



TOWN OF MELBOURNE BEACH

REGULAR TOWN COMMISSION MEETING

SEPTEMBER 17, 2025

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Town of Melbourne Beach

REGULAR TOWN COMMISSION MEETING

Wednesday, September 17, 2025

Immediately following the 6:00 pm meeting

COMMUNITY CENTER – 509 OCEAN AVENUE

PUBLIC NOTICE AGENDA

Commission Members:

Mayor Alison Dennington
Vice Mayor Dawn Barlow
Commissioner Robert Baldwin
Commissioner Anna Butler
Commissioner Tim Reed

Staff Members:

Town Manager Elizabeth Mascaro
Town Attorney Ryan Knight
Town Clerk Amber Brown

1. **Call to Order**
2. **Roll Call**
3. **Pledge of Allegiance and Moment of Silence**
4. **Meeting Agenda – Additions/Deletions/Changes**
5. **Proclamations/Awards**
6. **Presentations by Special Guests (Maximum of 5 Minutes)**
 - A. Presentation for an Honor Walk by the Parks Board
 - B. Presentation for the Sixth Ave boat ramp by the Planning and Zoning Board
7. **Public Comment (Non-Agenda Items)**

After being acknowledged by the Mayor, members of the public should state their name and address for the record. The Commission encourages citizens to prepare their comments in advance. Each individual will have three (3) minutes to address the Commission on any topic(s) related to Town business, not on the Agenda.
8. **Consent Agenda**
 - A. Approval of the August 19, 2025 Special Town Commission Meeting minutes

- B. Approval of the August 20, 2025 Special Town Commission Meeting minutes
- C. Approval of the August 20, 2025 Regular Town Commission Meeting minutes
- D. Approval of the August 25, 2025 Special Town Commission Meeting minutes
- E. Approval of the September 3, 2025 first Special Town Commission Meeting minutes
- F. Approval of the site plan for 206 Sixth Ave – renovation, addition, and paver driveway

9. Public Hearings/Special Orders

10. Unfinished Business

- A. Discussion on the proposed parking ordinance language – Town Attorney Ryan Knight
- B. Consideration of the proposal for the seawall at the Sixth Ave boat ramp – Town Manager Elizabeth Mascaro

11. New Business

- A. Consideration of the proposals from the invitation to bid for basin 1 improvements – Town Manager Elizabeth Mascaro
- B. Consideration of the Town Manager Employment Agreement Extension
- C. Consideration of the Town Zoning Official Agreement
- D. Consideration of a cyber and data security presentation from the Town's IT service provider – Commissioner Tim Reed

12. Finance/Budget Report

13. Town Staff/Board Reports

- A. Technology Advisory Board
- B. Building Department
- C. Public Works Department
- D. Code Enforcement
- E. Fire Department
- F. Police Department
- G. Town Clerk
- H. Town Attorney
- I. Town Manager

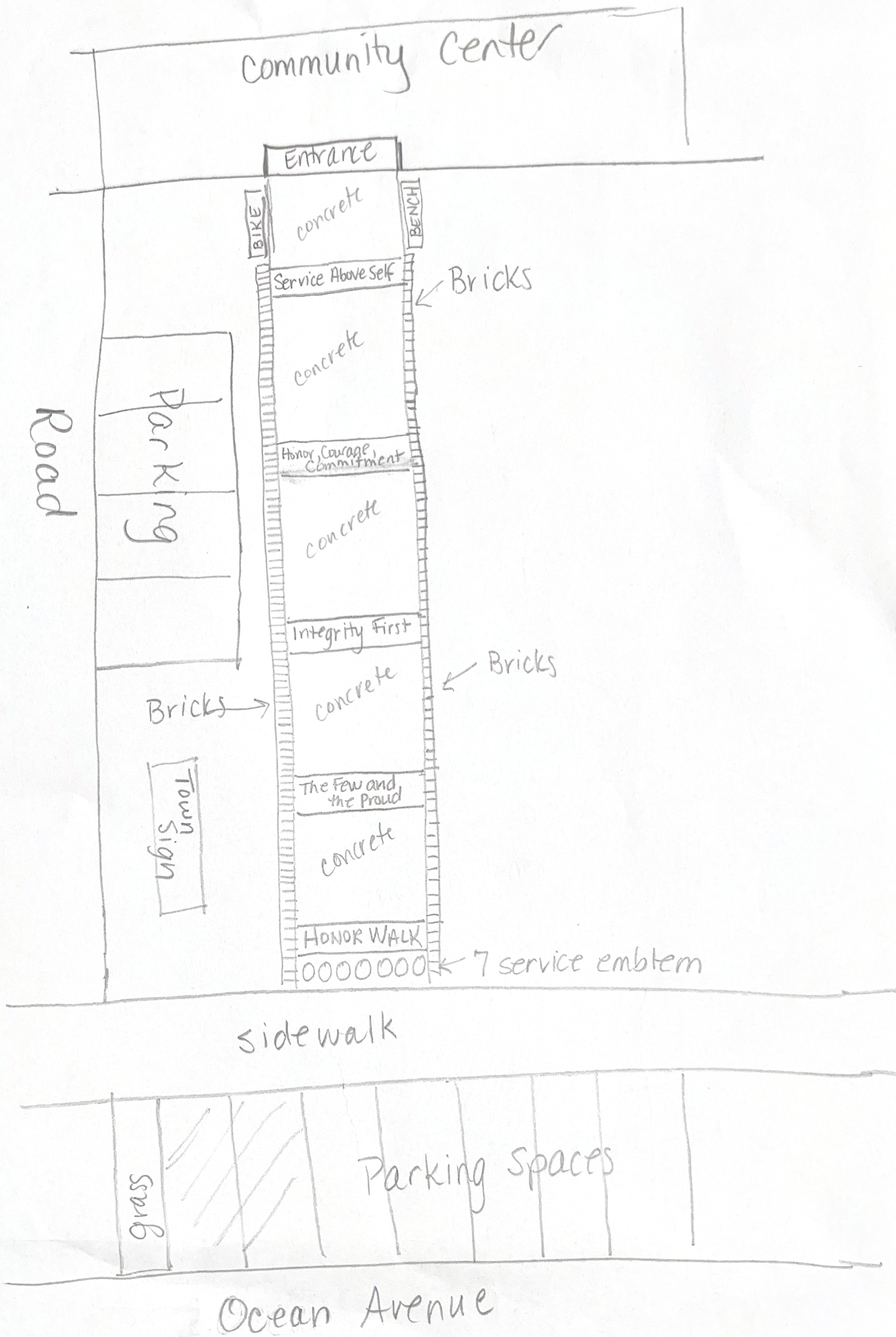
14. Commission Reports

- A. Mayor Alison Dennington
- B. Vice Mayor Dawn Barlow

15. Task List

16. Adjournment

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, THE TOWN HEREBY ADVISES THE PUBLIC THAT: In order to appeal any decision made at this meeting, you will need a verbatim transcript of the proceedings. It will be your responsibility to ensure such a record is made. Such person must provide a method for recording the proceedings verbatim as the Town does not do so. In accordance with the Americans with Disability Act and Section 286.26, Florida Statutes, persons needing special accommodations for this meeting shall, at least 5 days prior to the meeting, contact the Office of the Town Clerk at (321) 724-5860 or Florida Relay System at 711.



Planning & Zoning Board
Dock and Ramp Considerations
Tuesday, September 8, 2025

A) Needs of the Ramp Area:

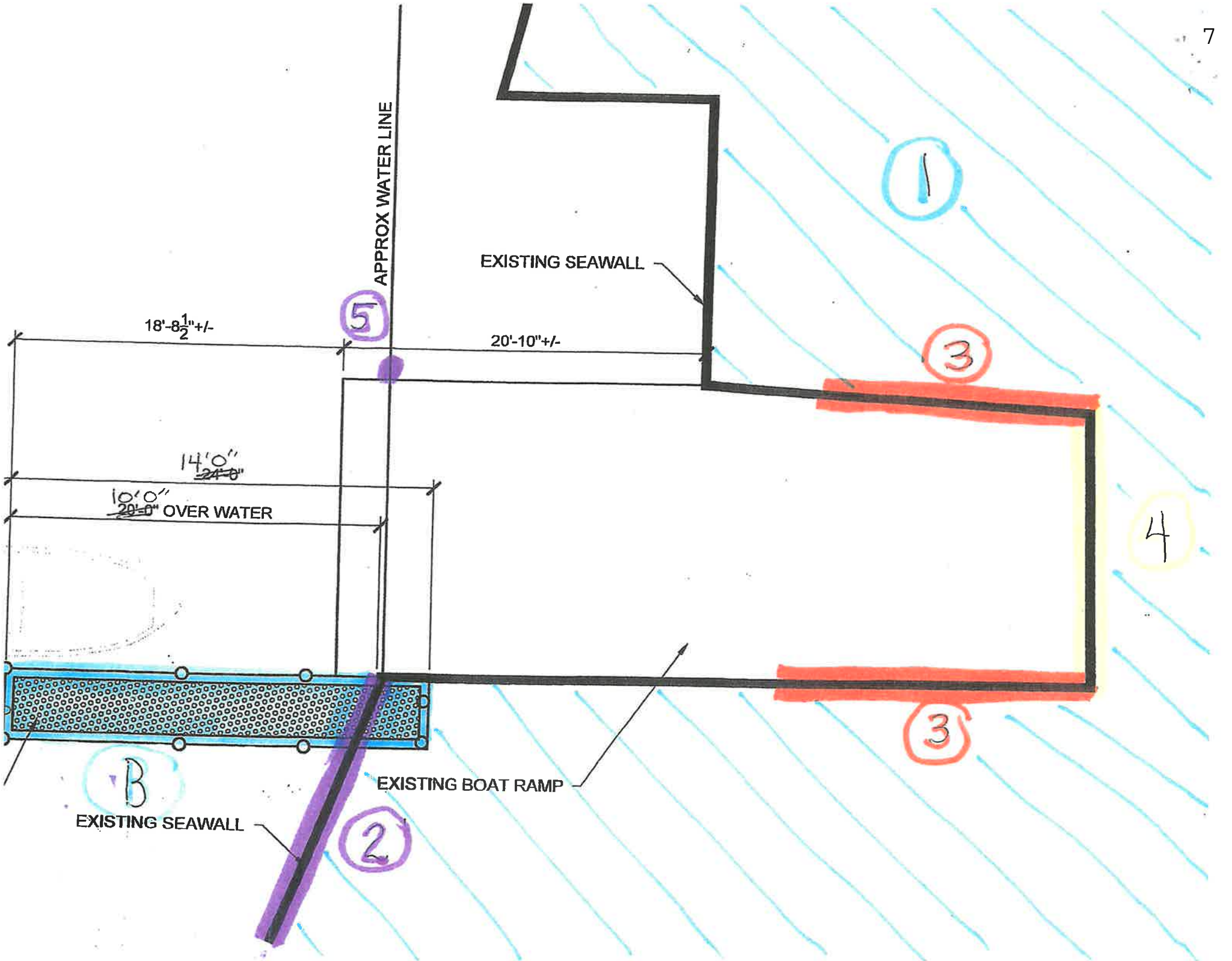
- 1) Scrape the ramp approach area to create a swale effect in the middle. Raise the foundation of the land to be level behind the walls.
- 2) Rebuild the south seawall level with the Atkinson's seawall (about 12-15" higher). Request regular warranty from seawall builder.
- 3) Build seawall high walls along both sides of the ramp.
- 4) Install a removable gate at the end of the walls to "close" the ramp.
- 5) Replace the unstable white pole on north side of the ramp at water's edge with a piling secured into the coquina rock.
- 6) Make two trash bins available like at 5th Avenue Park. (*Existing)

B) The Dock:

- 1) Build a ten-foot by four-foot dock with embedded support pilings.
- 2) Four-foot ThruFlow Legacy XP plastic decking.
- 3) Add a standing piling five-to-eight feet beyond the dock.
- 4) Add a depth indicator strip on last dock piling.
- 5) Railing needed?
- 6) Request regular warranty from dock builder.

C) Signage and Other (* means existing):

- 1) Parking only for residents with current sticker.*
- 2) No overnight parking from 9pm to 5am.*
- 3) No trailer parking on street within two blocks of the ramp area.
- 4) Caution: Use boat ramp at your own risk.*
- 5) Caution: Slippery when wet.*
- 6) Caution: Shallow water.
- 7) Recreational use only.*
- 8) No loitering.
- 9) No littering.
- 10) No fishing? There is already fishing regularly from the seawalls.



Town of Melbourne Beach

SPECIAL TOWN COMMISSION MEETING

August 19, 2025 at 5:30 p.m.

COMMUNITY CENTER – 509 OCEAN AVENUE

MINUTES

Commission Members:

Mayor Alison Dennington
 Vice Mayor Dawn Barlow
 Commissioner Robert Baldwin
 Commissioner Anna Butler
 Commissioner Tim Reed

Staff Members:

Town Manager Elizabeth Mascaro
 Town Attorney Ryan Knight
 Town Clerk Amber Brown

1. Call to Order

Mayor Alison Dennington called the meeting to order at 5:31 p.m.

2. Roll Call

Town Clerk Amber Brown conducted roll call

Commission Members Present

Mayor Alison Dennington
 Vice Mayor Dawn Barlow
 Commissioner Robert Baldwin
 Commissioner Anna Butler
 Commissioner Tim Reed

Staff Members Present

Town Manager Elizabeth Mascaro
 Town Attorney Ryan Knight
 Finance Manager Jennifer Kerr
 Police Chief Tim Zander
 Town Clerk Amber Brown

3. Pledge of Allegiance and Moment of Silence

Mayor Alison Dennington led the Pledge of Allegiance.

4. Public Comments

After being acknowledged by the Mayor, members of the public should state their name and address for the record. The Commission encourages citizens to prepare their comments in advance. Each individual will have three (3) minutes to address the Commission on any topic(s) related to Town business, not on the Agenda.

Town Manager Elizabeth Mascaro spoke about walk-on pages that have been updated, including page 7a, the Brevard County Police Officer Starting Pay Survey & 2025 Raises, FY25 Salary Comparison-Current Year, FY26 Comparative Proposed City Millage Rates. - 4:10

Mayor Alison Dennington spoke about 2 documents she provided, including data on Melbourne Beach Commercial Office/Retail and Indialantic Commercial Office/Retail.

***Jan Pence – 200 Riverside Drive** – Asked if the Mayor could pronounce the Town Manager's name correctly.*

***Suzie Stark – 307 Fifth Ave** – Spoke about watching respectful communication decline, comparing it to a reality TV way of communicating. Spoke about how emails/texts/social media posts can also diminish effective communication. Let's all strive to do better.*

5. Public Hearings/Special Orders

A. Voting on items within the FY 2025-2025 budget

Town Manager Elizabeth Mascaro spoke about there should be a vote on the items that are currently intact. - 14:48

Commissioner Tim Reed volunteered to lead. Spoke about page 11, which is the General Fund 001 Department 11 Legislative Expenses. Proposed cutting executive salaries for the Town Commission to \$15,000, with each seat getting \$3,000.

Commissioner Tim Reed made a motion that we reduce Executive Salaries to a total sum of \$15,000 in the FY26 budget, and that would be assigned at \$3,000 for each of the 5 seats;

Town Attorney Ryan Knight said it would require an ordinance to change the code.

Commissioner Robert Baldwin seconded; Motion carried 5-0.

Town Attorney Ryan Knight reiterated that it would require an ordinance, and a first and second reading. Confirmed it should only take an hour and a half to do, so the legal fees would not be higher than the savings.

Vice Mayor Dawn Barlow suggested doing the ordinance as a walk-on at the next RTCM.

Commissioner Tim Reed spoke about the 3% COLA. CPI for this region is 2.3%. - 20:35

Commissioner Tim Reed made a motion that we call this the CPI + employee appreciation and retention increase so that's comprised of the CPI number as it's reported currently at 2.3% + the .7;

Commissioner Robert Baldwin verified they would not be trying to change the amount, just change the way it is titled in the budget.

Mayor Alison Dennington said at the DOGE discussion at Florida League of Cities, the DOGE official addressed COLA raises, anything above the COLA amount is performance based that they would need data for.

Commissioner Robert Baldwin seconded;

Marivi Walker – 511 Riverside – Spoke about not having an issue with the semantics, but CPI changes on a regular basis in December it was 2.9%, and July was 2.7%. What is the cut off date? - 28:12

Commissioner Tim Reed said he was citing the US Bureau of Labor Statistics Southeast Information Office that was published last week as of July of this year.

Lauren Hardman - 320 Sixth Ave – Spoke about how Robert's Rules of Order is already not being followed. There was a motion then questions, then discussion before the motion was seconded. Asked that they stay with Robert's Rules of Order protocol.

Bruce Larson – 1507 Pine St – Spoke about how the issue is justification. There are 3 different numbers that can justify the increase, any of them are fine, but pick one. CPI, trailing 12 months, core projection, or social security.

Motion carried 3-2 with Mayor Alison Dennington and Vice Mayor Dawn Barlow dissenting.

Mayor Alison Dennington said she was opposed to any increases at this time without getting information they were supposed to get last month, which is the performance evaluations.

Vice Mayor Dawn Barlow voted against it because there was no definition to the timetable with which the index was referenced.

Commissioner Tim Reed spoke about how the next item is a salary increase greater than 3%, listing the positions this would apply to which includes Police Chief, Fire Chief, Town Clerk, Groundskeeper, Maintenance Worker and Police Admin. Spoke about the Police Chief and how he is up for a 15% increase in annual salary. - 34:44

Commissioner Tim Reed made a motion opposing the 15% increase; Mayor Alison Dennington seconded;

Doug Hilmes – 443 Riverview Ln – Spoke about a 15% increase seems excessive for anyone. Is shocked by a 20% increase to the budget. Said the performance reviews should be released to the Commission and is against any increases until that information is provided.

Bruce Larson – 1507 Pine – Spoke about how there needs to be justification. If there is a performance metric justifying the increase then that is okay, but without justification, how would you know?

Steve Walters – 416 Sixth Ave – Spoke about how the Police Chief is doing a good job, but he has never heard of giving different employees a higher raise.

Frank LaGrassa – 412 First Ave – Spoke about agreeing with what everyone else has said.

Commissioner Robert Baldwin verified this was a vote against the 15% increase, but does not include a different amount.

Commissioner Anna Butler spoke about being uncomfortable without having any metrics.

Mayor Alison Dennington spoke about how this is not the end of the budget. This could be revised when the data is provided.

Motion carried 5-0.

Commissioner Robert Baldwin said it would be helpful if the Town Manager prepared a justification for these particular individuals, keeping in mind the general consensus of the Commission is that 15% is high.

Town Manager Elizabeth Mascaro said she can, but the Commission could also come up with their own number.

Town Attorney Ryan Knight said the Commissioners have access to the employee evaluations on the DOGE portal.

Mayor Alison Dennington asked for the employee evaluations to be printed specifically for the positions applicable to that 15% suggested pay increase.

Vice Mayor Dawn Barlow made a motion that we table the merit increase discussion until the next budget discussion, pursuant to us reviewing the merit increase justifications and performance reviews; Commissioner Anna Butler seconded;

Doug Hilmes – 443 Riverview – Spoke about also looking at comparable salaries in the area.

Motion carried 5-0.

Commissioner Tim Reed spoke about how the next item is the salary increases for employees employed less than 1 year. This includes the Building Official, Admin Assistant, Deputy Clerk and Code Enforcement Officer. - 48:22

Commissioner Tim Reed made a motion that the 4 employees that have been here less than a years time should not be receiving the 3% increase; Commissioner Anna Butler seconded;

Commissioner Robert Baldwin asked if the 3% increase would go into effect on their year anniversary, otherwise they will be employed for 18 months without a raise.

Vice Mayor Dawn Barlow spoke about doing the merit increase on the date of hire, or the date of reposition. Does not think the positions should be penalized for the date of hire. Should be by anniversary date or reposition date.

Mayor Alison Dennington spoke about how the new Manager could review it and come to the Commission to correct it. Stay on the budget cycle.

Commissioner Tim Reed spoke about not being opposed to having a mid year for employees that come in the middle of the year.

Commissioner Robert Baldwin asked about the standard practice, if someone has been here 6 months, has the increase applied to them. Asked about giving an employee a portion of the increase if they have been here less time.

Finance Manager Jennifer Kerr spoke about how it has been done on the fiscal year. When an employee starts in June the raise starts in October. Said she could give employees a portion of the increase, it is whatever the Commission decides.

Mayor Alison Dennington said turnover is high and that it should be tied to the fiscal year.

Vice Mayor Dawn Barlow said taking into account a pro rata situation makes sense and is reasonable.

Motion carried 4-1 with Commissioner Robert Baldwin dissenting.

Vice Mayor Dawn Barlow made a motion that for those employees that have been here for less than 1 year, that we pro rata the intended 3% combined CPI and merit increase to their date of hire or adjusted placement in new position to the fiscal year starting 10/1;

Mayor Alison Dennington asked if this would be general or only employees that are currently employed.

Vice Mayor Dawn Barlow said she would make it general and it applies to anyone that meets the qualification.

Commissioner Robert Baldwin asked if the Vice Mayor would consider using 10/1 as an effective date, and she added that to the motion.

Vice Mayor Dawn Barlow amended the motion to

Commissioner Robert Baldwin seconded;

***Marivi Walker – 511 Riverside** – Spoke about how COLA is COLA, why would that be cut out? Said she would understand not giving merit increases if someone has not been there long but does not understand not giving someone cost of living adjustments. - 1:01:12*

***Bruce Larson – 1507 Pine** – Spoke about how the COLA and merit should be separated. Recommends prorating the COLA.*

Mayor Alison Dennington brought up that there is no 6 months requirement. Also, pro rata of the 3% or 2.3% to which the Vice Mayor said she would make a revision.

