 10 years old or more, replacement of one (1) two for one similar species for each tree removed shall be required which at a minimum will attain an overall height of at least twelve feet (12') and have a trunk caliper of at least two four (4) inches dbh(2") at planting, measured four and one-half feet (4.5') above grade. The two for one oak replacement is required until the mini number of canopy trees required has been met.

(d) Maintenance of trees and landscaping. If the removal of any tree or landscaping from any lot causes the number of remaining trees or vegetative species to fall below the minimum standards required by this section or as reflected on any approved site plan or landscaping plan for said lot, replacement trees or vegetative species meeting the

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requirements of this chapter section or any approved site plan or landscaping plan shall be re- planted on the lot within thirty (30) days after removal.

(` 75 Code, § 22-20) (Ord. 75-3, passed 5-27-75; Am. Ord. 87-13, passed 9-22-87; Am. Ord. 2008-08, adopted 9-3-08; Am. Ord. 2009-03, adopted 4-15-09; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23) Penalty, see § 9A-12

#### § 9A-8. TREE PROTECTION.

Consider requiring a tree preservation plan showing how the trees are to be protected during construction. This would provide the details discussed in this section and would be submitted by a Landscape Architect as part of the landscape drawings, and is standard in many communities

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##### (a) Protection of trees during land-clearing.

(1) Trees ~~that are~~ retained during land-clearing ~~of an approved development or re-development project~~ can be applied toward total tree requirements for the property. Prior to land-clearing, on-site protection must be initiated by constructing suitable protective barricades around trees to prevent mechanical damage. Barriers should be constructed around individual trees or groups of trees that are susceptible to mechanical damage.

~~Protective barriers shall be placed around all trees to be retained on the site in accordance with the University of Florida's Institute of Food and Agricultural Sciences (UF/IFAS) "Tree Preservation During Land Development"<sup>1</sup> guidance to prevent the destruction or damaging of the trees. No disturbance or addition of soil will be made within the umbrella or drip line of retained trees. Any clearing within the umbrella or drip line of such trees shall be done with utmost care and avoid the use of heavy machinery.~~ Prior to any land-clearing activity, a visual inspection of the site will be made by the Building Official ~~and the Landscape Officer~~ before a land-clearing permit is issued. The land-clearing permit must be posted on-site. Only land-clearing is permitted ~~within outside~~ the drip line of the tree to be protected.

(2) On-site protection of trees may be barriers consisting of two-by four-inch lumber or flag rope and stakes visible to workers and equipment operators, but far enough from the tree to prevent soil compaction and large enough to include the area within the drip line of the tree ~~(drip line refers to the outer edges of tree limbs and branches)~~.

(3) Should a deep filling around a tree be necessary, a dry well, retaining wall or terracing may be required. Procedures for these are available in the site planning and tree protection regulations available at the County Extension Office.

<sup>1</sup> <https://hort.ifas.ufl.edu/woody/preservation.shtml>

(b) Attachments to tree. No attachments or wires other than those of a protective nature shall be attached to any tree.

(c) Tree survival. Trees must survive on-site in a viable condition for a minimum of three (3) years after the final building inspection or certificate of occupancy is issued, or after a permit is granted for any tree replacement otherwise. Trees failing to meet this survival requirement must be replaced within 45 days after a written notification of code violation is received by the property owner from the town issued by the Town. Replacement trees must be tagged or indicated on the as built plans on file with the Town and reinspected for continued viability annually for three (3) years by Code Enforcement.

(d) Landscaping prohibition. Plants included on the current Florida Noxious Weed list – Rule 5B-57.007 in Florida Administrative Code:

(` 75 Code, § 22-21) (Ord. 75-3, passed 5-27-75; Am. Ord. 87-13, passed 9-22-87; Am. Ord. 2017-05, adopted 12-20-17)

#### § 9A-9. TREES ON PUBLIC LANDS.

No tree shall be removed from any public park or public right-of-way except under the provisions of this article.

(` 75 Code, § 22-23) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17)

#### § 9A-10. VARIATIONS TO LANDSCAPE REQUIREMENTS EXCEPTIONS.

(a) In the event that any tree shall be determined to pose an unacceptable risk as provided for in § 9A-4 or to be in a hazardous or dangerous condition so as to endanger the public health, welfare or safety and requires immediate removal without delay such tree may be removed without first obtaining a written permit as herein required.

(b) During a period of emergency, such as a hurricane, tropical storm, flood, or any other act of God, the requirements of this Article may be waived by the Town Commission.

(c) All licensed plant or tree nurseries shall be exempt from the terms and provisions of this Article only in relation to those trees planted and growing on the premises of the licensee, which are so planted and growing for sale or intended sale to the general public in the ordinary course of the licensee's business.

(d) The types of trees included on the current Florida Noxious Weed List and Florida Exotic Pest Council's List of Invasive Plant Species shall be exempt from the terms and provisions of this article and shall not be used to meet any replacement or planting

requirements. [A copy of the Florida Invasive Species Council List of Invasive Plant Species will be available from the Town code enforcement. Suggest referencing the proposed Section 9A-13.](#)

(` 75 Code, § 22-22) (Ord. 75-3, passed 5-27-75; Am. Ord. 87-13, passed 9-22-87; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23)

#### § 9A-11. RESERVED.

[\(a\) Mangroves can only be trimmed per state code, 1996 Mangrove Trimming and Preservation Act \(sections 403.9321-403.9333, F.S.\)](#)

#### § 9A-12. PENALTY.

[This is outside my area of expertise, but the fines appear quite high to me and I wonder if these provisions could be implemented and managed by the Town. Although the fines/penalties might be valued correctly, for a community that has not dealt with fines such as this, it might be better to try to do some education first and then implement a penalty program. Also, it might make sense \(like other permits\) to charge double the amount of the permit for removal if it is done without a permit.](#)

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The improper removal of each tree shall constitute a separate offense under this chapter. Violation of this chapter and imposition of the penalty shall be determined and imposed by the Code Enforcement Special Magistrate or by a court of proper jurisdiction.

**Commented [MT10]:** All fines and fees are established by Resolution and not included in an Ordinance. Currently there is not a fee for a tree removal application. The review and approval are part of the building permit fee.

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Removal of any mature oak or similar trees without first obtaining a permit from the Town as required in § 9A-4 shall constitute prima facie evidence of a violation which is irreparable or irreversible in nature for the purposes of enhanced fine assessment provided for in § 11-21(b)(1) or as otherwise amended. [Photography \(either ground, aerial, or geospatial\) or other applicable data may be used as prima-facie evidence of the existence of trees on a site prior to any unapproved removal.](#)

[Fee structure for removal of protected trees is provided below.](#)

**Commented [MT11]:** Mitigation fees must be established by the Town Commission along with the Fee Resolution. At this time, the Town does not have a tree mitigation ordinance option or fee established.

PROTECTED TREE		FEE FOR UNLAWFUL REMOVAL			
Common Name	Scientific Name	Min	Per inch: 5-10"	Per inch: 10-20"	Per inch >20" dbh*
Black mangrove	<a href="#">Avicennia germinans</a>	\$1,000			

<u>Gumbo limbo</u>	<u>Bersera simaruba</u>	<u>\$1,000</u>	<u>\$200</u>	<u>\$400</u>	<u>\$800</u>
<u>Oak, other</u>	<u>Quercus</u>	<u>\$1,000</u>	<u>\$200</u>	<u>\$400</u>	<u>\$800</u>
<u>Longleaf pine</u>	<u>Pinus palustris</u>	<u>\$1,000</u>	<u>\$200</u>	<u>\$400</u>	<u>\$800</u>
<u>Magnolia</u>	<u>Magnolia grandiflora</u>	<u>\$500</u>	<u>\$100</u>	<u>\$200</u>	<u>\$300</u>
<u>Red mangrove</u>	<u>Rhizophora mangle</u>	<u>\$1,000</u>			
<u>Sand live oak</u>	<u>Quercus geminata</u>	<u>\$2,000</u>	<u>\$400</u>	<u>\$600</u>	<u>\$1,200</u>
<u>Scrub oak</u>	<u>Quercus inopina</u>	<u>\$2,000</u>	<u>\$400</u>	<u>\$600</u>	<u>\$1,200</u>
<u>Slash pine</u>	<u>Pinus elliottii</u>	<u>\$1,000</u>	<u>\$200</u>	<u>\$400</u>	<u>\$800</u>
<u>White mangrove</u>	<u>Laguncularia racemosa</u>	<u>\$1,000</u>			

Example: A gumbo limbo 15" wide at dbh, if removed without permit, would be subject to a penalty of \$6,000 (\$400 X 15").

(` 75 Code, § 22-25) (Ord. 75-3, passed 5-27-75; Am. Ord. 87-13, passed 9-22-87; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23)

§ 9A-13. 9A-99. RESERVED.

§ 9A-13. NUISANCE TREES.

a. The following trees are considered non-native, noxious, invasive species. Property owners are encouraged to remove all such trees from the properties they own within the Town consistent with this chapter. Contact the Town's Environmental Advisory Board for free site visits to identify these species.

**Commented [MT12]:** Recommend invasive species reference.

- Brazilian pepper (Schinus terebinthifolius)
- Melaleuca (Melaleuca quinquenervia)
- Australian pine (Causarina equisetifolia)
- Carrotwood (Cupaniopsis anacardioides (A. Rich.) Radlk)
- Schefflera (Schefflera digitata)

§ 9A-14. LIST OF FLORIDA NATIVE TREES AND PLANTS.

LEGEND

+ Cold tolerant

- Cold intolerant

**Commented [MT13]:** I do not recommend listing individual species and not others that are just as relevant and native to the beachside ecosystem. Best to keep the list in accordance with existing reference to Florida Native and Florida Friendly.