Vice Mayor Dawn Barlow made a motion for the employees that have been here for less than a year either placed in a new position and have been here in existence and got a payroll increase for that new job or have been hired as a new employee to the Town, that they get their COLA as stated on 10/1 at the 6 month mark after their date of hire;

Mayor Alison Dennington asked if the COLA was tied to the 2.3% that they had discussed.

Town Attorney Ryan Knight said that it should be based on the same thing as the other employees.

Commissioner Tim Reed asked if it is 10/1 or 6 months from their hire date.

Vice Mayor Dawn Barlow revised the motion to 2.3% COLA at the 6th month mark after their placement into their position or date of hire, which means it is not pro rata; Commissioner Robert Baldwin seconded; Motion carried 4-1 with Mayor Alison Dennington dissenting.

Mayor Alison Dennington spoke about not understanding the motion and how people should be here for a year before getting a change in salary.

Commissioner Tim Reed said the next item is the police accreditation, which would be \$18,000 in the FY26 budget. - 1:09:45

Commissioner Tim Reed made a motion that he is opposed to the \$18,000 for police accreditation in the 2026 budget; Commissioner Robert Baldwin seconded;

Vice Mayor Dawn Barlow spoke about there being four items on the list related to the police budget and asked to discuss them at the same time.

Mayor Alison Dennington and Commissioner Tim Reed spoke about how they would prefer to talk about them individually.

Vice Mayor Dawn Barlow spoke about the Police Department items total \$60,000. Is the plan to reduce the budget by \$60,000, or to allow the department to determine the priorities of how to reduce their budget?

Commissioner Tim Reed said in the early budget negotiations, the Police Chief was asked if there was anything he would consider passing on and it was none of these items.

Mayor Alison Dennington spoke about how there was not a consensus on these items in previous meetings. For accreditation and mental health, there are free options.

Commissioner Anna Butler asked if the Police Chief could provide input on priorities.

Police Chief Tim Zander spoke about how he previously said if he had to cut something it would be the car. He previously ranked his priorities and his #1 is stipends, the 2nd is mental health, and the 3rd is accreditation.

Motion carried 3-2 with Vice Mayor Dawn Barlow and Commissioner Anna Butler dissenting.

Commissioner Tim Reed spoke about the police mental health item at \$10,000 in this year's budget. Says he understands what the Police Chief is seeking for his staff. Said he would like to see a solution that encompasses all first responders including the firefighters. -1:17:22

Commissioner Tim Reed made a motion that we do not do this \$10,000 in this budget year;

Mayor Alison Dennington spoke about how there is an opioid settlement that provides 4 free hours of mental health wellness for police officers and firefighters.

Police Chief Tim Zander spoke about how he is looking for a local immediate response when something critical happens.

Mayor Alison Dennington seconded;

***Lauren Hardman – 320 Sixth Ave** – Spoke about how she is not able to handle the Commission not following Robert’s Rules of Order. You could take hours off meetings.*

***Marivi Walker – 511 Riverside Dr** – Asked the Commission to please not remove this from the budget. When people don’t have this, bad things can happen.*

***Walters Hardman – 320 Sixth Ave** – Spoke about it being easy to cut this, but have you ever been in a traumatic situation? Don’t take this out. That is why people take their lives.*

***Bruce Larson – 1507 Pine St** – Spoke about how early in the budget cycle this item was justified. This is not something to be played with. This is people protecting our community. When bad things happen, people take their lives. The need exists.*

***Bruce Pickett – 1501 Oak** – If you take this off, you just told us how much you value first responders.*

***Dan Brunger – 400 Sixth Ave** – Spoke about how people need to be vetted. If they cannot handle it, they shouldn’t be first responders.*

***Frank LaGrassa – 412 First Ave** – Spoke about not knowing anyone who needed this when he was a first responder. Seen it used for a fraudulent PTSD claim for disability.*

***Dan Maloney – 1407 Pine St** – As a 12-year first responder, he supports Chief Zander's request for this. Please give it serious consideration.*

Commissioner Anna Butler spoke about this being a niche during a crisis. Culture has changed, and people are more willing to talk about it. It is our responsibility to say these people are worth more than \$10,000. Fully supportive of this. - 1:30:06

Mayor Alison Dennington spoke about how our health insurance provides this. Said that if an issue arises, they could potentially pull in grief counselors.

Commissioner Robert Baldwin spoke about supporting this.

Commissioner Tim Reed spoke about wanting a solution that covers all first responders.

Commissioner Tim Reed withdrew his motion.

Commissioner Robert Baldwin made a motion that we approve the mental health program for the Police Department at the amount of roughly \$10,000; Commissioner Anna Butler seconded;

***Bruce Larson – 1507 Pine St** – Spoke about having the Town Manager explore this for the firefighters.*

***Lauren Hardman – 320 Sixth Ave** – Spoke about being a first responder for 20 years and how she has seen drownings. From time to time, she has needed help, but that does not make her weak or unable to do the job. Spoke about how firefighters need this, and if it were covered under employee insurance, that would not include volunteer firefighters.*

Motion carried 4-1 with Mayor Alison Dennington dissenting.

Vice Mayor Dawn Barlow made a motion that we explore what the cost would be to cover our employees as well as our volunteer firefighters so that we can evaluate that accordingly; Commissioner Tim Reed seconded; Motion carried 5-0.

Police Chief Tim Zander said he already has the cost; he can write something up and discuss it with the Fire Chief.

Commissioner Tim Reed spoke about how the next item is police stipends totaling \$11,520. One for the Field Training Officer, one for the Detective, and one for the night shift differential. - 1:39:10

Commissioner Tim Reed made a motion to approve all 3 of the stipends; Commissioner Robert Baldwin seconded;

Mayor Alison Dennington spoke about how her vote is dependent on the vote for the Fire Department and what money is being spent there.

Motion carried 4-1 with Mayor Alison Dennington dissenting.

Mayor Alison Dennington spoke about voting against it because it is dependent on the Fire Department vote.

Commissioner Tim Reed spoke about the next item, long-term capital allocation for a police vehicle.

Commissioner Tim Reed made a motion to approve the allocation for the long-term capital for the police vehicle;

Town Manager Elizabeth Mascaro said there are two items: one is long-term capital and one is short-term capital. The long-term capital is the \$30,000, which is the one being voted on. The short-term capital is \$50,000 for the purchase of a vehicle in this fiscal year, which is already in the budget.

Commissioner Anna Butler seconded;

Commissioner Robert Baldwin asked how often a police vehicle needs to be purchased.

Police Chief Tim Zander spoke about how it depends, but typically, it is every other year.

Motion carried 4-1 with Mayor Alison Dennington dissenting.

Commissioner Tim Reed confirmed there is no update on the status of the grant decision. This decision is based on not currently having that money. - 1:47:56

Town Manager Elizabeth Mascaro spoke about how the budget is assuming that we get the SAFER grant. The Town's portion would be \$148,013.25. Of that, projected revenue \$125,000 from the sale of 2 fire department vehicles, and \$23,100 from long-term capital. If trucks are not sold right away, the contingency is increased \$60,000. If the SAFER grant is denied, the Town would have to decide how to move forward.

Commissioner Robert Baldwin confirmed that this number for the Town's portion is if all 6 employees are hired right away, so it is a worst-case scenario.

Commissioner Tim Reed said we don't have that money yet. We are basing the budget on getting that money. Asked if we want to vote on adding the 6 employees, are we saying we are adding the 6 employees, whether we get the grant or not?

Town Manager Elizabeth Mascaro spoke about how the Commission can have plan A and plan B. Said she cannot add things in after the budget is passed.

Mayor Alison Dennington spoke about the Commission could vote for the firefighters contingent on getting the grant.

Town Manager Elizabeth Mascaro spoke about how the Commission could say that if we don't get the grant, we will take or borrow it from reserves.

Commissioner Robert Baldwin spoke about how we could vote on the 6 firefighters, predicated on the grant.

Commissioner Robert Baldwin made a motion that we move forward with the hiring of 6 full-time firefighters as presented in the budget, contingent on winning the SAFER grant; Commissioner Anna Butler seconded;

Susan Stark – 307 Fifth Ave – Spoke about appreciating the consideration of providing enhanced fire protection to the Town. Spoke about grants and how one downfall for the Town is that our neighboring municipality, Indialantic, is the same size with double the budget. Not having the safety net of Indialantic is detrimental to our residents. - 1:57:35

Bruce Pickett – 1501 Oak – Spoke about Brevard County transports. Melbourne Beach can run medical calls. Right now, we do not because we do not have people in the Station 24/7/365. We would not be able to transport, but would have someone who is medically trained for the immediate response, so a person would still be viable when they get to the hospital. Spoke about how CPR and an AED saved his wife's life. Roughly 90% of fire department responses are EMS calls. How many medical calls do we get? Having people at the station 24/7 is a huge benefit.

Bruce Larson – 1507 Pine St – Spoke about how there has not been enough justification for this to show that this is a crisis issue now. Need multiple years of data. The only data set you have now is from after the auto aid agreement was gone. You have to plan and budget for the worst-case scenario(not getting the grant). Indialantic is not the same as us.

Doug Hilmes – 443 Riverview Ln - Spoke about how there needs to be more information. Grants do not last forever, so what do we do after that? The budget this year is \$5.5 million. This is a 20% increase over last year. In 8 years, our budget has almost doubled. The county has been bringing down its taxes and budget, but the Town has been increasing. Our taxes are out of control. As far as the Fire Department goes, this should go to the residents to vote. The Commission needs to not increase the budget. Have a 2-3 year plan to decrease the budget.

Frank LaGrassa – 412 First Ave – Spoke about how hiring paid firefighters will have a fiscal impact forever. Believes it should be decided by referendum. As a stopgap, the Town should consider a stipend increase to the volunteer firefighters. They put a lot of time in, and training. Believes if they put in a serious effort, the Town can get the volunteers.

Jan Pickett – 1501 Oak – Spoke about being in training to become a firefighter. Young people do not volunteer like they used to. Last October, we started the firefighter class. Started with 12 and we are down to 6, 4 of which live in this Town. Spoke about how the stipend is nominal, and not the reason people volunteer.

Jennifer Ottomanelli - 510 Avenue A – Spoke about an incident of a shark bite with an arterial bleed, and they waited 22 minutes for paramedics to arrive. Everyone should take the time to listen to the Fire Chief as to why. There are not enough volunteers. If you think the volunteers are the only way to proceed, then I encourage you to volunteer. If we are talking about the needs of the Fire Department, there is no one better to get the info from than the Fire Chief. It is dangerous for citizens to stand up here and say what they think is best. If it goes to a referendum, people will only see their taxes going up, not the issue.

Walter Hardman – 320 Sixth Ave – Spoke about being a volunteer firefighter for 26 years, and a resident for over 40 years. The comment another resident made, any union organizer would have been able to do this, does not sit well with him. He was at the Station when a medical came in that needed an ambulance, and the only one available came from West Melbourne and took 42 minutes to get here. Said he turns 72 on Monday, and he is a volunteer. He does it to help people out. The Chief does a dang good job. If you think you can do better, put on the bunker gear and make it better. - 2:18:14

Steve Walters – 416 Sixth Ave – Spoke about putting the cart before the horse. What if you don't get the grant? The police department has 13 officers who will be there first. Residents need to vote on it. This is going to be a huge expense no matter what. About the reserve fund, it is there for one reason and one reason only: to recover from a hurricane.

Marivi Walker – 511 Riverside Dr – Spoke about having a signed petition to maintain and retain our fully staffed fire department. If the fire department is gone, we will lose control.

Lauren Hardman – 320 Sixth Ave – Spoke about it not being the first time this issue has been brought to the Commission. The Fire Department has saved the Town so much money. The department works tirelessly to get grants. Money over the past 10 years that was not spent was given to another department to cover their budget. Everything has been affected since COVID, including price increases and a lack of volunteers.

Katie Cox – 1401 Atlantic St – Spoke about how it's not only that people don't want to volunteer, but it is also that they cannot afford to live here. Most residents don't care enough/have enough time to sit and listen to all of this. The Commission is elected to make these decisions. If everything that the department does goes away, that includes things like the Santa Run, which people will care about.

Gail Gowdy – 215 Ash Ave – Spoke about being here a long time, and has not had a fire, but has had medical issues in her house. This is the first time she has heard about medical response. Our police are the first ones in the door. Supports people hearing the facts, and they have not been presented. Why is this an issue now? Residents need to vote on it.

Commissioner Robert Baldwin spoke about how they started having Fire Workshops in January. There has been ample opportunity to educate yourself. We have to weigh moving forward and doing something. People say it is not reversible, but Florida is an at-will state. This does not lock us in for centuries to come. We could change to the County or Indialantic. This is a very responsible approach. This has a very limited tax increase for the first few years. During that time, it would allow us to see how things go. This would be gambling with people's lives. - 2:35:50

Commissioner Tim Reed made a motion that Commissioner Baldwin can continue with his comment here for another 3 minutes; Commissioner Anna Butler seconded; Motion carried 5-0.

Commissioner Robert Baldwin spoke about how he has received a lot of emails from both sides. In speaking with residents who were against it and wanted a referendum, pretty much everyone said verbatim that they understood why, and said they got their information from Nextdoor.

Vice Mayor Dawn Barlow said as a Commissioner, public safety is a top priority. This, along with infrastructure, forms the backbone of the community and deserves our full attention and careful consideration. This was brought up 6 years ago. The Town Charter does not require it to go to a referendum, and the Charter Review Committee met this year and did not recommend adding it. Said in her opinion, the options are adopting a hybrid model or continuing with the County. This decision is vital to the future of this community.

Commissioner Anna Butler spoke about how things are going to change, period. What is going on with the volunteers is not sustainable. This is a huge weight on the department. We are flipping a coin to say that everything is going to be okay today. We can reverse it if we hire firefighters. It is not reversible if we go with the County, and we will not have a vote then. It is too late to do a referendum.

Commissioner Tim Reed spoke about understanding the points that the agreement with Indialantic ended, and volunteerism has declined. The decision that the Commission has

here is a one-year decision. Said he is opposed to touching the reserve fund in any manner related to this, and would really like a Commission seated that is going to be here during the implementation. The grant would be a remarkable thing, but we are making a decision based on an if. If the heart is making this decision, it would be regardless of the grant. The numbers can be pushed around. This is a finite thing that will last 3 years. We would be remiss if we did not have a plan going forward for how this is paid for. Was one of the first proponents of doing a referendum. The thinking behind the need for it is to have the community understand what is involved and support this change.

Commissioner Robert Baldwin made a motion to add 3 minutes to his time; Vice Mayor Dawn Barlow seconded; Motion carried 5-0.

Commissioner Tim Reed spoke about how Chief Brown has been holding public forums to get the information out there. This would change the nature of the department. The part that is troubling him is making a vote with an aspect that we do not have to ensure we can do this moving forward.

Mayor Alison Dennington spoke about how Indialantic has a lot more commercial and larger structures. Spoke about Chief Brown altering 38 of 50 response time entries, and how he was considering leaving after he hits 20 years with the department if it does not become a paid department. We are being pushed into this. The SAFER grant has been around for 5 years. Does not dispute that it might need to be a paid Fire Department. It needs to go to a referendum. We need to get the information to the residents. Need to be fiscally responsible, or the State is going to take it away from us. Let's look at the data over the years. Said they could save about 3 minutes per call by spending about \$14,000 to do dispatch through Brevard County. This needs to go to a referendum next year. - 2:50:08

Commissioner Tim Reed spoke about how there is going to be a new Commission at the end of this year, and he would like to have the people around who are going to see this through. Understands the need for it and is willing to work this out for the next fiscal year.

Commissioner Anna Butler spoke about how it is unconscionable to speak about the Fire Chief this way. People need to be careful when they are disparaging.

Vice Mayor Dawn Barlow said the Commission has sat through over 6 hours of materials, probably closer to 10-15 hours, to understand this. Every resident is not going to sit through that to educate themselves and make informed decisions. The Commissioners, elected or appointed, are put in these positions to become knowledgeable, evaluate, and make decisions for the best interest of the individuals in this Town.

Mayor Alison Dennington spoke about being put into the position, elected or appointed, to spend taxpayers' dollars wisely. Said they won't be able to afford stormwater or other things if essentially 20% of the budget goes to Fire. Said it is disrespectful to democracy to believe one appointed person should make the decision over trusting the voters. The data has been geared towards one agenda. We need to get accurate data out, we need to allow the voters to decide, or allow a fully elected Commission to decide with more time.

Motion carried 4-1 with Mayor Alison Dennington dissenting.

Break 8:31 pm to 8:38 pm

Town Clerk Amber Brown conducted roll call

Commission Members Present

Mayor Alison Dennington
Vice Mayor Dawn Barlow
Commissioner Robert Baldwin
Commissioner Anna Butler
Commissioner Tim Reed

Staff Members Present

Town Manager Elizabeth Mascaro
Town Attorney Ryan Knight
Finance Manager Jennifer Kerr
Town Clerk Amber Brown

Town Manager Elizabeth Mascaro said the original contingency was \$30,000, which was increased to \$60,000 in case the fire trucks did not sell timely. Once they were sold, that money could be returned. - 3:10:15

Commissioner Robert Baldwin made a motion that we accept the raising of the contingency from \$30,000 to \$60,000 as presented in the budget; Commissioner Anna Butler seconded; Motion carried 5-0.

Commissioner Tim Reed made a motion that we accept moving department 42 Grounds to department 41 Public Works; Commissioner Robert Baldwin seconded; Motion carried 5-0.

Commissioner Tim Reed made a motion that we approve removing the \$4000 transfer from the general fund into EAB; Commissioner Anna Butler seconded;

Vice Mayor Dawn Barlow spoke about how the removal of this money is not that they do not support EAB. There are still sufficient funds for EAB to do what they want to do.

Motion carried 5-0.

Town Manager Elizabeth Mascaro spoke about how there was a \$10,000 line item for Circle Park in the Parks Board, but that had been moved to 351. Their funds were depleted, so this \$4,000 transfer would allow them to fund their programs. - 3:15:34

Vice Mayor Dawn Barlow spoke about how the Commission previously agreed to fund the Parks Board projects.

Commissioner Tim Reed spoke about Revenue Fund 107 for the Parks and Recreation.

Town Manager Elizabeth Mascaro spoke about giving them \$500 from the sale of the signs. \$10,000 is coming in, but restricted to Circle Park or Veterans Park.

Commissioner Tim Reed spoke about being concerned about having the \$10,000 restricted for Circle Park.

Mayor Alison Dennington spoke about her recollection of this prior conversation, not wanting the language to say it's restricted to Circle Park, and how it could be used for a Veterans Memorial.

Town Manager Elizabeth Mascaro spoke about how it can be renamed as restricted to Veterans Memorial.

Vice Mayor Dawn Barlow spoke about the confusion in regards to where the efforts for a Veterans Memorial will go. Spoke about the need to have a bench to label it a park to avoid sex offenders.

Commissioner Tim Reed asked if the \$10,000 is going to cover all veteran-related things, including the banners, a memorial, bricks, etc. It would be okay to encompass all of the veterans' items for \$10,000. - 3:25:00

Mayor Alison Dennington spoke about how it should be labeled as a Veterans Memorial project, and she really wants to see this done. Spoke about the possibility of grant money.

The Commission had already voted on the \$4,000 transfer at 3:15:20, but voted on the same issue again at 3:28:35, and the motion carried 5-0 both times.

Town Manager Elizabeth Mascaro spoke about confirming that the Police Department differential and police officer salary will be paid from Fund 172 for Ocean Park.

Commissioner Anna Butler made a motion that we continue paying for the police officer and differential payments for the Police Department out of Fund 172 Ocean Park; Vice Mayor Dawn Barlow seconded; Motion carried 4-1 with Commissioner Tim Reed dissenting.

Town Manager Elizabeth Mascaro spoke about transferring \$100,000 from the general fund to long-term capital for the playground equipment and using carry forward from Fund 175 into long-term capital.

Mayor Alison Dennington asked if \$50,000 a year had been put into long-term capital for the playground equipment.

Town Manager Elizabeth Mascaro said no.

Finance Manager Jennifer Kerr said the only large amount of money is from the skate park.

Town Manager Elizabeth Mascaro went over where the funding came from and spoke about having \$200,000 restricted for the playground unless the Commission decides on a different purpose.

Vice Mayor Dawn Barlow spoke about looking at the whole budget, as a starting point, suggested lowering this to \$100,000 and moving \$100,000 towards the Fire Department.

Commissioner Tim Reed spoke about recognizing the need to plan ahead and build the fund up. That is a pretty big first step. Opposed to that amount. Maybe around \$50,000.

Commissioner Robert Baldwin spoke about the playground equipment is something everyone can get behind. Maybe get businesses to sponsor different parts. - 3:37:38

Mayor Alison Dennington spoke about how people will donate for those types of things, so this is an area we could cut a little.

Commissioner Tim Reed asked if Fund 175 could support this line item alone without touching the general fund.

Vice Mayor Dawn Barlow spoke about the projected increase of around \$34,000.

Commissioner Tim Reed made a motion that we are not doing the \$100,000 transfer from the General Fund to Fund 175 for playground equipment, but that we are going to set aside \$50,000 of Fund 175 to long-term capital for playground equipment; Vice Mayor Dawn Barlow seconded; Motion carried 5-0.

Commissioner Tim Reed spoke about how Fund 351 was designed for road paving and repairs, and it does not seem complete or ready for the budget. - 3:41:28

Town Manager Elizabeth Mascaro spoke about not knowing what the carry-forward number is going to be from Fund 341.

Commissioner Tim Reed spoke about a line item allocating an amount for paving, and would like to see that pile of money represented here in some fashion.

Town Manager Elizabeth Mascaro spoke about how the repaving project for Riverside was paid out of Fund 341, so the carry-forward number needs to be calculated from Fund 341 into this fund. This was just to confirm that the Commission would like Fund 351 set up.