<u>PROTECTED FLORIDA NATIVE TREES</u>	
<u>Common Name</u>	<u>Scientific Name</u>
Black mangrove	<i>Avicennia germinans</i>
Gumbo limbo	<i>Bersera simaruba</i>
Laurel oak	<i>Quercus Sp. hemisphaerica</i>
Live oak	<i>Quercus virginiana</i>
Hickory	
Longleaf pine	<i>Pinus palustris</i>
Magnolia	<i>Magnolia grandiflora</i>
Red mangrove	<i>Rhizophora mangle</i>
Sand live oak	<i>Quercus geminata</i>
Scrub oak	<i>Quercus inopina</i>
Slash pine	<i>Pinus elliottii</i>
White mangrove	<i>Laguncularia racemosa</i>

<u>GRASSES</u>		<u>Cold Tolerance</u>		
<u>Common Name</u>	<u>Scientific Name</u>	<u>Cold Tolerance</u>		
Beach Grass	<i>Panicum Amarulum</i>	-	-	+
Muhly Grass	<i>Muhlenbergia Capillaris</i>	-	+	-
Seashore Dropseed	<i>Sporobolus Virginicus</i>	-	+	-
Dwarf Fakahatchee	<i>Tripsacum floridanum</i>	-	-	+
Salt meadow cord grass	<i>Spartina Patens</i>	+	-	-
Smooth Cord Grass	<i>Spartina Alteriflora</i>	-	-	+
Salt grass	<i>Distichlis Spicata</i>	-	+	-
Sand Cord grass	<i>Spartina Bakeri</i>	+	-	-
Eastern Gama Grass	<i>Tripsacum Dactyloides</i>	-	+	-
Love grass	<i>Eragrotis spectabilis</i>	-	-	+
Blue-eyed grass	<i>Sisyrinchium atlanticum</i>	+	-	-

<u>GROUND COVER</u>		<u>Cold Tolerance</u>		
<u>Common Name</u>	<u>Scientific Name</u>	<u>Cold Tolerance</u>		
Adams Needle	<i>Yucca Filamentosa</i>	-	+	-
Beach Elder	<i>Iva Imbricata</i>	-	-	+
Bracken Fern	<i>Pteridium Aquilinum</i>	-	-	+
Coontie/Arrowroot	<i>Integrifolia, Angustifolia</i>	-	+	-
Coontie/Arrowroot	<i>Zamia Floridana, Pumila</i>	-	+	-
Florida Beargrass	<i>Nolina Atropocarpa</i>	-	-	+
Florida Beargrass	<i>Nolina Brittoniana</i>	-	-	+

<u>Glaswort</u>	<u>Salicornia Spp Native</u>	-	-	+
<u>Golden Creeper</u>	<u>Ernodea Littoralis</u>	-	-	-
<u>Gopher Apple</u>	<u>Licania Michauxii</u>	-	-	+
<u>Penny Royal</u>	<u>Piloblepharis Rigida</u>	-	-	+
<u>Prickly Pear</u>	<u>Opuntia Humifusa</u>	-	+	-
	<u>Compressa</u>			
<u>Prickly Pear</u>	<u>Opuntia Stricta</u>	-	+	-
<u>Rosemary</u>	<u>Creatiola Erocoides</u>	-	-	+
<u>Runner Oak</u>	<u>Quercus Pumila</u>	-	+	-
<u>Sea Oats</u>	<u>Uniola Paniculata</u>	-	+	-
<u>Spanish Dagger</u>	<u>Yucca Aloifolia</u>	+	-	-
<u>St Johns Wort</u>	<u>Hypericum Spp</u>	-	+	-

<u>LARGE TREES</u>				
<u>Common Name</u>	<u>Scientific Name</u>	<u>Cold Tolerant</u>		
<u>Bald cypress</u>	<u>*Taxodium distichum</u>	-	-	+
<u>False dogwood or southern soapberry</u>	<u>Sapindus saponaria</u>	-	-	+
<u>Gumbo limbo</u>	<u>Bersera simaruba</u>	-	-	-
<u>Laurel oak</u>	<u>Quercus hemisphaerica</u>	-	+	-
<u>Live oak</u>	<u>Quercus virginiana</u>	-	-	+
<u>Magnolia</u>	<u>Magnolia grandiflora</u>	-	-	+
<u>Sand live oak</u>	<u>Quercus geminata</u>			
<u>Slash pine</u>	<u>Pinus elliottii</u>	-	-	+
<u>Soapberry</u>	<u>Sapindus marginatus</u>	-	-	+
<u>* Commercial applications around retention areas.</u>				