Commissioner Tim Reed made a motion that we do the renaming of Fund 351 to the road paving and repairs as previously agreed to consensus wise; Commissioner Robert Baldwin seconded; Motion carried 5-0.

Commissioner Tim Reed asked questions about page 6 miscellaneous income. Asked about the trucks and the Fire Corporation.

Town Manager Elizabeth Mascaro said the Town owns the trucks, and the Fire Corporation is old, said she could strike that.

Mayor Alison Dennington said she pulled tax returns from 501c3 and wanted to make sure that the boat is not leased, which the Town Manager confirmed.

Commissioner Tim Reed spoke about Department 11 – election expense number of \$18,634.

Town Manager Elizabeth Mascaro said she had \$8,634 for Supervisor of Election and \$10,000 for the Charter Review.

Town Clerk Amber Brown said that number is an estimate they provided to do the election. The \$8,000 estimate is usually very close to what the cost is. Does not know about the \$10,000 Charter Review number.

Commissioner Robert Baldwin asked about the FTE increase, and the Town Clerk confirmed that it was the Deputy Clerk.

Mayor Alison Dennington asked if they changed the he/she from the Charter Review. Suggested another way to change that so they do not have to pay to put it on the ballot.

Commissioner Tim Reed spoke about Department 19, page 17, the capital outlay and transfer to long-term capital, and asked where the \$15,000 and \$52,000 are heading to.

Town Manager Elizabeth Mascaro said the \$52,000 for mill and pave will go to Fund 351. The \$10,000 and \$6,000 are expenses they will have this year for the smoke detector hardwiring and computer replacements.

Commissioner Tim Reed spoke about page 20, Department 21 in the General Fund, law enforcement. Holiday pay is currently at \$35,000, concerned it is underfunded. Overtime is about \$1,000 a month, thinks \$15,000 would be a more accurate number to have.

Town Manager Elizabeth Mascaro said that was increased because of the officers who have to be on duty for Commission meetings. Said they could approach the Police Chief if they do not want to have that anymore.

Mayor Alison Dennington suggested that if the Police Chief is at the meetings, they might not need another officer present.

Commissioner Tim Reed spoke about Department 21, the Police Department professional services are \$18,120. Suggested rolling the Crime Prevention into Promotional Activities.

Commissioner Tim Reed made a motion to consolidate Crime Prevention into Promotional Activities; Vice Mayor Dawn Barlow seconded;

Lauren Hardman – 320 Sixth Ave – Spoke about how the Fire Department has the same thing, fire prevention. Promoting things is different from prevention. It's important to know the difference between the two. - 4:03:56

Motion carried 3-2 with Vice Mayor Dawn Barlow and Commissioner Anna Butler dissenting.

Commissioner Tim Reed asked questions about Department 22 Fire Department. The stipend is increasing to \$40,000, but the \$38,000 budgeted this year has not been spent.

Finance Manager Jennifer Kerr said there is still the final quarter, so it will all be spent.

Mayor Alison Dennington confirmed it would still be needed even if they have paid firefighters in the future. Asked about smoke detector hardware.

Town Manager Elizabeth Mascaro spoke about how this was to hardwire the smoke detectors, so she will check with the Fire Chief.

Town Clerk Amber Brown said the detectors were not changed out; the brain of it was.

Commissioner Tim Reed asked about Fund 107, said the Back to School Bash is not listed.

Vice Mayor Dawn Barlow believes most things were donated, so if there were any expenses, they would be nominal. Said she volunteered, and it was an amazing turnout.

Mayor Alison Dennington spoke about adding a placeholder for the Back to School Bash.

Vice Mayor Dawn Barlow made a motion that we take \$250 from Rec Events to Back to School Bash; Commissioner Anna Butler seconded; Motion carried 5-0.

Commissioner Tim Reed spoke about the headers for expenditures having a scrivener's error when FY 25 and FY 26 are labeled as FY 24. - 4:16:58

Commissioner Tim Reed spoke about Special Revenue Fund 175 Ryckman Park.

Town Manager Elizabeth Mascaro spoke about allocating the \$100,000 that was reduced from Fund 175.

Commissioner Tim Reed made a motion that the \$100,000 in General Fund that was allocated here would be moved to reduce the millage; Mayor Alison Dennington seconded;

Lauren Hardman – 320 Sixth Ave – Spoke about how now there is overage. What is best for all? Roads and the fire department. Here is something that was just given to you. There is only so much you can do with this. Discuss it and be fiscally responsible with all of the other things that were discussed today.

Commissioner Tim Reed said he was making a suggestion, wanted to move things along. If there is other input, let's hear it.

Vice Mayor Dawn Barlow verified the proposed millage is 4.6, so if you take \$100,000 off that, what would it be?

Town Manager Elizabeth Mascaro spoke about without doing the math right now, it might be around 4.49.

Vice Mayor Dawn Barlow spoke about how the \$100,000 could be used towards long-term capital for one of the large projects. Would like to table it for the next meeting, when we will have an updated figure.

Motion failed 2-3 with Vice Mayor Dawn Barlow, Commissioner Robert Baldwin, and Commissioner Anna Butler dissenting.

Town Attorney Ryan Knight left the meeting.

Vice Mayor Dawn Barlow made a motion that we table the discussion on the \$150,000 until the next discussion to determine if it reduces the millage or go towards something else; Commissioner Robert Baldwin seconded;

Commissioner Tim Reed spoke about coming up with another meeting time to discuss the open-ended items.

Mayor Alison Dennington asked the Commission if there was any objection to it being tabled which there was not. By consent, it is tabled; there does not need to be a vote.

Motion carried by consent.

Commissioner Tim Reed spoke about Fund 341, \$40,000 for the anticipated repair of the pipe of Riverview, which he believes should be in Fund 141.

Town Manager Elizabeth Mascaro spoke about Fund 341 is for capital projects. It can be funded from Fund 141, but it would still be listed as a capital expense.

Commissioner Tim Reed made a motion for Fund 341 FY26, the \$40,000 allocation for the seawall pipe repair Riverview be carried against Fund 141 expenditures; Commissioner Robert Baldwin seconded; Motion carried 5-0.

Commissioner Tim Reed spoke about Fund 351 is to pave from Riverside to the intersection. Said he would like to see what the whole paving picture looks like.

Town Manager Elizabeth Mascaro spoke about how Ocean does not need to be repaved, but because FDOT is going to be repaving the intersection, it would be a good time to repave. The curbing needs work. FDOT will do their work between December and March.

Mayor Alison Dennington asked what happens if we don't have a yes or no on the grant.

Town Manager Elizabeth Mascaro spoke about how you could borrow from the General Fund for the first couple of years while we get a special tax in place.

Commissioner Robert Baldwin said maybe the Fire Chief could start preparing plan B.

Special Town Commission Meeting scheduled for Monday, August 25th at 5:00 pm.

6. Adjournment

Vice Mayor Dawn Barlow made a motion to adjourn; Motion carried 5-0.

Meeting adjourned at 10:15 pm.

ATTEST:

Alison Dennington
Mayor

Rachel Pembroke
Transcriptionist

Town of Melbourne Beach

SPECIAL TOWN COMMISSION MEETING

August 20, 2025 at 5:00 p.m.

COMMUNITY CENTER – 509 OCEAN AVENUE

MINUTES

Commission Members:

Mayor Alison Dennington
 Vice Mayor Dawn Barlow
 Commissioner Robert Baldwin
 Commissioner Anna Butler
 Commissioner Tim Reed

Staff Members:

Town Manager Elizabeth Mascaro
 Town Attorney Ryan Knight
 Town Clerk Amber Brown

1. Call to Order

Mayor Alison Dennington called the meeting to order at 5:05 p.m.

2. Roll Call

Town Clerk Amber Brown conducted roll call

Commission Members Present

Mayor Alison Dennington
 Vice Mayor Dawn Barlow
 Commissioner Robert Baldwin
 Commissioner Anna Butler
 Commissioner Tim Reed

Staff Members Present

Town Manager Elizabeth Mascaro
 Town Attorney Ryan Knight
 Police Chief Tim Zander
 Town Clerk Amber Brown

3. Pledge of Allegiance and Moment of Silence

Mayor Alison Dennington led the Pledge of Allegiance.

4. Public Comments

After being acknowledged by the Mayor, members of the public should state their name and address for the record. The Commission encourages citizens to prepare their comments in advance. Each individual will have three (3) minutes to address the Commission on any topic(s) related to Town business, not on the Agenda.

5. Public Hearings/Special Orders

- A. Confirm Qualified Commission Candidates and order names to be printed on the November 4, 2025 Municipal Election Ballot.

Mayor Alison Dennington gave a brief synopsis of what is being done at this meeting, provided some additional information, and answered questions. One candidate was unable to attend the meeting. Had the three candidates present state their name.

Terrance Allen Cronin Jr

Bruce McNaught Larson

Steven Owen Walters

Town Attorney Ryan Knight swore in the candidates.

Terrance Cronin affirmed

Bruce Larson affirmed

Steve Walters affirmed

Vice Mayor Dawn Barlow verified that public comment happens after a motion is made.

Mayor Alison Dennington called Terrance Cronin to the lectern and asked if he is a resident of the Town and a registered elector of the Town. - 12:55

Terrance Cronin said yes, he is, 150 Riverside Drive.

Mayor Alison Dennington verified with the Town Clerk that the filing fee was paid by check.

Mayor Alison Dennington confirmed with Terrance Cronin that he has maintained residency for the past 6 months prior to qualifying.

Terrance Cronin said yes, at 150 Riverside Drive.

Mayor Alison Dennington verified with the Town Clerk that all of the required documents were provided.

Terrance Cronin said he looks forward to serving the community. Spoke a bit about his background, and how he grew up in this community.

Commissioner Robert Baldwin made a motion that we accept Dr. Terry Cronin as a qualified candidate for the Commission at large position in the upcoming election; Commissioner Anna Butler seconded; Motion carried 5-0.

Mayor Alison Dennington called Bruce Larson to the lectern. Mayor Alison Dennington asked candidate Bruce Larson if he is a resident of the Town and a registered elector of the Town. -17:00

Bruce Larson said yes, he is.

Mayor Alison Dennington verified with the Town Clerk that the filing fee was paid by check.

Mayor Alison Dennington asked if he has maintained residency for the past 6 months prior to qualifying.

Bruce Larson said yes, he has.

Mayor Alison Dennington verified with the Town Clerk that all of the required documents were provided.

Vice Mayor Dawn Barlow made a motion that we accept Bruce Larson as a candidate; Commissioner Tim Reed seconded; Motion carried 5-0.

Bruce Larson introduced himself, said he is excited to take the next step in serving the Town. Spoke about his background and that he grew up in Town.

Mayor Alison Dennington called Steve Walters to the lectern. Mayor Alison Dennington asked candidate Steve Walters if he is a resident of the Town and a registered elector of the Town. - 20:40

Steve Walters said yes.

Mayor Alison Dennington verified with the Town Clerk that the filing fee was paid by check.

Mayor Alison Dennington asked if he has maintained residency for the past 6 months prior to qualifying.

Steve Walters said yes, he has.

Mayor Alison Dennington verified with the Town Clerk that all of the required documents were provided.

Vice Mayor Dawn Barlow made a motion that we accept Steve Walters as a candidate; Commissioner Tim Reed seconded; Motion carried 5-0.

Steve Walters thanked the Town Clerk and Deputy Town Clerk. They went through all the paperwork and did a wonderful job.

Mayor Alison Dennington spoke about the fourth candidate being Sherri Quarrie, who was unable to attend the meeting.

Mayor Alison Dennington verified with the Town Clerk that all of the required paperwork was provided. Would not be able to swear her in because she is not in attendance. Confirmed with the Town Clerk that she had not received any objections. Received no objections from the audience.

Vice Mayor Dawn Barlow made a motion that we accept Sherri Quarrie as a candidate; Commissioner Robert Baldwin seconded; Motion carried 5-0.

6. Adjournment

Vice Mayor Dawn Barlow made a motion to adjourn; Commissioner Anna Butler seconded; Motion carried 5-0.

Meeting adjourned at 5:28 pm.

ATTEST:

Alison Dennington
Mayor

Rachel Pembroke
Transcriptionist

Town Commission Meeting

Section: Consent Agenda

Meeting Date: September 17, 2025

From: Town Clerk Amber Brown

RE: Approval of the Regular Town Commission Meeting minutes August 20, 2025

Background Information:

On September 5, 2025, the August Regular Town Commission Meeting minutes were emailed to the Commission. That same day, Commissioner Anna Butler requested an amendment to the minutes. The amendment is underlined and marked in red on page 15.

Recommendation:

Approve the amended August 20, 2025 Regular Town Commission Meeting minutes.

Attachments:

August 20, 2025 Regular Town Commission Meeting

Town of Melbourne Beach

REGULAR TOWN COMMISSION MEETING August 20, 2025 at 6:00 p.m. COMMUNITY CENTER - 509 OCEAN AVENUE

MINUTES

Commission Members:

Mayor Alison Dennington
Vice Mayor Dawn Barlow
Commissioner Robert Baldwin
Commissioner Anna Butler
Commissioner Tim Reed

Staff Members:

Town Manager Elizabeth Mascaro
Town Attorney Ryan Knight
Town Clerk Amber Brown

1. Call to Order

Mayor Alison Dennington called the meeting to order at 6:00 p.m.

2. Roll Call

Town Clerk Amber Brown conducted roll call

Commission Members Present

Mayor Alison Dennington
Vice Mayor Dawn Barlow
Commissioner Robert Baldwin
Commissioner Anna Butler
Commissioner Tim Reed
Town Clerk Amber Brown

Staff Members Present

Town Manager Elizabeth Mascaro
Town Attorney Ryan Knight
Police Chief Tim Zander
Building Official Roberto Moreno
Public Works Director Tom Davis

3. Pledge of Allegiance and Moment of Silence

Mayor Alison Dennington led the Pledge of Allegiance.

4. Meeting Agenda – Additions/Deletions/Changes – 1:52

Mayor Alison Dennington spoke about there being 4 walk on documents. One is from Vice Mayor Dawn Barlow on the next steps for recruiting the new Town Manager. One is from the Town Attorney for a draft of a grants management administrative policy, which is 5 pages. One is another draft ordinance, which is 9 pages. The last is a volunteer application for the Environmental Advisory Board.

Town Attorney Ryan Knight spoke about pulling the Unfinished Business Item A Sign Ordinance.

Vice Mayor Dawn Barlow said that Unfinished Business 10A, the discussion of the proposed amendments to the sign ordinance, should be deleted from the agenda.

Commissioner Tim Reed made a motion to approve the agenda as we just updated it; Commissioner Anna Butler seconded; Motion carried 5-0.

Mayor Alison Dennington spoke about a reappointment to the EAB going under consent, and the other Commissioners had no objections.

5. Proclamations/Presentations/Awards - 6:37

- A. Proclamation recognizing the month of September 2025 as National Suicide Prevention Month.

***Lisa Hickman – 686 Rochester Dr, West Melbourne – Executive Assistant of the Space Coast Health Foundation** – Spoke about how in 2023, 148 Brevardians committed suicide. Brevard County is in the top 5 counties in the State for suicide. Thanked everyone for the support. Talking about mental health more will help reduce the stigma. It is important to know that it is okay to get help. It's okay to not be okay.*

Mayor Alison Dennington read the proclamation recognizing the month of September 2025 as National Suicide Prevention Month.

6. Presentations by Special Guests (Maximum of 5 Minutes) - 13:50

- A. Presentation from the Environmental Advisory Board regarding the proposed tree ordinance amendments.

EAB Board Member Karen Fenaughty presented amendments they recommend to the previously proposed tree ordinance. Changes are to address citizen concerns about the recent loss of some very old canopy trees. Spoke about wanting additional copies of best management practices to risk assessment. Also asked about next steps.

Mayor Alison Dennington spoke about how they have to make changes according to the best management practices book, said the Town Manager was going to order more copies, and suggested ordering a couple extra for EAB and PNZ. Said they are about \$20.

Vice Mayor Dawn Barlow made a motion that we order 2 extra copies of the book; Commissioner Tim Reed seconded; Motion carried 5-0.

Mayor Alison Dennington spoke about communication to the boards and what happens if they need to attend another board's meetings. Ultimately said she scours the agendas and if she sees this happening, she can notify Town Staff.

Vice Mayor Dawn Barlow suggested that this be added to a workshop as the next step.

Town Manager Elizabeth Mascaro said the process usually would go to PNZ next and then the planner. Whatever the planner recommends comes back to the Commission.

Mayor Alison Dennington said the next steps would be for EAB to attend the PNZ meeting.

7. Public Comment (Non-Agenda Items) - 24:58

Frank LaGrassa – 412 First Ave – Spoke about clarifying his comment from last night about Chief Brown. He meant to say a union organizer could not have done a better job at putting the Town's back against the wall. Would like to be a volunteer recruiter for the Department, but no one has called him back.

Patricia Runte – 409 Fifth Ave – Spoke about a terrible incident that happened last week. A car hit a kid on a skateboard. Something needs to be done about slowing cars down on Fifth. It is alright and okay for kids to play in the street. Hoping something can be done, there are no signs on the street with the speed limit, and no speed bumps.

Police Chief Tim Zander spoke about how there was an incident. There were details of the accident that were unclear: whether the car hit the skateboard or the kid. The kid said he was on the skateboard when the car hit him. The driver said they thought they hit a manhole. For the Police to be able to charge a person, that person would have to have knowledge that they hit someone, and the driver did not.

Spencer Cox – 1408 Atlantic St – Spoke about her parents being in the Fire Department, and the department is very important to their family and the Community. Does not see how it is fair or appropriate to attack Fire Chief Gavin Brown.

Jason Judge – 206 Flamingo Ln – Spoke about how it was disrespectful of the Mayor to be looking at her papers when the last resident spoke.

Mayor Alison Dennington said to address the Commission as a whole, not one member.

Jason Judge spoke about Robert's Rules of Order and asked the Mayor to be respectful of her neighbors.

Jim Simmons – 409 Avenue B – Spoke about how the Commission spent 10 minutes discussing who should notify people of what is on someone else's agenda. There is a simple solution: if a Chairman needs support from another committee, they call and invite them.

Jan Pence – 200 Riverside Dr – Spoke about the recent FDLE report findings regarding the Mayor's allegations against the Public Works Director and the prior Police Chief. FDLE determined that no

criminal predicate exists. Said Melbourne Beach deserves leaders focused on integrity, sound leadership, kindness, and solutions, not personal battles. Asked the Mayor again to please step down. Thanked the Commissioners and asked them to work together to restore integrity and stop embarrassing the Town.

Joyce Barton – 322 Third Ave – *Spoke about how, through a public records request, she became aware that Mayor Dennington filed a treasurer report late and accrued a fine.*

Mayor Alison Dennington said there were two complaints filed against her that were dismissed.

Joyce Baron expressed her concern about the Mayor's ability to make sound decisions regarding the Town's budget.

Mark McBride – 310 Second Ave – *Spoke about how the STR report has a lot more detail now, but still needs more, and is not complete. Asked why the new requirements aren't being audited. Asked the Commission to protect the Town by fully enforcing ordinances.*

Gary Lutchansky – 323 Third Ave – *Spoke about getting community feedback and presenting it at meetings to make sure the important issues are brought forward and spread widely. Wants to know what he can do to help the Town. - 46:42*

Susan Stark – 307 Fifth Ave – *Said she is troubled by the 3-minute, one-time-only limit on speaking about a topic. Spoke about there being misinformation put out there, and there is no way to correct it in real time. Offered her time for what she can do to help.*

Kari Ross – 206 Flamingo Ln – *Spoke about how public records are an important part of transparency. A couple of months ago, she submitted a public records request for the Mayor's social media posts. Shortly after, public records requests were put in for several people associated with the Town, and those have been completed, but the Mayor has not provided her records.*

Mayor Alison Dennington said she made a request to the Town, not to her individually.

Kari Ross asked what she can do to retrieve those public records and what can be done if they are not provided.

Town Attorney Ryan Knight said he cannot give legal advice, but there is a Florida State Statute that deals with this and what the remedies are for that. Said that if they are not provided, there could be a lawsuit filed.

Todd Albert – 1710 Pine St – *Provided a handout comparing property taxes between Melbourne Beach, Brevard County, and Indialantic, and spoke about a play on numbers for funding the Fire Department through taxes.*

Bryan Troy – 509 Hibiscus – *Spoke about how the Mayor accused 2 Town employees, and the way the Mayor treated the employees was disgusting. Said she could not let it go even after the Police Department said there was no wrongdoing. The Mayor's duty is not to defame employees.*

Steve Walters – 416 Sixth Ave – Spoke about how people talk about the rules, but they violate the rules.

Mayor Alison Dennington told the audience to be quiet. She then asked the Police Officer present to escort Jan Pence out of the meeting.

Steve Walters said regarding the signs, he provided proof that there were more signs. He would like to see Frank LaGrassa get involved in the department.

Bruce Pickett – 1501 Oak St – Spoke about not being into the he said she said stuff. There is a lot of stuff out there. Last night, there was a comment about unions. In Florida, fire responders are not allowed to strike. The volunteers are different, the requirements are different, and the training is different. There were a lot of comments made that are detrimental to other people. His purpose is to help the citizens that he serves. If we can better serve the residents by responding to medical calls, we should do that. There should be a plan A, plan B, and plan C. Look at the money and figure out a way to fund it.