<u>MEDIUM TREE</u>				
<u>Common Name</u>	<u>Scientific Name</u>	<u>Cold Tolerant</u>		
<u>American elm</u>	<u>Ulmus americana</u>	-	+	-
<u>Black ironwood</u>	<u>Krugiodendron ferreum</u>	-	-	-
<u>Black mangrove</u>	<u>Avicennia germinans</u>	-	+	-
<u>Blolly</u>	<u>Guapira discolor</u>	-	-	-
<u>Cherry laurel</u>	<u>Prunus caroliniana</u>	-	-	+
<u>Dahoon holly</u>	<u>Ilex cassine</u>	-	-	+
<u>Florida maple</u>	<u>Acer saccharum</u>	-	+	-
<u>Green buttonwood</u>	<u>Conocarpus erectus</u>	-	-	-
<u>Mastic tree</u>	<u>Mastichodendron foetidissimum</u>	-	-	-
<u>Persimmon</u>	<u>Diospyros virginiana</u>	-	-	+

Pigeon	<i>Coccoloba diversifolia</i>	-	-	-
Pignut hickory	<i>Carya glabra</i>	-	+	-
Red bay	<i>Persea borbonia</i>	+	-	-
Red mangrove	<i>Rhizophora mangle</i>	-	-	-
Red maple	<i>Acer rubrum</i>	-	-	+
Sand pine	<i>Pinus clausa</i>	-	-	±
Satin leaf	<i>Chrysophyllum oliveiforme</i>	-	-	-
Scrub hickory	<i>Carya floridana</i>	-	+	-
Silk Bay	<i>Persea humilis</i>	-	-	+
Southern red cedar	<i>juniperis silicicola</i>	-	-	-
Swamp bay	<i>Persea pustris</i>	-	-	+
Winged elm	<i>Ulmus alata</i>	-	-	±

PALMS				
Common Name	Scientific Name	Cold Tolerant		
Cabbage palm	<i>Sabal Palmetto</i>	-	+	-
Florida silver palm	<i>Cocco thrinax-argentata</i>	-	-	-
Parotis palm	<i>Acoelorrhaphes wrightii</i>	-	+	-
Royal palm	<i>Roystonea elata</i>	-	-	-

SHRUBS				
Common Name	Scientific Name	Cold Tolerance		
Firebush	<i>Hamelia patens</i>	-	-	-
Simpson stopper	<i>Myrcianthes simpsonii</i>	+	-	-
White stopper	<i>Eugenia axillaris</i>	-	+	-
Salt bush	<i>Baccharis halimifolia</i>	-	-	+
Myrtle oak	<i>Quercus myrtifolia</i>	-	-	+
Running oak	<i>Quercus pumila</i>	-	+	-
Wild lime	<i>Zanthoxylum fagara</i>	-	-	+
Beauty berry	<i>Callicarpa americana</i>	-	-	+
Blueberry	<i>vaccinium native sp</i>	-	-	+
Carolina aster	<i>Aster carolinianus</i>	-	+	-
Cassia	<i>Cassia ligustrina</i>	-	-	-
Cassia	<i>Cassia chapmanii</i>	-	-	-
Christmas berry	<i>Lycium carolinianum</i>	-	+	-
Coral bean	<i>Erythrina herbacea</i>	-	-	+
Dwarf live oak	<i>Quercus minima</i>	-	+	-
Fetter bush	<i>Lyonia Lucida</i>	-	-	+
Florida privet	<i>Foresteria segregata</i>	-	-	+
Frostweed	<i>Verbesina virginica</i>	-	-	+

<u>Lantana</u>	<u>Lantana depressa</u>	+	-	-
<u>Lantana</u>	<u>Lantana involucrata</u>	-	+	-
<u>Marlberry</u>	<u>Ardisia escallonioides</u>	-	-	+
<u>Marsh elder</u>	<u>Iva imbricata</u>	-	-	-
<u>Necklace pod</u>	<u>Sophora tomentosa</u>	-	-	-
<u>Needle palm</u>	<u>Rhapidophyllum hystrix</u>	-	+	-
<u>Saw palmetto</u>	<u>Serenoa repens</u>	-	+	-
<u>Small privet</u>	<u>Foresteria pinetorum</u>	-	-	+
<u>Snow berry</u>	<u>Chiococca alba</u>	-	+	-
<u>Staggerbush</u>	<u>Lyonia ferruginea</u>	-	+	-
<u>Staggerbush</u>	<u>Lyonia fruticosa</u>	-	+	-
<u>Walters viburnum</u>	<u>Viburnum obovatum</u>	-	-	+
<u>Wax myrtle</u>	<u>Myrcia cerifera</u>	-	+	-
<u>Wild coffee</u>	<u>Psychotria nervosa</u>	-	-	-
<u>Wild coffee</u>	<u>Psychotria sulzneria</u>	-	-	-

## SMALL TREES

<u>Common Name</u>	<u>Scientific Name</u>	<u>Cold Tolerant</u>		
<u>American holly</u>	<u>Ilex opaca</u>	-	-	-
<u>Chapman oak</u>	<u>Quercus Chapmanii</u>	-	-	+
<u>Coco plum</u>	<u>Chrysobalanus icaco</u>	-	-	-
<u>Fiddlewood</u>	<u>Citharexylum fruticosum</u>	-	-	-
<u>Firebush</u>	<u>Hamelia patens</u>	-	-	-
<u>Florida privet</u>	<u>Forestiera segregata</u>	-	-	+
<u>Guiana plum</u>	<u>Drypetes lateriflora</u>	-	-	-
<u>Inkwood</u>	<u>Exothea paniculata</u>	-	-	-
<u>Jamaica caper</u>	<u>Capparis cyanophallophora</u>	-	-	-
<u>Lancewood</u>	<u>Nectandra coriacea</u>	-	-	-
<u>Limber caper</u>	<u>Capparis flexuosa</u>	-	-	-
<u>Myrtle oak</u>	<u>Quercus myrti Folia</u>	-	-	+
<u>Myrsine</u>	<u>Myrsine floridana</u>	-	-	-
<u>Salt bush</u>	<u>Baccharis halimifolia</u>	-	-	+
<u>Sand live oak</u>	<u>Quercus geminata</u>	-	-	+
<u>Scrub oak</u>	<u>Quercus inopino</u>	-	+	-
<u>Sea grape</u>	<u>Coccoloba uvifera</u>	-	-	-
<u>Simpson stopper</u>	<u>Myrcianthes simpsonii</u>	+	-	-
<u>Southern sumac</u>	<u>Rhus copallina</u>	-	+	-
<u>Spanish stopper</u>	<u>Eugenia foetida</u>	-	-	-
<u>Sweet acacia</u>	<u>Acacia farnesiana</u>	-	+	-
<u>Tough bumelia</u>	<u>Bumelia tenax</u>	-	+	-
<u>Varnish leaf</u>	<u>Dodonea viscosa</u>	-	-	-

<u>Wax Myrtle</u>	<u>Myrica cerifera</u>	-	+	-
<u>White mangrove</u>	<u>Laguncularia racemosa</u>	-	-	-
<u>White stopper</u>	<u>Eugenia axillaris</u>	-	+	-
<u>Wild lime</u>	<u>Zanthoxylum fagara</u>	-	-	+
<u>Yaupon holly</u>	<u>Ilex vomitoria</u>	-	-	+

<u>VINES</u>				
<u>Common Name</u>	<u>Scientific Name</u>	<u>Cold Tolerant</u>		
Beach Bean	<u>Canavalia Obtusifolia</u>	-	-	-
Beach Morning Glory	<u>Ipomea Stolonifera</u>	-	-	-
Coral honeysuckle	<u>Lonicera Semprevire</u>	-	-	+
Corky stem passion vine	<u>Passiflora Suberosa</u>	-	-	-
Grapes	<u>Vitis Native Spp</u>	-	+	-
Gray Nickerbean	<u>Caesalpinia Bonduc Crista</u>	-	-	-
Maypop	<u>Passiflora incarnata</u>	-	-	-
Morning Glory	<u>Ipomea Spp</u>	-	+	-
Railroad Vine	<u>Ipomea pes-caprae</u>	-	-	-
Virginia Creeper	<u>Parthenocissus Quinque Folia</u>	-	+	-

<u>WILDFLOWERS</u>				
<u>Common Name</u>	<u>Scientific Name</u>	<u>Cold Tolerant</u>		
Beach Croton	<u>Croton Punctatus</u>	-	+	-
Beach Sunflower	<u>Helianthus Debilis</u>	-	+	-
Beach Verbenia	<u>Verbenia Maritima</u>	-	+	-
Black eyed susan	<u>Rudbeckia hirta</u>	+	-	-
Blazing Star	<u>Liatris Tenuifolia</u>	-	+	-
Blue Curl	<u>Trichostema Dichotomum</u>	-	+	-
Blue Eyed Grass	<u>Sysyrinchium Atlanticum</u>	+	-	-
Firewheel	<u>Gaillardia Pulchella</u>	-	-	+
Goldenrod	<u>Solidago Spp</u>	-	-	+
Horse Mint	<u>Monarda Puncata</u>	-	-	+
Partridge Pea	<u>Cassia Spp</u>	-	+	-
Pink Purslane	<u>Portulaca Pilosa</u>	-	+	-
Purslane	<u>Portulaca Rubricaulis</u>	-	-	+
Sea Oxide Daisy	<u>Borrichia Spp</u>	-	+	-
Sea Purslane	<u>Sesuvium Portula Castrum</u>	-	+	-
Seaside Evening Primrose	<u>Oenothera Humifusa</u>	-	+	-
Seaside Gentian	<u>Eustoma Exaltatum</u>	-	+	-
Spider Lily	<u>Hymenocallis Latifolia</u>	-	+	-