8. Consent Agenda – 1:09:38

- A. Approval of the Regular Town Commission minutes June 18, 2025
- B. Approval of the Town Commission Budget Workshop minutes June 23, 2025
- C. Approval of the Special Town Commission Meeting minutes July 1, 2025
- D. Approval of the Town Commission Budget Workshop minutes July 15, 2025
- E. Approval of the Regular Town Commission Meeting minutes July 16, 2025
- F. Approval of the Special Town Commission Meeting minutes July 22, 2025
- G. Approval of the Special Town Commission Meeting minutes August 4, 2025
- H. Reappointment of Jamie Guth as a board member on the Environmental Advisory Board
- I. Reappointment of Karen Fenaughty as a board member on the Environmental Advisory Board
- J. Reappointment of Laurie Simmons as a board member on the History Center Board
- K. Reappointment of Todd Albert as an alternate on the Planning and Zoning Board
- L. Notice to the Town of Melbourne Beach from the City of Melbourne regarding scheduled hearings to approve the proposed increases for water and wastewater rates
- M. Reappointment of Brent Washburn as an alternate on the Environmental Advisory Board

The Consent Agenda was approved by unanimous consent.

Vice Mayor Dawn Barlow thanked the Volunteer Board Members.

9. Public Hearings/Special Orders

10. Unfinished Business

- A. ~~Discussion on the proposed amendments to the sign ordinance – Town Attorney Ryan Knight~~

Unfinished Business Item A was removed from the agenda.

- B. Discussion on the proposed Town Policy and Procedure regarding grant applications – Town Attorney Ryan Knight - 1:11:48

Town Attorney Ryan Knight provided proposed options for a policy regarding grant applications. Said this provides a policy where if a department wants to make an application for a grant, the procedure would be to bring it to the Commission so the department can discuss what the grant is, any requirements, any conditions, etc.

Commissioner Tim Reed verified this would not need multiple readings, so it could be approved tonight or at a future meeting. The purpose of him bringing this forward was for the Commission to approve of the grants when there are matching funds. Opposed to the part where the Town Manager can approve of a grant without it going to the Commission, where there is a time sensitivity.

Commissioner Robert Baldwin spoke about not needing approval when the matching funds were already budgeted for.

Mayor Alison Dennington spoke about not liking the exception of allowing the Town Manager to approve when time sensitive. Spoke about how grants can trigger an audit.

Town Manager Elizabeth Mascaro said the threshold for an audit is \$750,000.

Vice Mayor Dawn Barlow spoke about being comfortable with the exception because it only applies to the application side; the Commission would still need to decide to receive it.

Mayor Alison Dennington spoke about the staff time needed for grants and how, if they were not going to approve it anyway, they should not waste that time.

Vice Mayor Dawn Barlow made a motion that we table this to the next workshop to be discussed for the future; Commissioner Robert Baldwin seconded;

Mayor Alison Dennington read a public comment provided by ***Sherri Quarrie – 701 Pine St – Grant application efforts should not be interfered with by the Commission. Most grants are time sensitive, and the department heads know their budget.***

Jim Simmons – 409 Avenue B – Spoke about how if the motion is to table the item, there is no public comment. Pointed out there was no motion for the Consent Agenda either. - 1:20:04

Bruce Pickett – 1501 Oak St – Spoke about how anytime you apply for a grant, it is going to take time. There are grants that are urgent and time-sensitive. If there are matching funds, the Town Commission should approve that piece.

Susan Stark – 307 Fifth Ave – Spoke about having discussions with Jennifer Ottomenelli, who is a grant writer, and Dave Micka, who writes the Fire Department grants. Both mentioned roadblocks can have an effect. Some grants pop up, and you do not have much notice or time to apply. Liked the idea of the exception.

Lauren Hardman – 320 Sixth Ave – Spoke about understanding their thought process, but if you micromanage it, you are going to lose the money for the Town. Leave it up to the Town Manager and the Department Heads. Asked what the other municipalities are doing.

Town Attorney Ryan Knight spoke about how some municipalities require approval for all applications, some have a threshold amount that requires approval, others require only if it has matching funds, so it depends.

Motion carried 5-0.

C. Discussion on the proposed parking ordinance – Town Attorney Ryan Knight - 1:27:45

Town Attorney Ryan Knight spoke about how he started drafting an ordinance for 6th Avenue parking enforcement and for the side of the road, which would apply to unattended vehicles, resident only, no overnight parking. Looked into what the Town already has in the code, which prohibits parking at any place where official signs prohibit or restrict parking or excess of time periods authorized by such signs. The signs are there; the question is, do the signs say what they need to say? Said the fine is \$35, which he considers low.

Police Chief Tim Zander spoke about how there needs to be a consistent fine amount. If signs are made by the community, they are not enforceable, specifically, stickers being added.

Public Works Director Tom Davis said on 6th Ave, there is a sign that says no parking after 9:00 PM.

Vice Mayor Dawn Barlow made a motion that this gets moved to the workshop to iron out the details to then come forth for the update; Commissioner Anna Butler seconded;

Bruce Larson – 1507 Pine St – Spoke about how there is an ordinance with a set fine amount. Confirmed that there is no challenge that it is enforceable today. Asked what the workshop would be about.

Town Attorney Ryan Knight said it is Section 30-42 Subsection C1.

Vice Mayor Dawn Barlow said the workshop would be about the fine amount and getting consistency of the signs placed throughout the Town.

Police Chief Tim Zander said the only other fine for parking would be the handicap parking fine.

Town Attorney Ryan Knight said the main issue right now is the amount the citation should be.

Vice Mayor Dawn Barlow retracted the motion.

Commissioner Robert Baldwin made a motion that we set the Town wide parking fee for violation of parking ordinances to \$75.00 with the exception of the handicap citation; Commissioner Anna Butler seconded;

Lauren Hardman – 320 Sixth Ave – Asked the Mayor to stop taking notes and pay attention. Spoke about how the Vice Mayor made a motion, and she was completely denied. Says the

Commission earns respect by governing properly. The Commission needs to work together to make sure Robert's Rules of Order are being followed.

Motion carried 5-0.

- D. Modifications to previously presented 2024 Fire Department incident response times – Fire Chief Gavin Brown - 1:44:22

Town Manager Elizabeth Mascaro read part of Fire Chief Gavin Brown's agenda cover sheet, which addressed the changes in the report he had previously filed. Said he went back and added an additional column to the 2024 Fire Department incident response times, which now reflects the time the 911 call was originally answered as well as the time the call was received by the Fire Department. Explained why he chose to use the time the 911 call was answered in his original report because that is the time people expect the clock to start.

Mayor Alison Dennington spoke about the data response times that are required by law to be reported to the state. Said he had changed 38 of the 50 times for the presentation to the public. The vast majority of 911 calls are automated alarms. General consensus says the time that is the most important in regards to response time is when the PSAP gets it.

Town Clerk Amber Brown said she is not able to confirm if that report has been amended to the state. Said she believes Dave Micka's email might clarify.

- E. Discuss next steps for recruiting a new Town Manager – Vice Mayor Dawn Barlow - 1:54:10

Vice Mayor Dawn Barlow said she wanted the public to know that interviews were held last week with the Executive Search Firm, with the department heads, as well as the Commissioners. Received an email with two samples of pamphlets to review.

Town Attorney Ryan Knight spoke with the representative, said he wanted the brochure finalized within the next week or two. All he needs is some photos and any prior Town Manager advertisements.

Mayor Alison Dennington spoke about liking both brochures.

Commissioner Tim Reed spoke about wanting a draft for them to look at first.

The Commission scheduled a Special Meeting for Wednesday, September 3rd, at 5:30 pm

11. New Business

- A. Consideration on repairing the road at 410 Riverview Lane – Public Works Director Tom Davis

Public Works Director Tom Davis spoke about wanting to get it done before there are any big storms. - 2:01:38

Commissioner Tim Reed asked if this was a similar failure to the Ave A and Riverside.

Public Works Director Tom Davis spoke about how the failure is similar, a joint failure. Believes it should be cut halfway into the street, remove that pipe, then rebuild the base. Hopefully, that would give 20 years of life.

Commissioner Tim Reed asked if the process would be to get with the engineers

Town Manager Elizabeth Mascaro spoke about recommending approving up to \$30,000.

Mayor Alison Dennington said she would rather spend a couple of hundred dollars to have the engineers take a look. Expressed her concern that this is being treated as an emergency.

Public Works Director Tom Davis said he would rather have the engineer plan, bring it to the Commission with an estimate of what it would cost.

Vice Mayor Dawn Barlow asked the Public Works Director a question about engineering contracts the Town has and then discussed making a motion.

Commissioner Robert Baldwin asked if there are currently similar situations around Town.

Town Manager Elizabeth Mascaro spoke about how there is not. Said the seawall is on the budget for the upcoming fiscal year.

Vice Mayor Dawn Barlow asked if an engineer came out for this, would it make sense to have them look at all of the roads?

Town Manager Elizabeth Mascaro spoke about how the next area to be scoped is Cherry because there are always issues on that street, but they have not been able to find the problem. They have previously had BSE check all of the streets. Scoping Cherry is not budgeted until October.

Mayor Alison Dennington said there is some misconception. Read provision 10A, which talks about the order of presenting, Commission members speaking/asking questions, and then making a motion. Said she would be comfortable having the engineer come out, look at the issue, and give their recommendation.

Town Manager Elizabeth Mascaro said she has authority up to \$5,000 so she could have them come out, and that it could not exceed that amount. Said she will reach out to all 3 engineering companies.

B. Consideration on the proposals to replace the Old Town Hall History Center roof – Public Works Director Tom Davis - 2:18:05

Public Works Director Tom Davis said the roof has been in question for three or four years. Is satisfied with any, the materials are comparable, and they all meet the same standards, all reputable, licensed, and insured. To him, it comes down to the lowest bid, which would be Collis.

Mayor Alison Dennington confirmed that the Building Official had not had a chance to look at this. Thinks the roof needs to be replaced quickly, and if all companies are reputable, may as well go with the best price.

Commissioner Tim Reed asked about Collis being out of Orlando.

Public Works Director Tom Davis said the rep lives somewhere in Brevard. They are a big company that has done a lot of work in this area.

Commissioner Robert Baldwin made a motion that we engage Collis Roofing to replace the roof at the Old Town Hall/History Center; Vice Mayor Dawn Barlow seconded; Motion carried 5-0.

Vice Mayor Dawn Barlow spoke about originally waiting for the extension of the lease, and just wanted to bring to light that it is going to be executed.

Mayor Alison Dennington said they could make it subject to not signing the contract until the meeting where the lease is extended.

- C. Consideration on the proposals to replace the 5 leaking windows on the east side of the second floor of the Town Hall – Public Works Director Tom Davis - 2:24:24

Public Works Director Tom Davis spoke about how the windows upstairs on the east side of the second floor all need to be replaced. Reached out to various companies and recommends going with vinyl versus aluminum. Said he would go with Brevard Window and Door.

Commissioner Robert Baldwin asked how the different types of windows compare, and what are the reputations of them.

Public Works Director Tom Davis spoke about how they all have the same impact ratings. Looking at reviews, he did not see any negatives on any of them. Recommended Brevard Windows and Doors, and said he likes the Simonton windows.

Building Official Roberto Moreno spoke about needing to compare the product approvals.

Mayor Alison Dennington spoke about getting 3 estimates, which is the minimum requirement, and spoke about some issues with the windows she had seen herself that are still not fixed. Those fixes are not included in the proposals, so they will be an additional cost.

Building Official Roberto Moreno recommended that whoever they pick, make them aware that they need to level the opening, seal the leak, and install the proper window.

Commissioner Tim Reed confirmed that the siding on the building will not have the same issue of damage as stucco would. Spoke about having an engineer come out and assess the entire building to include the roof, the windows, and plumbing.

Town Manager Elizabeth Mascaro spoke with Haley Ward, and they are considering how they would do the roof because it is not part of their structural engineering. Said that the windows

need to be taken care of, as they were installed improperly. Said she does not believe the current windows are hurricane-rated.

Commissioner Anna Butler made a motion that we engage Brevard Windows and Doors as recommended by the Director of Public Works to fix the windows; Commissioner Robert Baldwin seconded;

Lauren Hardman – 320 Sixth Ave – Spoke about being in the building during the last hurricane, and witnessed and helped clean up the problem. The issue is not because of the downspout. Do not wait to fix it. The windows are really bad, and the A/C has never worked correctly. Said she has pictures and videos that she can give to the Commission. - 2:38:08

Motion carried 3-2 with Mayor Alison Dennington and Commissioner Tim Reed dissenting.

Recess 8:43 pm – 8:50 pm

Town Clerk Amber Brown conducted roll call

Commission Members Present

Mayor Alison Dennington
Vice Mayor Dawn Barlow
Commissioner Robert Baldwin
Commissioner Anna Butler
Commissioner Tim Reed

Staff Members Present

Town Manager Elizabeth Mascaro
Town Attorney Ryan Knight
Police Chief Tim Zander
Building Official Roberto Moreno
Public Works Director Tom Davis
Town Clerk Amber Brown

- D. Consideration on repairing the 3 leaking showers on the second floor of the Town Hall –
Public Works Director Tom Davis - 2:50:44

Public Works Director Tom Davis spoke about the difficulty of getting quotes. Spoke about Freedom Air and Heat and a reconditioning repair they offer, which would cost \$5,200. Said he does not have enough in-house experience or capability to do it himself.

Mayor Alison Dennington spoke about there not being 3 bids.

Public Works Director Tom Davis said it is not a big job and there was not much interest.

Town Attorney Ryan Knight said he has reached out; if he cannot get 3 bids, he cannot get 3 bids. It has to be a bid solicitation, which he has done.

Commissioner Tim Reed asked if this has been going on for years or months.

Town Clerk Amber Brown spoke about there has been a history with the showers that have been repaired, and the recent issue was reported to Public Works a week or so ago.

Commissioner Tim Reed confirmed with the Public Works Director that the water lines are not leaking, the drain lines are not leaking, and it is draining because the shower line is not

sealed. Confirmed the scope of the work, which would include some plumbing.

Town Attorney Ryan Knight spoke about Town Code 15-27 Formal Competitive Bidding Procedures Subsection A, which says that for the bidding part, there is a minimum threshold for competitive bidding over \$5,000, and it is supposed to be advertised in the newspaper. The Commission can waive the formal requirements of advertising in the newspaper and proceed with awarding the bid.

Commissioner Tim Reed spoke about engaging a general contractor who can use subs to do a couple of jobs together.

Building Official Roberto Moreno spoke about how it would not be cost-effective to engage a general contractor.

Commissioner Robert Baldwin made a motion that we waive the competitive bid process and that we accept the bid from Freedom Air and Heat to fix the showers in Town Hall; Commissioner Anna Butler seconded; Motion carried 4-1 with Mayor Alison Dennington dissenting.

- E. Consideration on initial tasks for the Technology Advisory Board – Commissioner Tim Reed - 3:05:30

Commissioner Tim Reed spoke about having a full Technology Advisory Board. They have their first meeting scheduled for later this month and wanted to suggest ideas for setting an agenda. First suggestion would be to review Deckard Technologies and make recommendations, possibly have a living map on the Town's website of registered and unregistered STRs. Second would be any recommendations for cybersecurity needs. And third would be to review and recommend low-cost/free platforms to improve direct citizen communication and engagement. Would want them to have a monthly status update for the Regular Town Commission Meetings, even if there is no progress.

Town Clerk Amber Brown said the agenda has already been made. Two items were voted on and placed on the agenda, which are Deckard software and cybersecurity. Would not recommend changing the agenda; the Commission can vote to add items to future meetings.

Commissioner Robert Baldwin spoke about his hopes for this board being collaborative with Town Staff. Do not hold up suggestions waiting for Commission meetings.

Vice Mayor Dawn Barlow spoke about wanting to look at things holistically, has some concern around read-only access capabilities, and the Town needs to protect systems, software, and security.

Commissioner Anna Butler spoke about having concerns and did not believe this was the purpose of this Board.

Town Manager Elizabeth Mascaro spoke about the board reviewing the Finance Manager's security policy.

Mayor Alison Dennington spoke about how the members wouldn't have a login to go into the software systems. Provide the Board with the contracts so they can get familiar with our systems. The further they get into things, then maybe look into the read-only access. All of the contracts are public records.

Technology Advisory Board Member Bruce Larson spoke about how most audit people do not have access to the systems. None of the Board Members would need access to or touch any Town systems or data.

Mayor Alison Dennington spoke about when they have a Chairman, the Commission could say all questions go through the Chairman.

Commissioner Robert Baldwin spoke about how right now, the highest priority is to understand the Deckard software.

Town Attorney Ryan Knight spoke about how the Board is not going to have access to the systems due to security. Does not see a problem with them meeting with staff. One thing that could be done is reaching out to Deckard and having them provide a tutorial to show the Board the capabilities.

Town Manager Elizabeth Mascaro pointed out that if Bruce Larson ends up on the Commission, he could not remain a member of the Technology Advisory Board.

Commissioner Tim Reed spoke about how things are on track, so he is happy with this.

- F. Consideration to repeal, retract, or void setback variance #VV2025-0001 at 1200 Orange St – Commissioner Tim Reed - 3:27:55

Commissioner Tim Reed spoke about a setback variance granted in February. Said actions are already being taken, and the Town Attorney could speak on those.

Town Attorney Ryan Knight spoke about because the need for the variance no longer exists, the variance is being administratively closed.

- G. Consideration on tasking the Town Attorney to provide a monthly active lawsuit report – Commissioner Anna Butler - 3:29:35

Commissioner Anna Butler spoke about how outstanding lawsuits are important and recommended that the Commission task the Town Attorney to provide a monthly report detailing the nature of all active lawsuits against the Town.

Mayor Alison Dennington asked how this would be billed.

Town Attorney Ryan Knight said he would bill it as a .1 or .2 as far as preparation for the agenda. It would not be in-depth; it would be a general overview.

Mayor Alison Dennington spoke about saving the Town from a lawsuit 2 weeks ago.

Commissioner Anna Butler made a motion to task Town Attorney Ryan Knight to provide a monthly report at our Regular Town Commission Meeting detailing the nature of all active lawsuits filed against the Town to include a description of the suit, who filed it, the status of each lawsuit as far as where it is in the process and the financial responsibility each lawsuit incurs the Town of Melbourne Beach within his parameters of how he can legally portray this information; Commissioner Robert Baldwin seconded;

Kari Ross – 206 Flamingo Ln – Spoke about how she could not be happier with this discussion. There is a second attorney representing the Town in a lawsuit. It is important to fully encompass everything for these lawsuits and get a good total every single month of what the Town is paying for our Mayor to sue us. - 3:35:10

Steve Walters – 416 Sixth Ave – Spoke about how the Mayor doesn't need to give up her constitutional right just because she is the Mayor. If you don't want to get sued, quit breaking the law. Said Commissioner Butler has cheated the residents and lied to them.

Bryan Troy – 509 Hibiscus – Thanked Commissioner Butler and spoke about if we are going to be transparent, we need to always be transparent, if we are going to be fiscally responsible, we shouldn't only be fiscally responsible when it's convenient for one person. Said he does not know how long this will take the Town Attorney to put this information together, but if they followed Robert's Rules at meetings they could probably cut down 2 hours of cost there.

Motion carried 3-2 with Mayor Alison Dennington and Commissioner Tim Reed dissenting.

- H. Consideration on tasking the Town Clerk to provide a monthly report listing all public records requests from elected or appointed public officials – Commissioner Anna Butler - 3:38:48

Mayor Alison Dennington said public records are a constitutional right, and this could be considered targeting people.

Commissioner Anna Butler recommended tasking the Town Clerk with providing a monthly report at each Regular Town Commission Meeting listing public records requested from the public officials to provide transparency and to give the Town Staff a fair and reasonable workload. The report will include what document was requested and by whom.

Vice Mayor Dawn Barlow asked if there was a charge to the official requesting documents.

Town Clerk Amber Brown said if the request takes a reasonable amount of time and is not excessive, it would be treated as an elected official's request at no charge. If the request takes a significant amount of time, the Town Attorney says to treat it as a public records request, which, if it accrues staff time of more than 15 minutes, there is an invoice that needs to be paid. A report can be as detailed as the Commission wants, and the Commission can decide if all public records requests go through the Town Clerk and Deputy Clerk.

Mayor Alison Dennington said she has asked for public records before and has not gotten a response. Feels she is treated differently from other Commissioners when making a records request.

Commissioner Robert Baldwin asked the Town Clerk if the Mayor has ever requested public records and then not come in to pay for them and pick them up.

Town Clerk Amber Brown said she believes all of them have been paid for as of now. There are some that are still being worked on because the request was extensive or needs the Town Attorney's opinion.

Mayor Alison Dennington said we need to spend money on writing a policy on how to do the invoice. The invoice does not comply with the law.

Vice Mayor Dawn Barlow suggested broadening the report capability for an itemized list of records requests.

Town Clerk Amber Brown said the information is there, but she will have to see if it would provide a report like that; if so, it would not be a burden to do. If she cannot pull that information from the system, it would be a more time-intensive task.

Commissioner Robert Baldwin made a motion to task the Town Clerk with looking at the various systems and processes you just described, come back to the Commission at the next Town Commission Meeting, and give us an update on what you think is feasible without going to a heroic amount of effort, so we can track public records requests; Commissioner Anna Butler seconded;

Kari Ross – 206 Flamingo – Spoke about how the last 2 agenda items are about fiscal responsibility. The only hiring that the Mayor has been in favor of is hiring a Deputy Clerk, probably for her voluminous requests. We talk about fiscal responsibility, but when it comes down to it, she votes against transparency. Requested public records from the Mayor, and she is refusing to give them up, which means the only recourse would be a lawsuit. - 3:52:40

Steve Walters – 416 Sixth Ave – Spoke about how the Mayor is being targeted again, but the Mayor doesn't have to provide the name of who is requesting the records. Suggested the Mayor get a code name to request public records, so she doesn't get harassed. Told the Mayor to keep with it, keep asking the questions, and keep doing your job. Said there is a Town policy that all public records requests go through the Town Clerk.

Steve Walters – 416 Sixth Ave – Spoke about how the Mayor is being targeted again, but the Mayor doesn't have to provide the name of who is requesting the records. Keep with it, keep asking the questions, and keep doing your job. Said there is a Town policy that all public records requests go through the Town Clerk.