St. Johns Wort	Hypericum Spp	+	-	-
Standing Cypress	Ipomopsis Rubra	-	+	-
Tampa Verbenia	Verbenia Tempensis	-	+	-
Tropical Sage	Salvia Coccinea	-	+	-
Twin Flower	Dyschoriste Spp	-	-	-
Wild Cotton	Gossypum Hirsutum	-	-	-
Wild Petunia	Ruellia Caroliniensis	-	-	+
Wild Plumbago	Plumbago Scandens	-	+	-
Yellow Top	Flaveria Linearis	-	+	-

Legend

A	Aquatic
G	Ground cover
GR	Grass
LT	Large tree: average mature height over 60 feet
MT	Medium tree: average mature height over 20 feet
P	Palm
S	Shrub
ST	Small tree: average mature height of at least ten feet and less than 20 feet
V	Vine
W	Wildflower

DAMP TO WET AREA PLANTS		Common Name	Scientific Name	-	-	Cold	Salt
-		Alligator lily	Hymenocallis palmeri	-	-	-	+
G	Batis	Batis maritima	Batis maritima	-	-	+	+
S	Beauty berry	Callicarpa americana	Callicarpa americana	-	-	+	+
GR	Blue eyed grass	Sisyrinchium atlanticum	Sisyrinchium atlanticum	+	+	-	-
W	Blue flag iris	Iris hexagona	Iris hexagona	-	-	-	-
W	Bushy aster	Aster dumosus	Aster dumosus	-	-	+	-
W	Canna lily	Canna flacida	Canna flacida	-	-	-	-
S	Buttonbush	Cephaelanthus occidentalis	Cephaelanthus occidentalis	-	+	-	-
W	Cardinal flower	Lobelia cardinalis	Lobelia cardinalis	+	-	-	-
V	Climbing aster	Aster carolinianus	Aster carolinianus	-	+	-	-
S-ST	Coastal plains willow	Salix caroliniana	Salix caroliniana	-	+	+	-

<u>W</u>	<u>Coreopsis</u>	<u>Coreopsis leavenworthii</u>	-	+	+	-
<u>ST</u>	<u>Dahoon holly</u>	<u>Ilex cassine</u>	-	-	+	+
<u>A</u>	<u>Duck potato</u>	<u>Sagittaria sp</u>	-	-	+	+
<u>GR</u>	<u>Eastern gamma grass</u>	<u>Tripsacium dactyloides</u>	-	+	+	-
<u>S</u>	<u>Elderberry</u>	<u>Sambucus canadensis</u>	-	-	+	-
<u>S</u>	<u>Gallberry</u>	<u>Ilex glabra</u>	-	-	+	+
<u>WF</u>	<u>Goldenrod</u>	<u>Solidago sp.</u>	-	-	+	-
<u>S</u>	<u>Hibiscus</u>	<u>Hibiscus coccinea or grandiflora</u>	-	-	+	-
<u>G</u>	<u>Lemon bacopa</u>	<u>Bacopa caroliniana</u>	-	+	+	-
<u>MT</u>	<u>Loblolly bay</u>	<u>Gordonia lasianthus</u>	-	-	+	-
<u>ST</u>	<u>Mangroves</u>		-	-	+	+
<u>W</u>	<u>Narrow-leaved sunflower</u>	<u>Helianthus angustifolius</u>	+	+	-	-
<u>A</u>	<u>Pickeralweed</u>	<u>Pontederia cordata</u>	-	-	+	+
<u>W</u>	<u>Rayless sunflower</u>	<u>Helianthus radula</u>	-	+	-	-
<u>P</u>	<u>Sabal palm</u>	<u>Sabal palmetto</u>	-	-	+	+
<u>G</u>	<u>Sand Cordgrass</u>	<u>Spartina bakeri</u>	+	-	-	-
<u>G</u>	<u>Sandweed</u>	<u>Hypericum fasciculatum</u>	-	+	+	-
<u>W</u>	<u>Sea ox-eye daisy</u>	<u>Borrichia frutescens</u>	-	+	+	-
<u>W</u>	<u>Sea purslane</u>	<u>Sesuvium portulacastrum</u>	-	+	+	-
<u>W</u>	<u>Seaside gentian</u>	<u>Eustoma exaltatum</u>	-	+	+	-
<u>A</u>	<u>Sofrush</u>	<u>Juncus effusus</u>	-	-	+	+
<u>W</u>	<u>Spiderwort</u>	<u>Tradescantia ohiensis</u>	-	-	+	+
<u>G</u>	<u>St. Andrews cross</u>	<u>Hypericum hypericoides</u>	-	+	+	-
<u>G</u>	<u>Sunshine Mimosa</u>	<u>Mimosa strigillosa</u>	-	-	+	+
<u>W</u>	<u>Swamp Milkweed</u>	<u>Asclepias incarnata</u>	-	-	+	+
<u>MT</u>	<u>Sweet bay</u>	<u>Magnolia virginica</u>	-	+	+	-
<u>W</u>	<u>Vanilla plant</u>	<u>Carphephorus paniculatus</u>	-	+	+	-
<u>W</u>	<u>Violets</u>	<u>Viola affinis</u>	-	-	-	-
<u>G</u>	<u>Water dropwort</u>	<u>Oxypolis filiformis</u>	-	+	+	-
<u>G</u>	<u>Water hyssop</u>	<u>Bacopa monnieri</u>	-	+	+	-
<u>W</u>	<u>Yellowtop</u>	<u>Flaveria linearis</u>	-	+	+	-
<u>G</u>	<u>Glaswort</u>	<u>Salicornia spp</u>	-	-	+	+
-	<u>Leather fern</u>	<u>Acrostichum dandefolium</u>	-	-	+	-
<u>S</u>	<u>Saltmarsh mallow</u>	<u>Kosteletzkaya virginica</u>	-	+	+	-
<u>LT</u>	<u>Bald cypress</u>	<u>Taxodium distichum</u>	-	-	+	+

Plants approved for use along the 4RM AND 5RMO.

<b>Common Name</b>	<b>Scientific Name</b>
Indian Hawthorne	<u>Rhaphiolepis Indica "Alba"</u>
Juniper—Parsoni	<u>Juniperus chinensis "Parsonii"</u>
Juniper—Torulosa	<u>Juniperus chinensis "Torulosa"</u>
King Sago	<u>Cycas Revoluta</u>
Buttonwood Green	<u>Conocarpus erectus</u>
Buttonwood Silver	<u>Conocarpus erectus sericeus</u>
Cord Grass	<u>Spartina Bakeri</u>
Necklace Pod	<u>Sophora Tomentosa</u>
Bird of Paradise	<u>Strelitzia Reginae</u>
Elaeagnus	<u>Elaeagnus pungens</u>
Arbicola	<u>Schefflera Arboricola</u>
Coco Plum	<u>Chrysobalanus Icaco</u>
Natal Plum	<u>Carissa Macrocarpa</u>
Pittosporum Green/Varigated	<u>Pittosporum tobira</u>
Palmetto	<u>Sabal Palmetto</u>
Madagascar Olive	<u>Norohnia Emarginata</u>
Sea Oats	<u>Uniola Paniculata</u>
Gallardia	<u>Gaillardia pulchella</u>
Coontie	<u>Zamia Pumila</u>
Zamia	<u>Zamia Maritima</u>
Confederate Jasmine	<u>Trachelospermum Jasminoides</u>
Pindo Palm	<u>Butia Capitata</u>
Cabbage Palm	<u>Sabal palmetto</u>
Sprenger Fern	<u>Asparagus densiflorus</u>
Fiddlewood	<u>Citharexylum spinosum</u>
Dune Sunflower	<u>Helianthus Debilis</u>
Gazania Daisey	<u>Gazania</u>

The following plants may be used along the 4RM AND 5RMO if protected from the direct wind and salt spray:

<b>Common Name</b>	<b>Scientific Name</b>
Liriope	<u>Liriope "Evergreen Giant"</u>
Oleander Dwarf/Standard	<u>Nerium oleander</u>
Ligustrum	<u>Ligustrum Lucidum</u>
Florida Privet	<u>Forestiera Segregata</u>
Yaupon—Weeping	<u>Ilex vomitoria pendula</u>
Walter's Viburnum	<u>Viburnum Obovatum</u>
Podocarpus	<u>Podocarpus macrophyllus</u>