Commissioner Tim Reed asked for clarification on whether this is for the Task List.

Commissioner Anna Butler said she intended it to be in her monthly report.

Commissioner Robert Baldwin clarified his motion which was to task the Town Clerk to look at the various systems and processes understanding that our goal with this request from Commissioner Butler is to be able to track the volume and frequency and amount of public records requests and come back and give us some recommendations on how that can be accomplished; Commissioner Anna

Butler seconded; Motion carried 3-2 with Mayor Alison Dennington and Commissioner Tim Reed dissenting.

Mayor Alison Dennington asked who requested the Town Attorney to include legal bills in the packets. Said anyone can look in the packet every month, she is not hiding anything.

Town Attorney Ryan Knight said that was a request made by the Mayor.

I. Discussion regarding an Interim Town Manager – Mayor Alison Dennington - 3:59:48

Mayor Alison Dennington spoke about how the Town Manager leaves on the 18th of September. Believes the Executive Search Firm will be able to move quickly on this. Spoken to the Police Chief about being a natural choice to step into the role in the meantime. Spoke about ex officio.

Town Attorney Ryan Knight said that applies if someone is an assistant. Said the date falls in the middle of the budget, might want to move it to the end of September.

Commissioner Robert Baldwin asked if the Town Manager would be willing to serve till the end of September, and she said yes.

Mayor Alison Dennington pulled this item from the agenda.

J. Discussion on stormwater status – Mayor Alison Dennington - 4:02:30

Mayor Alison Dennington spoke about wanting to get this back. The Town has hired the engineers to get a more comprehensive look, wants to know where things are and keep it on the radar. Spoke about having a workshop with one of the engineering firms.

Public Works Director Tom Davis spoke about having the engineers come out and do a physical inspection prior to scoping them.

Mayor Alison Dennington spoke about having a discussion with the residents being affected.

Vice Mayor Dawn Barlow confirmed with the Town Manager that this has to do with the scoping on Cherry and that nothing was preventing that from being scheduled.

Town Manager Elizabeth Mascaro spoke about how she will get with all the engineering firms and then get back to the Commission.

12. Finance/Budget Report

Town Manager Elizabeth Mascaro said they are still on point as far as spending for year to date totals. - 4:10:45

Commissioner Tim Reed spoke about how page 156 has a slightly different expenditure rate than the summary memo, said it might be a typo. Asked about the meeting with FEMA.

Town Manager Elizabeth Mascaro spoke about having a phone call with FEMA and they requested additional documentation which has been sent to them. It was for Hurricane Irma.

Commissioner Tim Reed asked why Hurricane Milton is back on the report.

Town Manager Elizabeth Mascaro spoke about how the status was updated so they have obligated it to be considered for payment.

Commissioner Tim Reed asked about Fire Department Stipend.

Town Manager Elizabeth Mascaro said the last quarter will end on 9/30, usually processed within 5 days, the other quarters have been processed and we are waiting on the final quarter. Will have the Finance Manager send an email confirming the 3rd quarter had been processed.

Commissioner Tim Reed asked why they are in the red by \$5,000 for Police Holiday Pay.

Police Chief Tim Zander spoke about the way holiday pay is paid out has changed because the previous way was not fair. The new process is if you work the holiday you get double time and if you don't work the holiday you get single pay. This year the holiday pay will go over about \$5,000, but the regular pay will be under by about \$6,000. The same amount is being spent.

Commissioner Tim Reed spoke about how it seemed money was being moved around. Confirmed with the Police Chief that he is confident the number we have for '26 is the right number and the Police Chief said he would send an email with the policy.

Vice Mayor Dawn Barlow spoke about how the increased parking went into place.

Mayor Alison Dennington spoke about building communication services, and if that had to do with the fire station.

Town Manager Elizabeth Mascaro said she would get information from the Finance Manager.

Commissioner Anna Butler clarified she had said that most of the public does not read the invoices. She was specifically interested in transparency for the public.

Vice Mayor Dawn Barlow made a motion that we approve the finance report with the one typo that Commissioner Reed brought to like that that would get updated; Commissioner Anna Butler seconded; Motion carried 4-1 with Mayor Alison Dennington dissenting.

13. Town Staff/Board Reports – 4:27:38

A. Building Department

Building Official Roberto Merano introduced himself and spoke about his background.

Commissioner Robert Baldwin asked if there is anything that the Building Official thinks the Town should be doing differently.

Building Official Roberto Merano spoke about how the software does not provide immediate updates to contractors and owners.

Mayor Alison Dennington spoke about how the information has to manually enter.
Building Official Roberto Merano spoke about how you have to send an email to them.

B. Public Works Department - 4:34:55

Vice Mayor Dawn Barlow asked if anything needs to be added to the hurricane checklist.

Public Works Director Tom Davis spoke about how nothing needs to be added.

Commissioner Tim Reed asked about what is going on in front of the Community Center.

Town Manager Elizabeth Mascaro spoke about how 3 parking spaces were lost to create handicap parking on the south side of the community center, so 3 spaces are being added on the north side. Hopefully in the future there will be a walkway out to the sidewalk and a pathway from the parking to the steps. As far as budget, this was all part of the ADA money.

Public Works Director Tom Davis spoke about how the doors to the Community Center have turned into a larger project than anticipated.

C. Code Enforcement - 4:39:45

Town Manager Elizabeth Mascaro spoke about having the Town Attorney meet with the Fire Marshall about window size requirements for vacation rentals because they are required to have abnormal sizes. The primary focus for Code Enforcement right now is short-term rentals, but there are some one-offs.

Mayor Alison Dennington asked if the Frank Lloyd Wright hedges issue had been resolved.

Town Attorney Ryan Knight spoke about how the issue is resolved. Nothing has been or will be torn down. An email was sent to FDOT, and he spoke with the residents.

Mayor Alison Dennington asked about a cancellation with the Special Magistrate, and the Town Manager said that it was because the Magistrate had COVID.

Town Attorney Ryan Knight said he met with her about how to present a case to streamline the process.

Vice Mayor Dawn Barlow asked if the issued list is the current active list of STRs on file. Asked if the Code Enforcement Officer is checking the advertisements or if it is more reactionary at the moment.

Town Manager Elizabeth Mascaro said it is current, but some are on hold for various reasons. Said the Code Enforcement Officer is still more reactionary at this point.

Mayor Alison Dennington asked if the 15-day requirement is being followed.

Town Manager Elizabeth Mascaro spoke about how some are on hold longer because they have to replace windows with abnormal sizes, which are taking longer to get and install. Town Attorney Ryan Knight said for the windows, the 15 days would have to be waived, but anything else should proceed as normal.

Commissioner Robert Baldwin asked if the background checks are being audited. What would be the process to do that?

Town Manager Elizabeth Mascaro said we can look at the books that we make them keep, but they are not going to keep pictures of people's driver's licenses.

Town Attorney Ryan Knight spoke about how the Town could make a request. Most likely, it is electronically stored, so they would send it via email.

Mayor Alison Dennington asked about the process when a code violation is called in for an STR, like a parking or noise complaint.

Police Chief Tim Zander spoke about when the police respond to a code violation; if it is related to an STR, they change the call type, so they are easy to track. Said the officers do have decibel meters, but they have not had the opportunity to use them yet.

D. Fire Department - 4:55:04

Commissioner Robert Baldwin said he thought it was notable that some of the calls they were waiting on ambulances from West Melbourne. That seems crazy.

Mayor Alison Dennington said the County has had a huge shortage, but that is going to change.

Town Manager Elizabeth Mascaro said that it is great to be able to get a first responder, but that does not mean getting an ambulance.

Town Clerk Amber Brown said that weekly, there are no beachside ambulances.

Police Chief Tim Zander said 9 times out of 10, they will dispatch fire and rescue when a call comes in. If there are injuries, they will send fire and rescue automatically anyway.

E. Police Department - 5:00:06

Mayor Alison Dennington commended the Police Chief on the number of citations and warnings written.

Police Chief Tim Zander said they had maybe 10 people turn up for the Bagels with Blue event. Said this will be a quarterly event.

Mayor Alison Dennington spoke about ebikes. Recently, someone got hit and was killed. Does not want to have to pass an ordinance, but spoke about another Town that handles it by impounding the bike for one day and calling the parents. Just wants to keep this on the radar.

Police Chief Tim Zander said there has been a lot of outreach about this issue. Does not know what else to do besides call parents out and issue tickets to them.

F. Town Clerk - 5:04:35

Town Clerk Amber Brown spoke about the update on the scanning project and that the company has picked up all 40 boxes. They are limiting 2 experienced staff members to go through the boxes, so it might take a while. They will compare the physical boxes to the digital versions to see which ones are having an issue and go from there. Said the YouTube Channel has been updated, so it will look different, but this was to get closed captions back.

Commissioner Tim Reed said residents have said the audio and closed captions are not so good.

Town Clerk Amber Brown said if anyone notices an issue, try to note the time, which would be helpful to be able to look into it.

G. Town Attorney - 5:06:44

Town Attorney Ryan Knight spoke about the STR window issue and the sign ordinance, which will be in PNZ.

Commissioner Robert Baldwin spoke about an election fine regarding the Mayor.

Mayor Alison Dennington said she has not been served.

Town Clerk Amber Brown said the only way to do it legally is by certified mail, which was refused.

Mayor Alison Dennington said she has not refused anything.

Town Clerk Amber Brown said she would get with the Town Attorney on this issue.

Town Attorney Ryan Knight said he did reach out to the FCCMA about the Interim Town Manager program. Waiting to hear back from them about what that process would be, and will share any information with the Commission. - 5:10:18

H. Town Manager - 5:09:54

No additions.

14. Commission Reports

A. Mayor Alison Dennington

No additions.

B. Vice Mayor Dawn Barlow

No additions.

15. Task List - 5:11:00

Owner-occupied STR – Working on the fire Inspection aspect – Next Month.

StormReady Designation – Waiting to hear back to schedule the meeting - Next Month.

Paid Park at 6th Ave – Sign is enforceable, there will be an ordinance update and a fee update – Next Month.

Employee Survey – Met with the company twice, working on the questions, hopefully it will be out at the beginning of next month – Next Month.

Sign Ordinance – This is going to PNZ – Next Month.

Building Maintenance – Provide a schedule of frequency – Next Month.

STR Updates – Close item, but continue the weekly updates – Closed.

Large Pump – On hold for the engineer contracts, Public Works has a meeting with a provider to demo one – Next Month.

Cybersecurity – On the Technology Advisory Board agenda – Next Month.

Mayor Alison Dennington spoke about a pending lawsuit regarding SB 280, which is about changing the LDC. There is talk that there might be a glitch bill that comes out.

16. Adjournment

Commissioner Anna Butler made a motion to adjourn; Vice Mayor Dawn Barlow seconded; Motion carried 5-0.

Meeting adjourned at 11:22 PM.

ATTEST:

Alison Dennington
Mayor

Rachel Pembroke
Transcriptionist

Town of Melbourne Beach

SPECIAL TOWN COMMISSION MEETING

August 25, 2025 at 5:30 p.m.

COMMUNITY CENTER – 509 OCEAN AVENUE

MINUTES

Commission Members:

Mayor Alison Dennington
 Vice Mayor Dawn Barlow
 Commissioner Robert Baldwin
 Commissioner Anna Butler
 Commissioner Tim Reed

Staff Members:

Town Manager Elizabeth Mascaro
 Town Attorney Ryan Knight
 Town Clerk Amber Brown

1. Call to Order

Mayor Alison Dennington called the meeting to order at 5:07 p.m.

2. Roll Call

Town Clerk Amber Brown conducted roll call

Commission Members Present

Mayor Alison Dennington
 Vice Mayor Dawn Barlow
 Commissioner Robert Baldwin
 Commissioner Anna Butler
 Commissioner Tim Reed

Staff Members Present

Town Manager Elizabeth Mascaro
 Finance Manager Jennifer Kerr
 Fire Chief Gavin Brown
 Town Clerk Amber Brown

3. Pledge of Allegiance and Moment of Silence

Mayor Alison Dennington led the Pledge of Allegiance.

4. Public Comments

After being acknowledged by the Mayor, members of the public should state their name and address for the record. The Commission encourages citizens to prepare their comments in advance. Each individual will have three (3) minutes to address the Commission on any topic(s) related to Town business, not on the Agenda.

Frank LaGrassa – 412 First Ave – Spoke against the Fire Department proposal, and played a clip of the song Ave Maria.

Susan Stark – 307 Fifth Ave - Spoke about the concern and discourse caused by social media, and the *THINK* before you speak mindset; is it True, Helpful, Inspiring, Necessary, and Kind. Suggested there should be a revised Miranda warning read at the beginning of meetings.

Bruce Larson – 1507 Pine St – Asked if this meeting is to pick up where the last meeting left off, or to review the changes made. Spoke about there being mathematical errors.

5. Public Hearings/Special Orders - 14:28

A. Voting on items within the FY 2025-2025 budget

Town Manager Elizabeth Mascaro asked the Commission how they would like to proceed.

Mayor Alison Dennington spoke about pushing the salaries to provide time to review.

Town Manager Elizabeth Mascaro spoke about not pushing it because next week is already September.

Vice Mayor Dawn Barlow recommended going through the updates first, identify what is outstanding, tackle what can be done tonight, and what cannot be done tonight, schedule another meeting.

Commissioner Tim Reed spoke about being prepared to discuss everything at this meeting.

Commissioner Anna Butler made the suggestion to start at the top.

Commissioner Tim Reed spoke about how page 11 had an update for payout, and the number does not match the number on the cover page.

Town Manager Elizabeth Mascaro spoke about how she believes the correct number is \$33,481, but she and the Finance Manager will confirm that.

The Commission reviewed the cover page with the updates.

Town Manager Elizabeth Mascaro said the additional \$100,000 that the Commission had was moved to the long-term capital budget item temporarily until the Commission decides what to do with it.

Commissioner Tim Reed spoke about when this idea was discussed before, the question was, do we put that somewhere else or back in the taxpayers' pockets?

Commissioner Tim Reed made a motion that we take that \$100,000 and we put it back in the taxpayers' pockets;

Vice Mayor Dawn Barlow asked for clarification on the \$200,000.

Town Manager Elizabeth Mascaro spoke about how \$100,000 came from the General Fund and now it is now parked in Fire. The \$50,000 was from the Ryckman Park Fund, and it remains there.

Commissioner Anna Butler seconded;

***Bruce Larson – 1507 Pine St** – Asked for clarification on the amount and where it is from. Questioned whether this is the best use of the funds. - 25:20*

Town Manager Elizabeth Mascaro spoke about how the Ryckman Park \$100,000 was reduced to \$50,000, and the other \$100,000 was put into long-term capital.

Commissioner Tim Reed spoke about how the funds were never allocated in the budget; they just showed up.

***Susan Stark – 307 Fifth Ave** – Spoke about making sure you consider that there was a public safety issue brought forward by the Chief. Rather than return those funds, leave them in that budget and move it around to help support Chief Brown's request.*

Motion failed 2-3 with Vice Mayor Dawn Barlow, Commissioner Robert Baldwin, and Commissioner Anna Butler dissenting.

Commissioner Anna Butler spoke about wanting to lower taxes, but safety is necessary. Would like to put the funds toward the Fire Department.

Vice Mayor Dawn Barlow spoke about it being premature to allocate the money. Does not have a clear understanding of the three categories, which include the fire department, breaking out mill and pave, and stormwater.

Commissioner Robert Baldwin spoke about stormwater projects, and thinks the money is going to go quickly. Thinks we are going to need more money for stormwater.

Commissioner Tim Reed asked where we are going with this. Is this being punted to another meeting?

Mayor Alison Dennington spoke about wanting to not collect it, or it goes to stormwater; otherwise, she will vote against it.

Commissioner Anna Butler spoke about putting it in the General Fund, unrestricted.

Commissioner Robert Baldwin made a motion to table this until the next meeting; No objections.

Vice Mayor Dawn Barlow asked about how revenue is listed as Veterans Memorial, but under expenditures, it's listed as Circle Park Upgrades.

Finance Manager Jennifer Kerr spoke about that being an error. The expenditure will be renamed.

Commissioner Tim Reed spoke about the \$40,000 for seawall repair in Fund 141. It appears to still be in another Fund.

Town Manager Elizabeth Mascaro spoke about the \$40,000 in 341 is for scoping Cherry.

Mayor Alison Dennington spoke about how the Town Manager was going to contact the Town Engineers, and the Town Manager confirmed she had not done that yet.

Commissioner Tim Reed spoke about how we should be engaging the Town Engineers to determine what is the next area in the Town's stormwater that should be addressed.

Mayor Alison Dennington spoke about how it would not be a repair, but instead it would be an assessment. There is no stormwater plan. There should be a restricted fund to build a plan. - 46:35

Town Manager Elizabeth Mascaro said they took the mill and pave \$104,000 out of long-term capital and put it in 351. Said \$50,000 would be going into Fund 175 for playground equipment.

Mayor Alison Dennington confirmed \$9,660 is the remaining ADA compliance amount.

Town Manager Elizabeth Mascaro said it covered everything but the doors. It covered the porch, the paving, the signs, and anything to do with ADA compliance.

Commissioner Tim Reed spoke about Fund 351, the Riverside work, and asked where the money came from.

Town Manager Elizabeth Mascaro spoke about how Riverside was paid out of Fund 341, but to show the cost when the Fund was split, the figures are listed in FY25.

Commissioner Tim Reed asked where the \$104,000 came from.

Town Manager Elizabeth Mascaro spoke about how it is in increments of \$52,000, and there are 2 increments remaining.

Vice Mayor Dawn Barlow spoke about wanting the details on the breakdown.

Town Manager Elizabeth Mascaro said she would provide that information to the Commission.

Commissioner Tim Reed asked about the transfer in Fund 341 in the amount of \$318,205. - 56:14

Town Manager Elizabeth Mascaro spoke about how that number is the leftover and fluctuates when the other numbers change.

Commissioner Tim Reed verified the millage rate is 4.6000. Asked questions about the police salary for the SRO, Police Officer 7, and Differential being paid out of Fund 172. All of the employment costs for the police department should be carried in Department 21. Said there is \$80,934 not represented here that is in Fund 172. Needs to show a transfer for where the funds are being paid from in order to have a complete picture.

Commissioner Tim Reed made a motion that we do those updates in this workbook to show those line items for Department 21;

Commissioner Robert Baldwin spoke about how the Town would not have an SRO if Brevard County did not pay for it, so that should not be shown in the Department.

Commissioner Tim Reed disagreed and said it is a Police expense, so it should be reflected in that department.

Finance Manager Jennifer Kerr said the SRO is paid by the Brevard County Sheriff's Office, and that goes into the General Fund. The SRO person is paid out of 21.

Mayor Alison Dennington asked about complaints of the grass not being mowed at Gemini Elementary.

Town Manager Elizabeth Mascaro spoke about how the mowing at the school is done by Brevard County.

Commissioner Robert Baldwin clarified that if the SRO officer is in the fund, it is just the other Police Officer funded by parking that is not in this fund.

Finance Manager Jennifer Kerr said that could be done and explained that there would be a transfer from 172 to the General Fund to cover the cost.

Commissioner Robert Baldwin seconded;

***Bruce Larson – 1507 Pine St** – Spoke about this being about transparency to see how much it costs to have police. Separately, list the transfers for where the funding is coming from. - 1:07:50*

Motion carried – 5-0.

Commissioner Tim Reed spoke about needing clarification on the correct payout number. On page 33, Fund 107, Circle Park Upgrades is going to be renamed.

Mayor Alison Dennington spoke about removing the Town Manager's gas and oil stipend of \$4,400.

Finance Manager Jennifer Kerr said the Town Manager was not the first Town Manager to have that stipend.

Vice Mayor Dawn Barlow said this needs to be updated on what the Commission agrees on in the search criteria they are going to publish.

Mayor Alison Dennington spoke about wanting the number for each subscription.

Finance Manager Jennifer Kerr spoke about being able to add the number of licenses for the various subscriptions.

Town Manager Elizabeth Mascaro spoke about how BSA is only one license for the Town.

Commissioner Tim Reed asked the Vice Mayor if she could share her summary of what is on the to-do list.

Vice Mayor Dawn Barlow spoke about the \$150,000 and where it's going, breakdown between stormwater and mill and pave, salaries, and the number held in the Fire Department, changes in the Police Officer being funded and being shown in the Police Department, and adding the number of licenses captured throughout.

Commissioner Anna Butler spoke about having the Town Manager reach out to the Town Engineers to get a quote for stormwater.

Mayor Alison Dennington spoke about still waiting for more employee evaluations.

Commissioner Robert Baldwin verified they have the 6 employees who have a higher than 3% proposed. - 1:18:50

Mayor Alison Dennington said the Town Manager was also going to get the prior Police Chief Griswold's evaluation.

The Commission discussed and scheduled 2 Special Meetings on September 3rd and a TCW on September 10th at 5:30 pm.

Bruce Larson – 1507 Pine St – Spoke about the bottom of page 23 in regards to covering the Town's portion of the SAFER grant. Year 2, you're going to be \$150,000 short due to not having the sale of vehicles, and in year 3, you will be short \$500,000. This is a complex decision and needs justification, and demands that the mathematics is right. - 1:30:25

6. Adjournment

Commissioner Robert Baldwin moved to adjourn; Vice Mayor Dawn Barlow seconded; Motion carried 5-0.

Meeting adjourned at 6:39 pm.

ATTEST:

Alison Dennington
Mayor

Rachel Pembroke
Transcriptionist

Town of Melbourne Beach

SPECIAL TOWN COMMISSION MEETING

September 3, 2025 at 5:30 p.m.