<u>Ilex Schillings</u>	<u>Ilex vomitoria "Stokes Dwarf"</u>
<u>Ixora</u>	<u>Ixora</u>
<u>Jatropha</u>	<u>Jatropha</u>
<u>European Fan Palm</u>	<u>Chamaerops Humilis</u>
<u>Coconut Palm</u>	<u>Cocos nucifera</u>
<u>Hibiscus</u>	<u>Hibiscus</u>
<u>Snow Bush</u>	<u>Breynia Disticha</u>
<u>Simpson's Stopper</u>	<u>Myrcianthes Fragrans</u>
<u>Croton</u>	<u>Codiaeum Variegatum</u>
<u>Allamanda</u>	<u>Allamanda cathartica</u>
<u>Agapanthus</u>	<u>Agapanthus arficanus</u>
<u>Blue Daze</u>	<u>Evolvulus glomeratus</u>
<u>Hibiscus</u>	<u>Hibiscus</u>
<u>East Palatka Holly</u>	<u>Ilex attenuata "East Palatka"</u>
<u>Geiger Tree</u>	<u>Cordia sebestena</u>
<u>Foxtail Palm</u>	<u>Wodyetia bifurcata</u>
<u>Bismarkia Palm</u>	<u>Bismarckia nobilis</u>
<u>Paurotis Palm</u>	<u>Acoelorrhaphes wrightii</u>
<u>Fountain Grass</u>	<u>Pennisetum setaceum</u>
<u>Crinum Lily</u>	<u>Crinum lily</u>
<u>Society Garlic</u>	<u>Tulbaghia violacea</u>
<u>Indian Hawthorne</u>	<u>Rhaphiolepis Indica "Alba"</u>
<u>Juniper—Parsoni</u>	<u>Juniperus chinensis "Parsonii"</u>
<u>Juniper—Torulosa</u>	<u>Juniperus chinensis "Torulosa"</u>
<u>King Sago</u>	<u>Cycas Revoluta</u>
<u>Buttonwood Green</u>	<u>Conocarpus erectus</u>
<u>Buttonwood Silver</u>	<u>Conocarpus erectus sericeus</u>
<u>Cord Grass</u>	<u>Spartina Bakeri</u>
<u>Necklace Pod</u>	<u>Sophora Tomentosa</u>
<u>Bird of Paradise</u>	<u>Strelitzia Reginae</u>
<u>Elaeagnus</u>	<u>Elaeagnus pungens</u>
<u>Arbicola</u>	<u>Schefflera Arboricola</u>
<u>Coco Plum</u>	<u>Chrysobalanus Icaco</u>
<u>Natal Plum</u>	<u>Carissa Macrocarpa</u>
<u>Pittosporum Green/Varigated</u>	<u>Pittosporum tobira</u>
<u>Palmetto</u>	<u>Sabal Palmetto</u>
<u>Madagascar Olive</u>	<u>Norohnia Emarginata</u>
<u>Sea Oats</u>	<u>Uniola Paniculata</u>
<u>Gallardia</u>	<u>Gaillardia pulchella</u>
<u>Coontie</u>	<u>Zamia Pumila</u>

<u>Zamia</u>	<u>Zamia Maritima</u>
<u>Confederate Jasmine</u>	<u>Trachelospermum Jasminoides</u>
<u>Pindo Palm</u>	<u>Butia Capitata</u>
<u>Cabbage Palm</u>	<u>Sabal palmetto</u>
<u>Sprenger Fern</u>	<u>Aspargus densiflorus</u>
<u>Fiddlewood</u>	<u>Citharexylum spinosum</u>
<u>Dune Sunflower</u>	<u>Helianthus Debilis</u>
<u>Gazania Daisey</u>	<u>Gazania</u>

[§§ 9A-15.–9A-99. RESERVED.](#)

## ARTICLE I. WETLANDS PROTECTION

### § 11A-1. PURPOSE AND INTENT.

The purpose of this chapter is to protect, preserve and enhance the natural functions of wetlands and other environmentally sensitive areas. It is also the intent of this article to apply the following standards for development in and adjacent to wetlands.

(Am. Ord. 2017-05, adopted 12-20-17)

### § 11A-2. GENERAL PROVISIONS.

(a) During the review of a site plan or any other plan for development, the Town Manager shall use the Natural Wetlands Inventory maps, the Brevard County Soil Survey, the Town Comprehensive Plan, aerial photography or other applicable data in order to determine the potential existence of wetlands on or adjacent to the site.

(b) If a review of the above documents indicates that wetlands may exist on or adjacent to the site, the Town manager or designee shall contact the property owner appropriate authorities listed in section 11A-2(c) to perform verification of wetland determination and provide guidance on and follow wetlands permitting requirements. an inspection will be performed by the Town Manager.

(c) Based on the assessment of the above site visit, the Town Manager may require the developer to property owner shall have the site inspected by a representative from the St. Johns River Water Management District for a determination of jurisdictional limits of the site. This may require the involvement of the Army Corps of Engineers, the Department of Environmental Regulation and the Department of Natural Resources.

(d) No building permit will be issued by the Town until either the site plan has been approved or an exemption letter has been issued by the applicable environmental agency.

(e) All proposed development adjacent to canals, the Indian River and east of State Road A1A will automatically be reviewed under the above process.

(Am. Ord. 2017-05, adopted 12-20-17)

#### § 11A-3. PERMITTED USES IN WETLANDS.

The following uses shall be permitted in wetlands provided that they are approved by the St. Johns River Water Management District or the applicable environmental agency:

- (1) Open space;
- (2) Fish and wildlife management;
- (3) Recreation; or
- (4) Any other use deemed appropriate by the St. Johns River Water Management District or the Department of Natural Resources.

(Am. Ord. 2017-05, adopted 12-20-17)

#### § 11A-4. PROHIBITED USES IN WETLANDS.

The following uses are specifically prohibited in wetlands:

- (1) Residential, commercial, industrial and institutional uses, except as provided for in § 1A-3;
- (2) Disposal of solid or liquid wastes, and the application or storage of pesticides and herbicides; and
- (3) Any activity which impairs the function of the wetlands.

(Am. Ord. 2017-05, adopted 12-20-17)

#### §§ 11A-5. – 11A-99. RESERVED.