COMMUNITY CENTER – 509 OCEAN AVENUE

MINUTES

Commission Members:

Mayor Alison Dennington
 Vice Mayor Dawn Barlow
 Commissioner Robert Baldwin
 Commissioner Anna Butler
 Commissioner Tim Reed

Staff Members:

Town Manager Elizabeth Mascaro
 Town Attorney Ryan Knight
 Town Clerk Amber Brown

1. Call to Order

Mayor Alison Dennington called the meeting to order at 5:35 p.m.

2. Roll Call

Town Clerk Amber Brown conducted roll call

Commission Members Present

Mayor Alison Dennington
 Vice Mayor Dawn Barlow
 Commissioner Robert Baldwin
 Commissioner Anna Butler
 Commissioner Tim Reed

Staff Members Present

Finance Manager Jennifer Kerr
 Police Chief Tim Zander
 Town Clerk Amber Brown

3. Pledge of Allegiance and Moment of Silence

Mayor Alison Dennington led the Pledge of Allegiance.

4. Public Comments

After being acknowledged by the Mayor, members of the public should state their name and address for the record. The Commission encourages citizens to prepare their comments in advance. Each individual will have three (3) minutes to address the Commission on any topic(s) related to Town business, not on the Agenda.

5. New Business - 1:30

A. Consideration of the Town Manager recruitment brochure from MGT.

Mayor Alison Dennington spoke about reaching out to members of the public to get their input and wanted to discuss that.

The Commission decided to have each member talk for 5 minutes before voting.

Vice Mayor Dawn Barlow provided a document with some edits.

Commissioner Anna Butler spoke about how, under Essential Functions, the fourth bullet point, she added Town Clerk/Deputy Clerk. The tenth point, grant applications, added or delegate to the appropriate experienced professional. Second from the bottom, that is a difficult one; the Building Official has to be licensed. Under knowledge, skills, and abilities, she added government accounting. Under qualifications, she feels the part that says or demonstrated ability to perform essential job functions is a little ambiguous.

Vice Mayor Dawn Barlow spoke about how Essential Functions bullet point 4 should include Commission Members. For the grant one, wants to add research and identify grant opportunities, coordinate and prepare grant applications on behalf of the Town, and oversee the admission of awarded grants with assistance as appropriate. The second to the last point, add in the event of vacancies, identify and coordinate appropriate coverage for the roles of Finance Director, Public Works Director, and Building Official, as needed and authorized by the Commission. Not opposed to adding a master's degree, preferred. Also spoke about vehicle allowance, if it is in there, it should be defined, possibly be a line item where mileage is tracked and reimbursed.

Mayor Alison Dennington spoke about not liking the use of the word broad. Instead, say subject to the particular provisions of the Charter. The Clerk is in a difficult position because the Charter says she administratively reports to the Manager, but shall be the Clerk to the Commission. Add subject to the provisions of the Charter. Under qualifications, strike demonstrated ability to perform essential job functions. Add quickly and promptly review existing job descriptions, policies and procedures, software, and job functions. Read the edits she received from residents Marc Lower and Roger Newell.

Commissioner Robert Baldwin spoke about adding bullet points to the qualifications sections. The first one would be a bachelor's degree. Then separate bullet points for the remaining items. This is not intended to be all encompassing. Add language that if anything is in conflict with the Charter, the Charter shall prevail. - 20:35

Mayor Alison Dennington spoke about needing to remove the or from the qualifications section. It could read something like the bachelor's degree in business, public administration or related field, and then add and preference for supplemental courses in government administration.

Commissioner Robert Baldwin spoke about someone with a bachelor's degree who has been a Town Manager for 20 years, but does not have supplemental courses, would that be held against them?

Mayor Alison Dennington spoke about assuming the 4 year degree is required then the rest is preferred.

Commissioner Tim Reed spoke about how under the qualifications, a master's degree preferred needs to be in there. Reword to account for directly related experience. Suggested providing a version marked with the changes/comments and asking him to get back to us with a second version.

Mayor Alison Dennington spoke about being able to vote on some of the amendments that have specific language.

Essential Functions bullet point 4: add Commission members and the Town Clerk. – No objections.

Essential Functions bullet point 9: Strike that first sentence language and replace it with research and identify grant opportunities; coordinate and prepare grant applications on behalf of the Town, and oversee the administration of awarded grants, with assistance as appropriate. – No objections. - 31:30

Essential Functions bullet point second to the last: Strike the first part and replace it with in the event of vacancies, promptly ensure continuity of service delivery by identifying alternative service options and coordinating appropriate coverage or supplementary resources for all department roles as needed and authorized by the Commission. – No objections.

Under knowledge, skills, and abilities bullet point 10: add specifically government accounting. – No objections - 40:50

Job descriptions, establish performance metrics, software, and report recommendations and changes to the Commission.

Mayor Alison Dennington spoke about adding promptly establishing performance metrics, reviewing existing job descriptions, existing software, and policies and procedures for conformity, efficiency, reducing ambiguities, redundancies, and conflict. Will report recommendations and revisions to the Commission.

Commissioner Robert Baldwin spoke about how everyone's thoughts on promptly are different. Does not think it needs to be included in this document, but could be in a supplemental document.

Vice Mayor Dawn Barlow spoke about how that would be covered by other bullet points.

Keep the word broad on page 3 in the third paragraph, but add subject to the Town Charter. – No objections.

Mayor Alison Dennington spoke about how the Charter says the Town Clerk is an office and shall be clerk of the Commission.

Commissioner Robert Baldwin said it does not say they report exclusively to the Town Manager. The Commission decided the original wording was fine.

Qualifications section: minimum qualifications, the sentence about a bachelor's degree, and 3 years of experience. The preferred is a master's degree, 5 years of experience, and experience in Florida.

Essential Functions bullet point between 12 and 13 – Add the following two sentences. The responsibilities of the Town Manager include the efficient implementation of Commission goals, policies, and directives as well as overseeing the swift enforcement of Town ordinances. Enforce a clear strategy of the Town's code enforcement programs in such areas as vacation rentals, construction, nuisance properties, etc. - No objections. - 59:30

Essential Functions bullet point 10: Change Town Managers to Department Heads. – No objections.

Page 3, fourth paragraph: add for zoning and for planning. – No objections.

Commissioner Robert Baldwin spoke about how the vehicle allowance is not automatic and does not need to be part of the offer. It can be reimbursed, can be negotiated.

Strike vehicle allowance. – No objections.

Salary: \$120,000 annual. – No objections.

Commissioner Robert Baldwin spoke about offering a 6-month review for a possible increase instead of offering more up front, and the Commission agreed. Said that could go in the offer letter, not the pamphlet.

Commissioner Robert Baldwin made a motion that we accept the pamphlet from MGT for the purpose of recruiting a new Town Manager, subject to all the changes that have been mentioned here without objection; Commissioner Anna Butler seconded; Motion carried 5-0.

6. Adjournment

Vice Mayor Dawn Barlow moved to adjourn; Commissioner Robert Baldwin seconded; Motion carried 5-0.

Meeting adjourned at 6:46 pm.

ATTEST:

Alison Dennington
Mayor

Rachel Pembroke
Transcriptionist



TOWN OF MELBOURNE BEACH DEVELOPMENT APPLICATION

I. SUBMITTAL REQUIREMENTS:

1. Fees per current schedule.
2. Deed to property.
3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting.
4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

II. REQUEST:

- | | |
|--|--|
| <input type="checkbox"/> Land Use Plan Amendment
<input type="checkbox"/> Special Exception
<input type="checkbox"/> Variance
<input checked="" type="checkbox"/> Site Plan Review Single Family (1RS, 2RS, 3RS)
<input type="checkbox"/> Site Plan Review Commercial (6B, 7C, 8B, 9I) | <input type="checkbox"/> Rezoning
<input type="checkbox"/> Coastal Construction Variance
<input type="checkbox"/> Appeal (Application must be filed within 30 days)
<input type="checkbox"/> Site Plan Review Multifamily (4RM, 5RMO)
<input type="checkbox"/> Amendment to the Land Development Code
<input type="checkbox"/> Other (specify)_____ |
|--|--|

III. PROPERTY INFORMATION:

General Location: Wilcox Melbourne Beach LOT 23 BLK 27

Address: 206 6th Avenue, Melbourne Beach, FL 32951

Parcel Number(s): 28-38-08-FY-27-23

Area (in acreage): 0.21 Area (in square feet): 9,000

Current Zoning: 3-RS (SFR) Proposed Zoning: N/A (no change)

Current Future Land Use: 0110 – SFR Proposed Future Land Use: 0110 – SFR (no change)

Brief Description of Application: P&Z Review for Interior/Exterior Renovation/Alteration,
2nd Story Addition and New Paver Driveway

Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable): _____

IV. APPLICANT INFORMATION:

Property Owner

Name: Debczak, JohnPhone: 215-290-6007Address: 1400 Atlantic Street, Apt AFax: N/AMelbourne Beach, FL 32951Email: jkdebczak@gmail.com

Applicant (if other than property owner)

Name: Giesen, ChadPhone: 321-288-6909Address: 2740 Business Center Blvd, #25Fax: N/AMelbourne, FL 32940Email: chad@bcrenogroup.com**V. OWNER AUTHORIZATION:***

The undersigned hereby affirms the following:

1. That I/we are the fee simple title owner/contract purchaser (circle one) of the property described in this application.
2. That I/we have read and understands the entire application and concurs with the request.
3. That I/we have appointed the Applicant to represent the application, and empowers the Applicant to accept any and all conditions of approval imposed by the Town of Melbourne Beach.

Signature: *John Debczak*Date: 5/11/25Print Name: John DebczakTitle: Owner

*Must sign in front of notary.

State of Florida

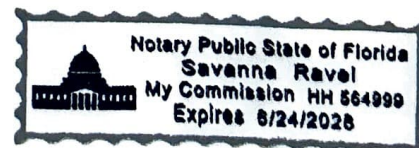
County of Brevard.

The foregoing application is acknowledged before me

this 11th day of May, 2025, by JOHN DEBCZAKwho is/are personally known to me, or who has/have produced Driver's license as identification.

Signature of Notary Public, State of Florida

NOTARY SEAL



VI. APPLICANT CERTIFICATION:*

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

Signature: Chad Giesen Date: 05.10.2025

Print Name: Chad Giesen Title: Contractor

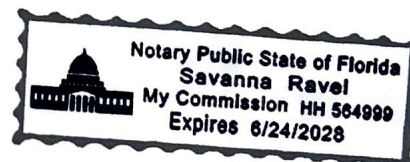
*Must sign in front of notary.

State of Florida
County of Brevard.

The foregoing application is acknowledged before me
this 10th day of MAY, 2025, by CHAD GIESEN
who is/are personally known to me, or who has/have produced _____
as identification.

Savanna Ravel
Signature of Notary Public, State of Florida

NOTARY SEAL



VII. PROJECT DESCRIPTION:

Describe Application: Interior/Exterior Renovation/Alteration, 2nd Story Addition and
New Paver Driveway

Provide attachment if more space is needed.

Describe Existing Conditions: 1-Story Single Family Residence with concrete driveway and pool.

Provide attachment if more space is needed.

Future Land Use Plan Amendment*

Consistency with the Comprehensive Plan – Provide a written summary of how the proposed Amendment to the Future Land Use Plan is consistent with the Comprehensive Plan, and cite Comprehensive Plan Goals, Objectives and Policies in this analysis.

N/A

Provide attachment if more space is needed.

Impact of Public Facilities – the applicant must provide information on the impact of the proposed future land use plan amendment on public facilities including, but not limited to parks and open space, traffic, public utilities, police and fire.

N/A

Provide attachment if more space is needed.

Environmental Impacts – the applicant must provide information on the impacts of the proposed future land use plan amendment on environmental resources including but not limited to wetlands, soils posing severe limitations to development, unique habitat, endangered wildlife and/or plant species, flood prone areas, and coastal zones/dune systems.

N/A

Provide attachment if more space is needed.

Public notification – As required by code for the respective applications, the applicant must provide a map showing the subject site and all properties within a 500' radius. The applicant must also provide self-addressed envelopes with the Town's return address for each property owner within that 500' radius for purposes of providing notice to property owners of record. A sign must also be posted on the property within the timeframes required to provide additional public notification as required by Code.

*** Provide twelve (12) copies of the completed application and all supporting documentation.**

N/A

Rezoning*

Justification – Provide a written justification of the proposed rezoning and the need for the change as proposed.

N/A

Provide attachment if more space is needed.

Effect – Provide a written narrative on the effect of the change, if any, on the particular property and on surrounding properties.

N/A

Provide attachment if more space is needed.

Undeveloped land – provide information on the amount of undeveloped land in the town having the same classification as that being requested.

N/A

Purpose and Intent – Provide a written description of the proposed change in relationship to the purpose and intent of the present zoning and zoning requested.

N/A

Provide attachment if more space is needed.

Public notification – As required by code for the respective applications, the applicant must provide a map showing the subject site and all properties within a 500' radius. The applicant must also provide self-addressed envelopes with the Town's return address for each property owner within that 500' radius for purposes of providing notice to property owners of record. A sign must also be posted on the property within the timeframes required to provide additional public notification as required by Code.

*** Provide twelve (12) copies of the completed application and all supporting documentation.** N/A

Amendment to the Land Development Code*

General Description of the proposed amendment to the Land Development Code – Provide a written description of the proposed change and explain why the amendment is necessary or appropriate.

N/A

Provide attachment if more space is needed.

The specific code section to be amended or adopted – Provide the specific wording of the proposed change.

N/A

Provide attachment if more space is needed.

Consistency with the Comprehensive Plan – Provide a written summary of how the proposed amendment to the Land Development Code is consistent with the Comprehensive Plan.

N/A

Provide attachment if more space is needed.

Impact of Public Facilities – the applicant must provide information on the impact of the proposed amendment to the Land Development Code on the Town’s ability to provide adequate public facilities including, but not limited to parks and open space, traffic, public utilities, police and fire and maintain the existing level of service as identified in the Comprehensive Pan, if the amendment is grated.

N/A

Provide attachment if more space is needed.

Environmental/Natural/Historical Impacts – the applicant must provide information on the impacts of the proposed amendment to the Land Development Code on environmental/natural/historical resources including but not limited to wetlands, soils posing severe limitations to development, unique habitat, endangered wildlife and/or plant species, flood prone areas, and coastal zones/dune systems.

N/A

Provide attachment if more space is needed.

Public notification – Payment for all appropriate processing fees and charges will be made at the time of the application and at any other time as set forth by the Town Commission or Resolution.

Payment by the applicant shall include all costs necessary for giving of any public notice as required by state or local law.

*** Provide twelve (12) copies of the completed application and all supporting documentation.**

N/A

Special Exception*

Site and architectural plans elevations of all faces of a building and an overhead view shall be submitted with all special exception applications that include a **new building(s), facade renovations, or substantial improvements to an existing building**. The drawings shall be submitted in color and at the minimum shall include:

- Sealed and signed survey of existing improvements. All elevations should be NGVD/NAVD or Comparable for FEMA reference. (Include Lot Dimensions, Square footage & Coverage Percentage)
- Architectural elevations showing:
 - Proposed architectural style.
 - Exterior construction material specifications.
 - Color charts.
- A site plan pursuant to the requirements of Section 7A-51/7A-51.1.
- Structure dimensions and setbacks from all property lines.
- Refuse service area location.
- Mechanical outdoor equipment location.
- Master outdoor lighting plan.
- Screening devices.
- Master signage plan.
- Master landscaping and irrigation plan.
- Wall or fence details.
- Stormwater Management

Narrative – the applicant shall provide a narrative that explains how the use and the development will be compatible with surrounding uses in its function, its hours of operation, the type and amount of traffic to be generated, building size and setbacks, its relationship to land values and other factors that may be used to measure compatibility.

N/A

Provide attachment if more space is needed.

Special Exception Applications for space in an **existing building** must provide the following information:

- Survey of existing improvements.
- Architectural elevations showing:
 - Existing/proposed architectural style.
 - Existing/proposed exterior construction material specifications.
 - Existing/proposed exterior color.
- A site plan showing any proposed site improvements as described pursuant to the requirements of Section 7A-51/7A-51.1.
- Structure dimensions and setbacks from all property lines.
- Existing/proposed refuse service area location.
- Existing/proposed mechanical outdoor equipment location.

- Existing/proposed outdoor lighting layout.
- Existing/proposed screening and buffering.
- Existing/proposed signage.
- Existing/proposed landscaping and irrigation.
- Existing/proposed Wall or fence details.
- Stormwater Management

Public notification – As required by code for the respective applications, the applicant must provide a map showing the subject site and all properties within a 500' radius. The applicant must also provide self-addressed envelopes with the Town's return address for each property owner within that 500' radius for purposes of providing notice to property owners of record. A sign must also be posted on the property within the timeframes required to provide additional public notification as required by Code.

*** Provide twelve (12) copies of the completed application and twelve (12) 11X17 copies of all supporting documentation.**

N/A

Variances*

Variances are allowed only for area, size of structure, size of yards, and open spaces. All applications shall provide a written Justification Statement describing the existing conditions, the proposed improvements necessitating a variance, and shall address the following specific criteria:

Describe the special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, buildings or structures in the same district

N/A

Provide attachment if more space is needed.

Describe why the literal interpretation of the provisions of this Land Development Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Land Development Code

N/A

Provide attachment if more space is needed.

Document that the special conditions and circumstances referred to above, do not result from the actions of the applicant.

N/A

Provide attachment if more space is needed.

NOTE: Establishment or expansion of a use otherwise prohibited shall not be allowed by variance, nor shall a variance be granted because of the presence of nonconformities in the zoning district or uses in an adjoining zoning district. Variances to maximum building heights are not authorized. Under no circumstances shall the Board of Adjustment grant a variance to permit a use not generally or by special exception permitted in the district involved, or any use expressly or by implication prohibited by the terms of the Land Development Code.

Public notification – As required by code for the respective applications, the applicant must provide a map showing the subject site and all properties within a 500' radius. The applicant must also provide self-addressed envelopes with the Town's return address for each property owner within that 500' radius for purposes of providing notice to property owners of record. A sign must also be posted on the property within the timeframes required to provide additional public notification as required by Code.

*** Provide twelve (12) copies of the completed application and all supporting documentation.**

N/A

A. Variance to Coastal Construction Line Restrictions*

Applications for variance to the Coastal Construction restrictions shall provide a statement describing the proposed work, activity, and construction seaward of the coastal setback line.

N/A

Provide attachment if more space is needed.

Applications shall also include a topographic survey of the subject property with the following specific information:

- The location of the contour line corresponding to elevation zero feet NGVD;
- The location of any existing vegetation line on the subject property;
- The location of the established State Department of Environmental Protection Coastal Construction Control Line and the mean high water line, for the full width of the subject property, including the location and number of the two nearest State Department of Environmental Protection's baseline monuments;
- The location of all proposed development to be constructed as a result of the proposed variance;
- The location of all existing development to remain on-site as a part of the development or redevelopment of the site;
- The location seaward of the coastal construction control line of all portions of all existing, and planned development, depicting the number of feet seaward of the coastal construction control line of the development;
- The location for the full width of the subject property of: the line of continuous construction; the top of the coastal dune system; the toe of the coastal dune system on or adjacent to the property at the time of application to the point at the dune, as it existed in September, 1972; and the location of the East side of the A-1-A right-of-way; the location of any principal structure to the North and South of the proposed project property and located within 100 feet of the proposed project property. As used in this subsection, the term **LINE OF CONTINUOUS CONSTRUCTION** is a line drawn from the most seaward edge of any principal structure to the North, and within 100 feet of the proposed project to the most seaward edge of any principal structure to the South, and within 100 feet, of the proposed project; and
- A certification as to the maximum number of feet seaward of the coastal construction control line for which the variance is requested for the full width of the subject property.

The applicant shall also provide detailed final construction plans and specifications for all structures proposed to be constructed seaward of the coastal setback line. These documents shall be signed and sealed by a professional engineer or architect, as appropriate, who must be registered in the state.

N/A

The Applicant must provide documentation and narrative demonstrating the following:

That the subject property experienced less than 25 feet of beach-dune erosion since September, 1972. The erosion will be measured by determining the extent of horizontal recession from the toe of the dune as it exists at the time of application to the point at the dune as it existed in September, 1972, which corresponds to the same elevation as the toe of the dune as it exists at the time of application;

N/A

Provide attachment if more space is needed.

That the granting of the variance will not be injurious to adjacent properties, nor contrary to the public interest

N/A

Provide attachment if more space is needed.

That the granting of the variance will not jeopardize the stability of the beach-dune system.

In granting any variance, the Board of Adjustment will when reasonable to do so require that new development on the property subject to the variance be no further seaward than existing development to the North or South of the subject property.

N/A

Provide attachment if more space is needed.

A notice containing the aforementioned information shall be posted by the applicant on the affected property at least 15 days prior to the public hearing. If the property abuts a public road right-of-way, the notice shall be posted in such a manner as to be visible from the road right-of-way. An affidavit signed by the owner or applicant evidencing posting of the affected real property shall be received by the Town Board of Adjustment, prior to the public hearing.

Public notification – As required by code for the respective applications, the applicant must provide a map showing the subject site and all properties within a 500' radius. The applicant must also provide self-addressed envelopes with the Town's return address for each property owner within that 500' radius for purposes of providing notice to property owners of record. A sign must also be posted on the property within the timeframes required to provide additional public notification as required by Code.

*** Provide twelve (12) copies of the completed application and all supporting documentation. N/A**

APPEAL*

1. Nature of Appeal – Please be specific in your narrative:

N/A

[illegible]

2. Provide any supporting drawings, information and documentation. All records and attachments shall be considered part of the application and will become part of the public record and will not be returned.

N/A

Public notification – As required by code for the respective applications, the applicant must provide a map showing the subject site and all properties within a 500' radius. The applicant must also provide self-addressed envelopes with the Town's return address for each property owner within that 500' radius for purposes of providing notice to property owners of record. A sign must also be posted on the property within the timeframes required to provide additional public notification as required by Code.

- * Provide twelve (12) copies of the completed application and all supporting documentation.**

N/A

Site Plan for Single Family Development

A site plan must be reviewed and evaluated **by the Town Engineer**, Building Official and or Zoning Official **and** Planning and Zoning Board and approved by the Town Commission. The applicant shall provide the following in support of their application for site plan approval of a single family home:

1. Narrative description of proposed improvements and demolitions.
2. Two (2) Sealed Surveys of the existing conditions prepared by a professional surveyor. All elevations should be NGVD/DAVD or Comparable for FEMA reference. (Include Lot Dimensions, Square footage & Coverage Percentage)
 - a. All existing structures (including but not limited to outbuildings, sheds, pools, etc), major features, trees and fences shall be fully dimensioned, including the height of all structures and the distance between principal and accessory structures on site and the distance between structures and driveways, and property or lot lines.
3. **Two (2) Professionally prepared plans in compliance with Ordinance 2019-06 showing the following:**
 - a. Name, location, owner, and designer of the proposed development and the intended use
 - b. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties
 - c. Date, north arrow, and graphic scale (not less than one inch equals 20 feet)
 - d. Location of all property lines, existing streets adjacent to the subject property, easements, as well as proposed driveways and general lot layout
 - e. All existing and/or proposed structures, major features, and fences shall be fully dimensioned, including the height of all structures and the distance between principal and accessory structures on site and the distance between structures and driveways, and property or lot lines
 - f. Site data providing all information needed to confirm compliance with zoning regulations including “required” and “provided” information:
 - i. Proposed principal use and/or any proposed accessory uses
 - ii. Lot size and dimensions
 - iii. Lot coverage
 - iv. Proposed living area square footage (e.g., square footage under air), and square footage of any other spaces including garage, covered entries, covered porches, screen rooms, etc.
 - v. Number of enclosed parking spaces
 - vi. Setbacks from all property lines
 - vii. Number of stories
 - viii. Height of structure
 - ix. Floor plan – a fully dimensioned floor plan shall be provided depicting all existing and/or proposed spaces corresponding to the square footages on the site data breakdown above.
 - x. Architectural elevations of each building façade professionally prepared plan drawn to scale and depicting the height dimension of the proposed structure, construction, or expansion or redevelopment thereof.
 - xi. Landscaping & irrigation plan
4. **Drainage Site Plan showing flow paths and retention areas to meet certification requirements. (3A-80 & 7A-51.1)**
5. **Ten (10) 11X17 Complete sets of plans (all information as outlined in item 3 above) including a copy of the survey both existing and proposed and the Drainage Site Plan.**

Site Plan for duplex, multi-family, and/or commercial N/A

A site plan must be reviewed and evaluated **by the Town Engineer**, Building Official and or Zoning Official **and** Planning and Zoning Board and approved by the Town Commission. The applicant shall provide the following in support of their application for site plan approval of a single family home:

1. Narrative description of proposed improvements and demolitions.
2. Survey of the existing conditions prepared by a professional surveyor. All elevations should be NGVD/NAVD or Comparable for FEMA reference. (Include Lot Dimensions, Square footage & Coverage)
 - a. All existing structures (including but not limited to outbuildings, sheds, pools, etc), major features, trees and fences shall be fully dimensioned, including the height of all structures and the distance between principal and accessory structures on site and the distance between structures and driveways, and property or lot lines.
3. **Two (2) Professionally prepared plans in compliance with Ordinance 2019-06 showing the following:**
 - a. Name, location, owner, and designer of the proposed development and the intended use
 - b. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties
 - c. Date, north arrow, and graphic scale (not less than one inch equals 20 feet)
 - d. Location of all property lines, existing streets adjacent to the subject property, easements, as well as proposed driveways and general lot layout
 - e. All existing and/or proposed structures, major features, and fences shall be fully dimensioned, including the height of all structures and the distance between principal and accessory structures on site and the distance between structures and driveways, and property or lot lines
 - f. Site data providing all information needed to confirm compliance with zoning regulations including “required” and “provided” information:
 - i. Proposed principal use and/or any proposed accessory uses
 - ii. Lot size and dimensions
 - iii. Lot coverage
 - iv. Proposed living area square footage (e.g., square footage under air), and square footage of any other spaces including garage, covered entries, covered porches, screen rooms, etc.
 - v. Number of enclosed parking spaces
 - vi. Setbacks from all property lines
 - vii. Number of stories
 - viii. Height of structure
 - ix. Floor plan – a fully dimensioned floor plan shall be provided depicting all existing and/or proposed spaces corresponding to the square footages on the site data breakdown above.
 - x. Architectural elevations of each building façade professionally prepared plan drawn to scale and depicting the height dimension of the proposed structure, construction, or expansion or redevelopment thereof.
 - xi. Landscaping and irrigation plan
4. **Drainage Site Plan showing flow paths and retention areas to meet certification requirements. (3A-80 & 7A-51.1)**
5. **Ten (10) 11X17 Complete sets of plans (all information as outlined in item 3 above) including a copy of the survey both existing and proposed and the Drainage Site Plan.**

JOHN K. & ANNE DEBCZAK

SITE PLAN

206 SIXTH AVENUE

MELBOURNE BEACH, FL 32951

LEGAL DESCRIPTION:

LOT 23, BLOCK 27, PLAT OF WILCOX MELBOURNE BEACH

GENERAL NOTES:

1. PROPERTY LAYOUT INFORMATION SHOWN HAS BEEN PROVIDED TO THE ENGINEER BY THE OWNER AND/OR OWNER'S AGENT. IT HAS NOT BEEN VERIFIED FOR ACCURACY. ENGINEER DOES NOT ACCEPT LIABILITY FOR INCORRECT OR INACCURATE PROPERTY AND/OR AREA INFORMATION PROVIDED.
2. FOOTPRINT PROVIDED BY OWNER AND/OR OWNER'S AGENT. ANY DIMENSIONS ON SITE PLAN ARE FOR REFERENCE ONLY. CONTRACTOR TO ENSURE CORRECT DIMENSIONS INCLUDED PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO FIELD VERIFY ELEVATIONS OF ADJACENT PROPERTIES PRIOR TO CONSTRUCTION FOR CONNECTION TO EXISTING PROPERTY LINE WITHOUT BLOCKING OR DRAINING ONTO ADJACENT PROPERTIES. CONTRACTOR TO COORDINATE GRADING ALONG COMMON LOT LINES WITH ADJACENT NEIGHBORS TO ENSURE CONTINUED POSITIVE DRAINAGE.
4. SIDE SLOPES ON ANY AREA WITHIN THE LOT CANNOT EXCEED ONE (1) FOOT VERTICAL FOR EACH FOUR (4) FEET HORIZONTAL.
5. DRAINAGE EASEMENTS SHALL NOT CONTAIN PERMANENT IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO SIDEWALKS, DRIVEWAYS, IMPERVIOUS SURFACES, PATIOS, DECKS, POOLS, AIR CONDITIONERS, STRUCTURES, UTILITY SHEDS, POLES, FENCES, SPRINKLER SYSTEMS, TREES, SHRUBS, HEDGES, AND LANDSCAPING PLANTS OTHER THAN GRASS, EXCEPT FOR THE LANDSCAPING OF STORMWATER DETENTION AND RETENTION PONDS AS REQUIRED BY THE CODE.

SITE DATA	AREA
TOTAL SITE AREA	9,000 SF
EXISTING:	
EXISTING HOUSE	2,420 SF
EXISTING CONCRETE	3,229 SF
TOTAL IMPERVIOUS AREA	5,649 SF 63%
TOTAL PERVIOUS AREA	3,351 SF 37%
PROPOSED:	
EXISTING HOUSE	2,420 SF
EXISTING CONCRETE	1,944 SF
PROPOSED CONCRETE	121 SF
PROPOSED DRIVEWAY	974 SF
TOTAL IMPERVIOUS AREA	5,459 SF 61%
TOTAL PERVIOUS AREA	3,541 SF 39%

SHEET INDEX:	
1	COVER SHEET & GENERAL NOTES
2	EXISTING CONDITIONS
3	SITE PLAN

THIS PLAN HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ELIA G. TWIGG, PE USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

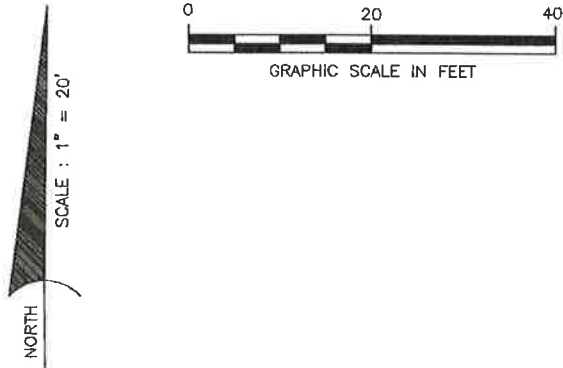


355 TORTOISE VIEW DRIVE, SUITE E
SATELLITE BEACH, FL 32937
Ph: (321) 413-0027
elia@lantic.com

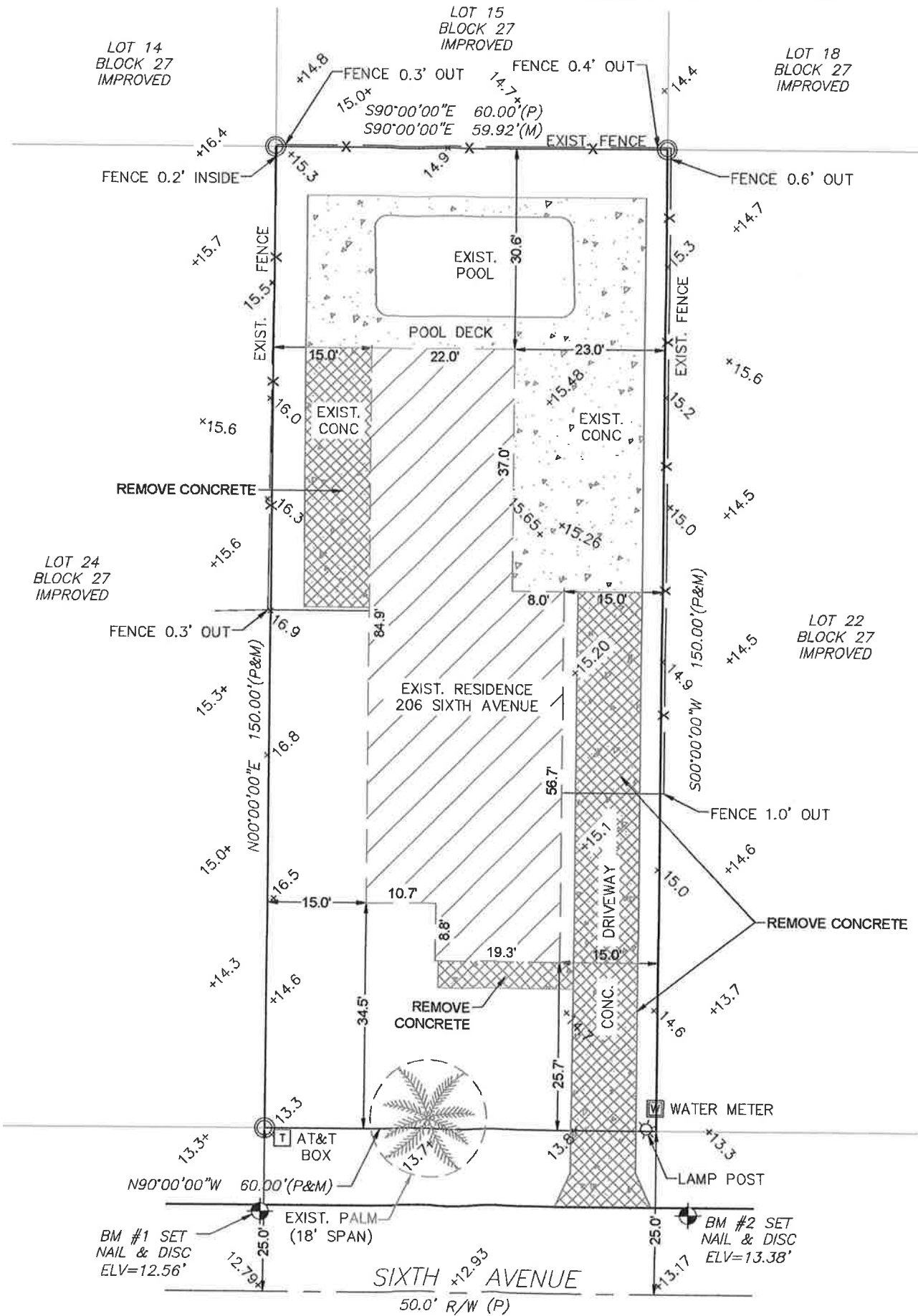
REVISIONS:	Δ 6/23/25 - REVISED SURVEY

PROJECT:
JOHN K. & ANNE DEBCZAK
206 SIXTH AVENUE
MELBOURNE BEACH, FL 32951

SCALE:	PARCEL ID:	CONTRACT NO:
N/A	28-38-08-FY-27-23	C2408.30
SUBDIVISION:	WILCOX	JOB NO:
MELBOURNE BEACH	LOT 23	24 09-106
CONTRACTOR:	ORB GROUP	DATE:
BC RENO GROUP	1 / 58	06/30/25
TITLE:		SHEET
COVER SHEET & GENERAL NOTES		1 of 2

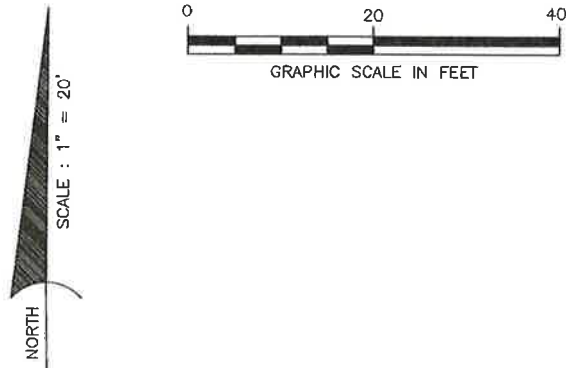


SITE DATA		AREA
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EXISTING:		
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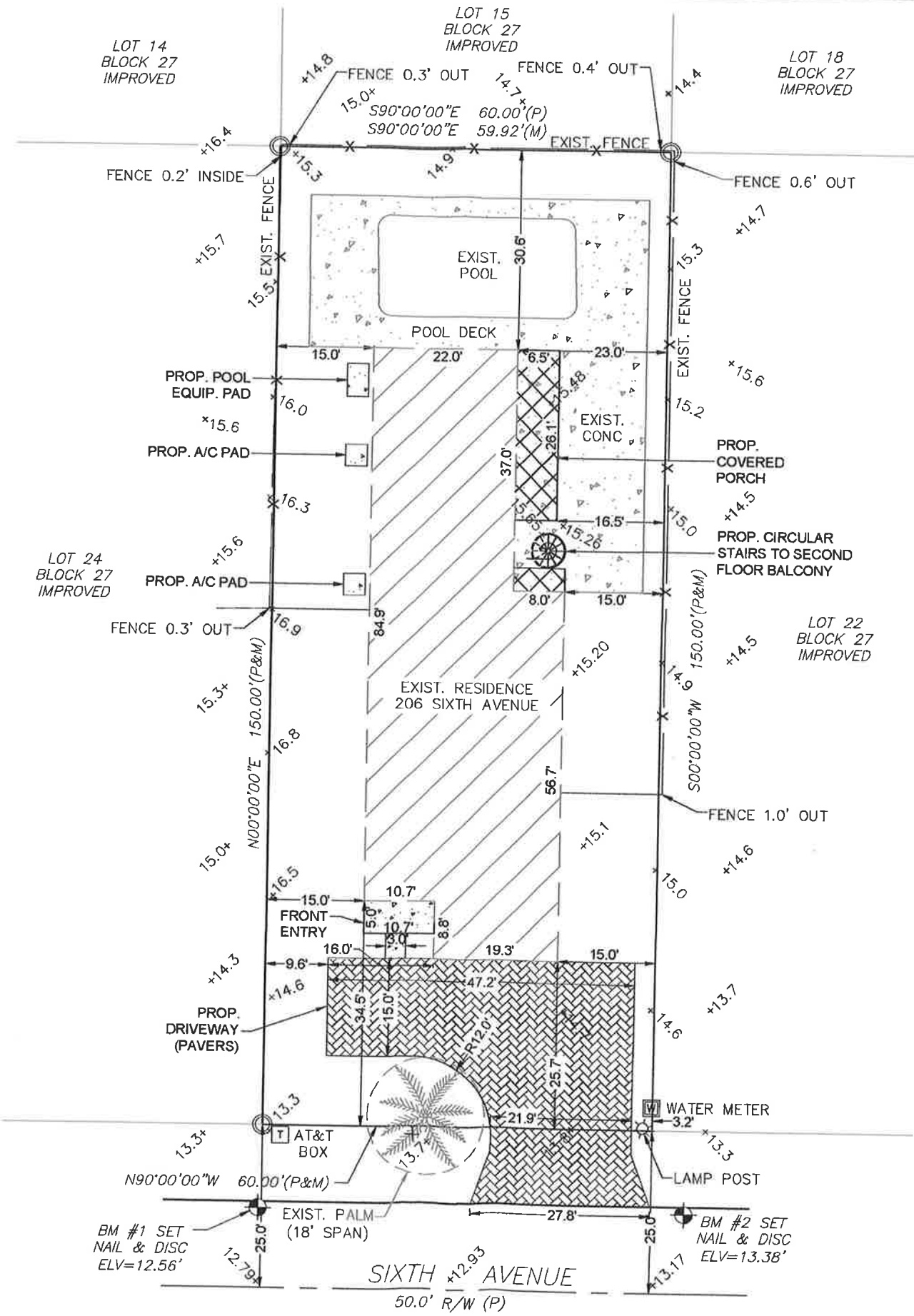


PROJECT: JOHN K. & ANNE DEBCZAK 206 SIXTH AVENUE MELBOURNE BEACH, FL 32951		REVISIONS: 6/23/25 - REVISED SURVEY	
CONTRACT NO.: C2408.30		CONTRACTOR: ELIA G. TWIGG, PE FLORIDA LICENSE NO: 65711	
SCALE: 1" = 20'		DATE: 24.09.106	
PARCEL ID: 28-38-08-FY-27-23		DATE: 06/23/25	
SUBDIVISION: MILCOX MELBOURNE BEACH		DATE: 24.09.106	
CONTRACTOR: BC RENO GROUP		DATE: 06/23/25	
LOT/BLOCK: LOT 23 BLK 27		DATE: 24.09.106	
ORR BWP/G: 1 / 58		DATE: 24.09.106	
BC RENO GROUP		DATE: 24.09.106	
PROJECT: JOHN K. & ANNE DEBCZAK 206 SIXTH AVENUE MELBOURNE BEACH, FL 32951		DATE: 24.09.106	
REVISIONS: 6/23/25 - REVISED SURVEY		DATE: 24.09.106	
CONTRACT NO.: C2408.30		CONTRACTOR: ELIA G. TWIGG, PE FLORIDA LICENSE NO: 65711	
SCALE: 1" = 20'		DATE: 24.09.106	
PARCEL ID: 28-38-08-FY-27-23		DATE: 06/23/25	
SUBDIVISION: MILCOX MELBOURNE BEACH		DATE: 24.09.106	
CONTRACTOR: BC RENO GROUP		DATE: 06/23/25	
LOT/BLOCK: LOT 23 BLK 27		DATE: 24.09.106	
ORR BWP/G: 1 / 58		DATE: 24.09.106	
BC RENO GROUP		DATE: 24.09.106	

365 TORTOISE VIEW DRIVE, SUITE E
SATELLITE BEACH, FL 32937
PH: (321) 415-0227
elia@lantic.com



SITE DATA	AREA
TOTAL SITE AREA	9,000 SF
EXISTING:	
EXISTING HOUSE	2,420 SF
EXISTING CONCRETE	3,229 SF
TOTAL IMPERVIOUS AREA	5,649 SF 63%
TOTAL PERVIOUS AREA	3,351 SF 37%
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CONTRACT NO.
C2408 30

JOB NO.
24.09-106

DATE
06/30/25

SHEET
3 of 3

ELIA G. TWIGG, PE
FLORIDA LICENSE NO: 65711

TITLE
SITE PLAN

PARCEL ID:
28-38-08-FY-27-23

SCALE:
1" = 20'

SUBDIVISION:
WILCOX
MELBOURNE BEACH

CONTRACTOR:
BC RENO GROUP

LOTS / BLOCK:
LOT 23
BLK 27

ORIG. BKG:
1 / 58

PROJECT:

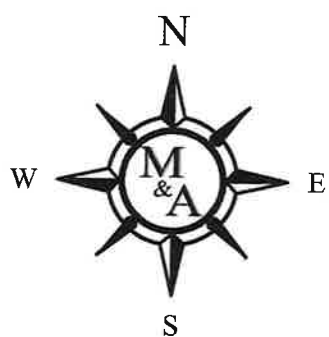
JOHN K. & ANNE DEBCZAK
206 SIXTH AVENUE
MELBOURNE BEACH, FL 32951

REVISIONS:

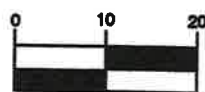
△ 8/23/25 - REVISED SURVEY

LANTIC

355 TORTOISE VIEW DRIVE, SUITE E
SATELLITE BEACH, FL 32937
Ph: (321) 412-0027
elia@lantic.com



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

ORANGE ST

LOT 37
BLOCK 27
PB 1, PG 58

REFERENCE BEARING
N90°00'00"W 840.00' (P)
840.00' (M)

1/2" IRON ROD
NO ID

5/8" IRON ROD
LB7179

N90°00'00"W 60.00' (P)
N90°00'00"W 60.00' (M)

1/2" IRON ROD
NO ID

SIXTH AVE

22' ROADWAY
50' R/W

LOT 24
BLOCK 27
PB 1, PG 58

206 SIXTH AVENUE
ONE STORY C.B.S.
SINGLE FAMILY
RESIDENCE

LOT 22
BLOCK 27
PB 1, PG 58

LEGAL DESCRIPTION:

LOT 23, BLOCK 27, PLAT OF WILCOX MELBOURNE BEACH, A SUBDIVISION
ACCORDING TO THE PLAT THEREOF RECORDED AT PLAT BOOK 1, PAGE
58, IN THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

LEGEND:

P.C. = POINT OF CURVATURE
P.T. = POINT OF TANGENCY
P.R.C. = POINT OF REVERSE CURVE
P.I. = POINT OF INTERSECTION
R.P. = RADIUS POINT
R/W = RIGHT-OF-WAY
P.O.B. = POINT-OF-BEGINNING
P.O.C. = POINT-OF-COMMENCEMENT
EL. = ELEVATION
PB. = PLAT BOOK
C.B.S. = CONCRETE BLOCK & STUCCO
ESMT. = EASEMENT
PG. = PAGE
TYP. = TYPICAL
(P) = PLAT
(D) = DEED
(M) = MEASURED
(C) = CALCULATED
P.C.P. = PERMANENT CONTROL POINT
P.R.M. = PERMANENT REFERENCE MONUMENT
D. = DELTA
R. = RADIUS
A. = ARC
T. = TANGENT
CONC. = CONCRETE
OHW. = OVERHEAD WIRE
CL. = CENTERLINE

P.U.&D. = PUBLIC UTILITY AND DRAINAGE EASEMENT
NAVD88 = NORTH AMERICAN VERTICAL DATUM(1988)
● = IRON MARKER FOUND
○ = IRON ROD WITH PLASTIC CAP MARKED
"LB 7040" SET
■ = 4"x4" CONCRETE MONUMENT FOUND
□ = 4"x4" CONCRETE MONUMENT MARKED
"LB 7040" SET
▲ = NAIL & DISK FOUND
△ = NAIL & DISK MARKED
"LB 7040" SET
◆ = LIGHT POLE
◇ = WATER METER
— = CENTERLINE OF ROAD
— = PROPERTY LINE
— = 6" WOOD FENCE
■ = CONCRETE
■ = PAVEMENT

SURVEYORS NOTES:

1. This property may be subject to easements, restrictions, or other limitations, either recorded or implied. No opinion of Title or Ownership is hereby expressed or implied by the Surveyor. Easements and rights-of-way shown hereon except as called for by the plat only include those provided to the surveyor. The surveyor has made no search of the public records for such.
2. Only open and notorious evidence of easements and right-of-way are located and shown hereon. The surveyor has not located any underground utilities or foundations which may encroach.
3. Bearings hereon are referred to an assumed value of N90°00'00"E for the North Right-of-Way line of Sixth Avenue. Said Bearing is identical with the plat of record.
4. Type of Survey: Boundary
5. Use only property corners for the construction of fences and other improvements.
6. Some features shown hereon may be exaggerated for pictorial purposes. Published dimensions will precede map scaling.

SCALE: 1"=20' Drawn By: A.C.B. Chk'd By: C.S.B.

PROJECT:

2025-062 DEBCZAK 206 SIXTH AVE.DWG

REVS
A.
B.

MORGAN & Associates
Consulting Engineers, Inc.
Civil Engineers and Land Surveyors - E.B. # 7903 / L.B. # 7040
504 N. Harbor City Blvd. - Melbourne, FL 32901
Phone (321) 751-6088

CERTIFICATION
The Survey and this drawing have been prepared under my responsible charge to conform with applicable Standards of Practice as set forth by The Florida Board of Professional Surveyors and Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. This Certification is a statement of professional opinion based on the surveyor's knowledge, information and belief, which is based on the existing field evidence and documentary evidence as provided to the surveyor and is not an expressed or implied warranty or guaranty. This survey is not valid without surveyor signature and seal.

Digitally signed by Samuel C Bowers
Date: 2025.06.20 08:25:32
'-04'00

DATE OF SURVEY: 6/19/2025



Samuel C. Bowers P.S.M.
FLA. CERT. NO. LS-5990

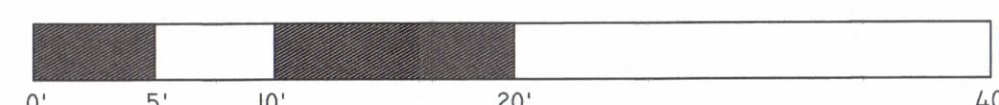
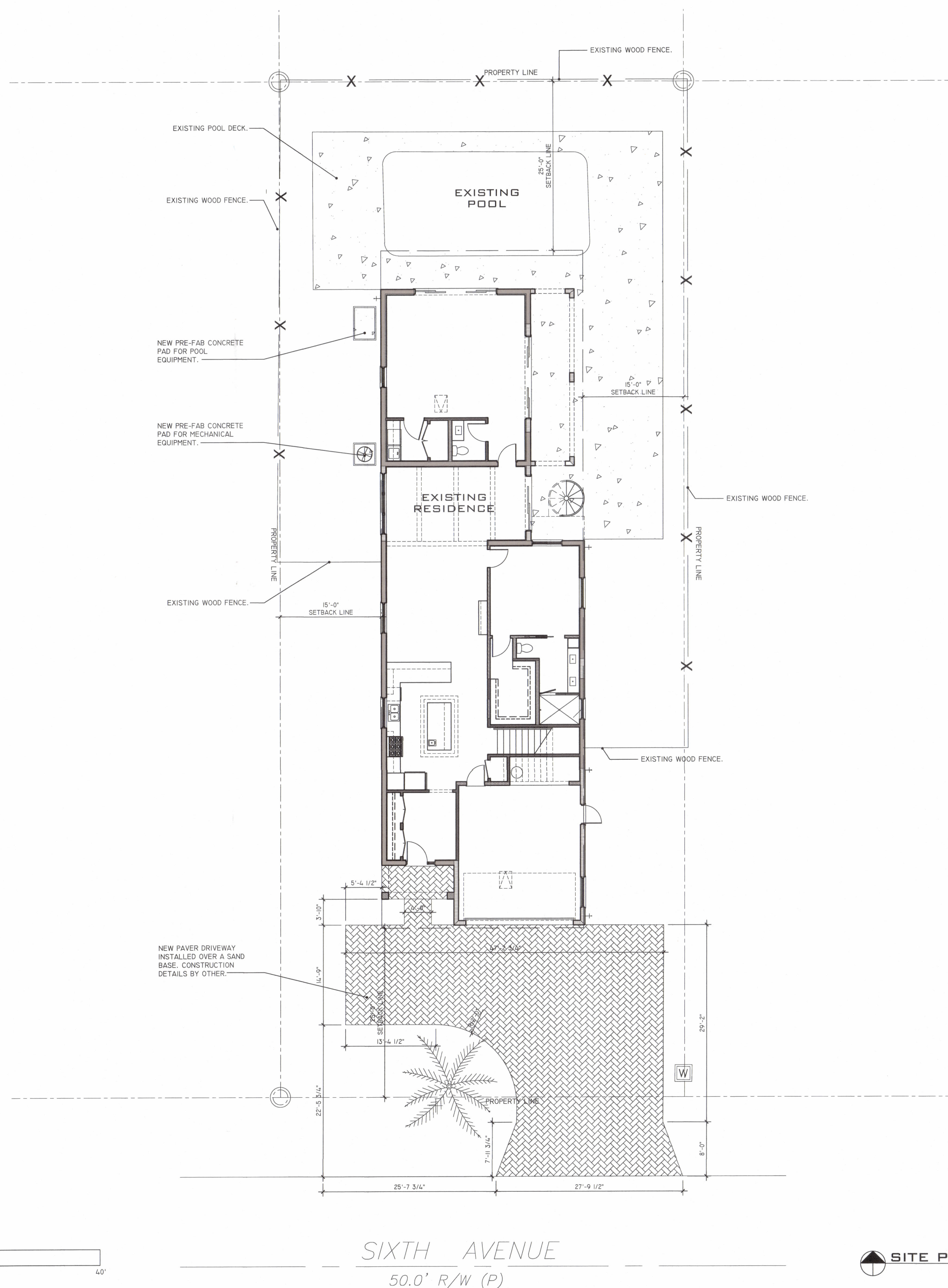
This survey is for the sole and exclusive benefit of the parties named hereon and for the specific purpose noted, and must not be relied upon by any other individual or entity whatsoever, and is not transferable under any circumstances. No liability or responsibility is assumed by the undersigned surveyor for any other use of this survey or to any party not specifically named hereon. This drawing is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper, and reproduction of this drawing without written permission of the surveyor is hereby forbidden.

CERTIFIED TO:


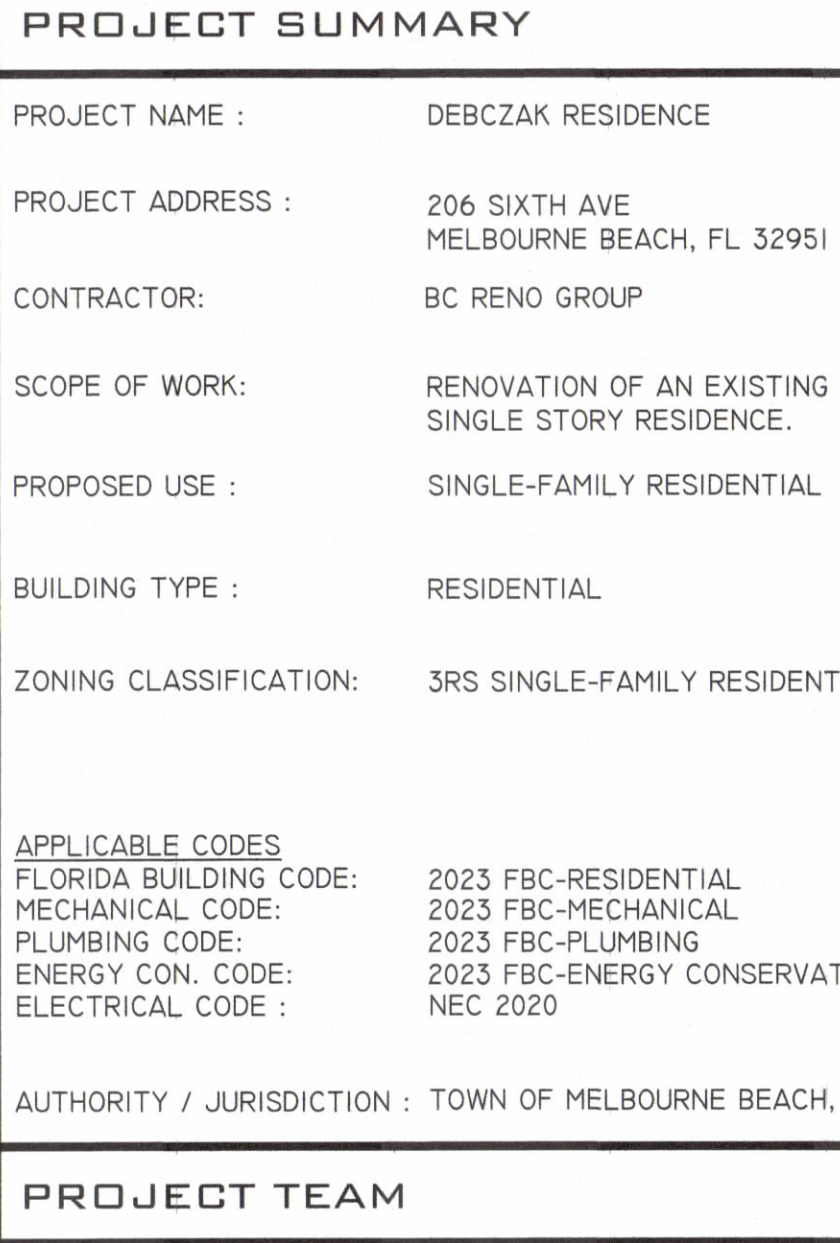
JOHN K. DEBCZAK &
ANNE DEBCZAK

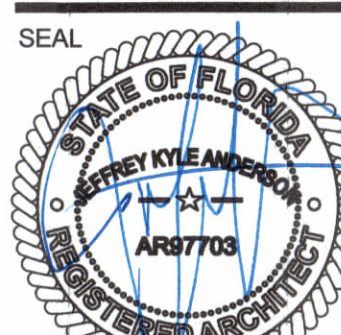
CUSTOM DESIGN:
DEBCZAK RESIDENCE

206 SIXTH AVE, MELBOURNE BEACH, FL 32951

 SITE PLAN

SCALE: 1/8" = 1'-0"

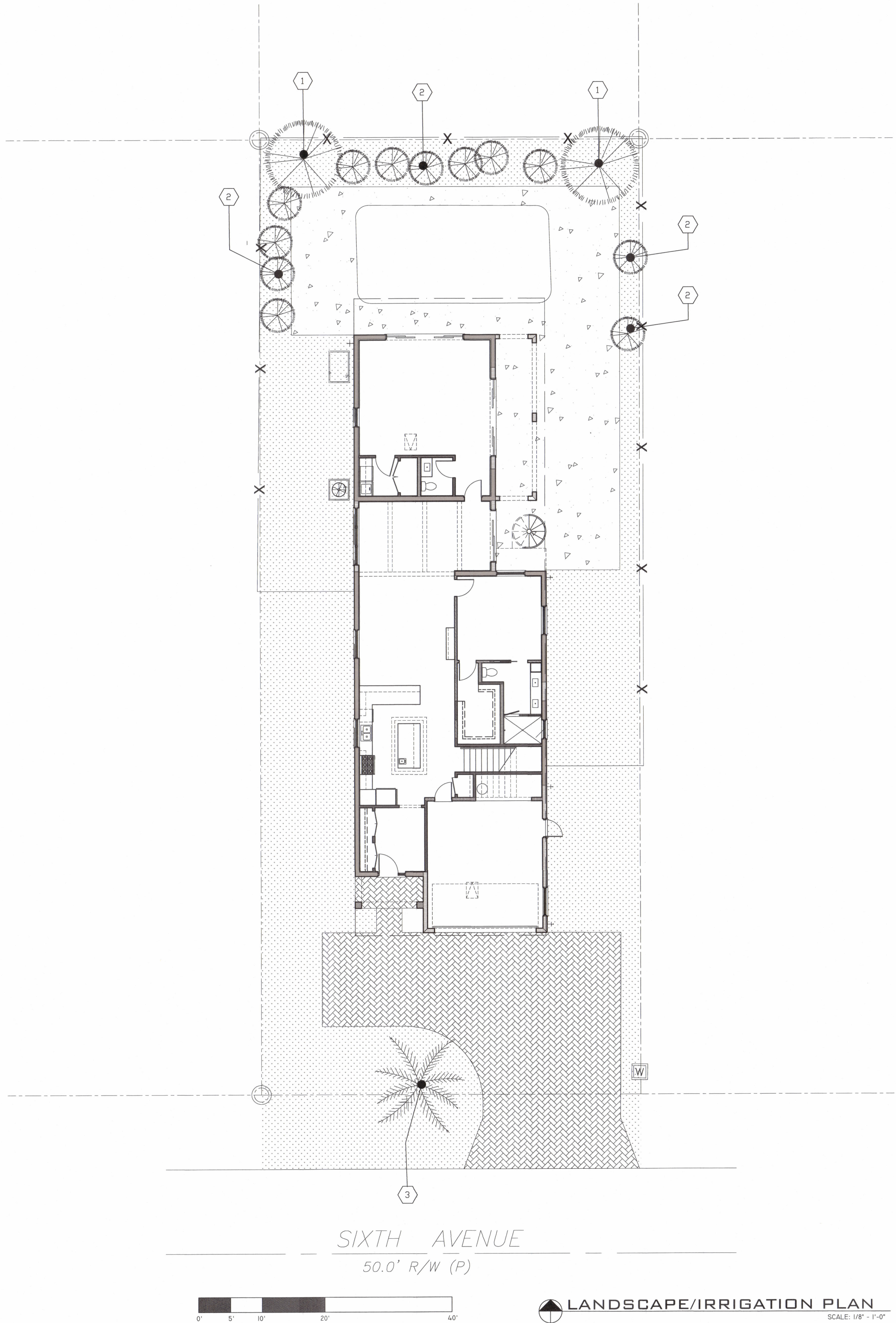
<div><div>LOCATION MAP</div><div></div></div>		<div><div>PROJECT LOCATION</div><div></div></div>																																											
<div><div>PROJECT SUMMARY</div><div><p>PROJECT NAME : DEBCEK RESIDENCE</p><p>PROJECT ADDRESS : 206 SIXTH AVE MELBOURNE BEACH, FL 32951</p><p>CONTRACTOR: BC RENO GROUP</p><p>SCOPE OF WORK: RENOVATION OF AN EXISTING SINGLE STORY RESIDENCE.</p><p>PROPOSED USE : SINGLE-FAMILY RESIDENTIAL</p><p>BUILDING TYPE : RESIDENTIAL</p><p>ZONING CLASSIFICATION: SRS SINGLE-FAMILY RESIDENTIAL</p><p>APPLICABLE CODES FLORIDA BUILDING CODE: 2023 FBC-RESIDENTIAL MECHANICAL CODE: 2023 FBC-MECHANICAL PLUMBING CODE: 2023 FBC-PLUMBING ENERGY CON. CODE: 2023 FBC-ENERGY CONSERVATION ELECTRICAL CODE : NEC 2020</p><p>AUTHORITY / JURISDICTION : TOWN OF MELBOURNE BEACH, FL</p></div></div>		<div><div>PROJECT TEAM</div><div><p>OWNER : JOHN AND ANNIE DEBCEK</p><p>ARCHITECT: MELD STUDIO ARCHITECTURE, LLC JEFFREY ANDERSON, ARCHITECT 1542 GUAVA AVE. MELBOURNE, FL 32935 321-628-3869</p><p>STRUCTURAL ENGINEER: MK STRUCTURAL ENGINEERING MIKE KALAJIAN, P.E. 587 W. EAU GALLIE, BLVD., SUITE 20 MELBOURNE, FL 32935 321-574-2702</p></div></div>																																											
				<div><div>PROJECT INFORMATION</div><div><p>SET BACK LINES:</p><p>FRONT: 25'-0"</p><p>SIDE INTERIOR: 15'-0"</p><p>SIDE CORNER: 25'-0"</p><p>REAR: 25'-0"</p><p>NUMBER OF STORIES 2</p><p>BUILDING HEIGHT: 24'- 7 3/4"</p><p>FINISH FLOOR ELEVATION: 15.76'</p><p>CROWN OF ROAD 12.93'</p><p>MAX HEIGHT: 25'-11.75"</p><p>LOT DIMENSIONS 60' x 150' x 60' x 150'</p><p>LOT SIZE: 9,000.00 SQ. FT.</p><p>GARAGE: 2 CAR GARAGE</p></div></div>																																									
				<div><div>AREA CALCULATIONS</div><div><p>1ST FLOOR</p><p>CONDITIONED SPACE: 1,999.73 SQ. FT.</p><p>FRONT PORCH: 53.30 SQ. FT.</p><p>BACK PORCH: 169.28 SQ. FT.</p><p>2-CAR GARAGE: 442.09 SQ. FT.</p><p>BALCONY OVERHANG 28.67 SQ. FT.</p><p>2ND FLOOR</p><p>CONDITIONED SPACE: 996.65 SQ. FT.</p><p>FRONT BALCONY . 355.92 SQ. FT.</p><p>REAR BALCONY 190.01 SQ. FT.</p><p>TOTAL CONDITIONED: 2,996.38 SQ. FT.</p><p>TOTAL UNCONDITIONED: 1,239.27 SQ. FT.</p><p>TOTAL: 4,235.65 SQ. FT.</p><p>LOT SIZE: 9,000 SQ. FT.</p><p>BUILDING FOOTPRINT: 2,692.34 SQ. FT.</p><p>LOT COVERAGE: 29.91%</p></div></div>																																									
				<div><div>GENERAL NOTES</div><div><p>1. OWNER/CLIENT RESPONSIBILITIES: REFERENCE IS MADE THROUGHOUT THESE GENERAL NOTES TO RESPONSIBILITIES AND STANDARDS OF CASE TO BE FULFILLED BY THOSE PROVIDING SERVICES IN THE DEVELOPMENT AND CONSTRUCTION OF THIS PROJECT. OWNER/CLIENT SHALL BE RESPONSIBLE FOR ADHERENCE TO THOSE REQUIREMENTS BY THE OWNER, BUILDER, GENERAL CONTRACTOR, SUBCONTRACTORS AND OTHER PROFESSIONAL CONSULTANTS NOT RETAINED BY THE ARCHITECT.</p><p>2. PERMIT ARCHITECTURAL DRAWINGS: THIS SET IS SUFFICIENT TO BE PART OF THE PERMIT SET TO OBTAIN A BUILDING PERMIT. THIS SET DOES NOT INCLUDE THE REQUIRED SHOP DRAWINGS/NOA REQUIRED FOR PERMITTING THE CONTRACTOR SHOULD CHECK WITH THE OWNER TO DETERMINE THE SCOPE OF WORK OF THE ARCHITECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE BUILDING PERMIT.</p><p>3. BUILDING MAINTENANCE: THE EXPOSED MATERIAL USED IN THE CONSTRUCTION OF THIS PROJECT WILL DETERIORATE AS THE COMPLETED PROJECT AGES UNLESS PROPERLY AND ROUTINELY MAINTAINED. OWNER/CLIENT SHALL WORK WITH THE CONTRACTOR TO DEVELOP A PLAN TO KEEP THESE EXPOSED MATERIALS PROTECTED AND MAINTAINED.</p><p>4. ALL CONSTRUCTION SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENTS OF ALL CURRENT APPLICABLE CITY, COUNTY, STATE, AND FEDERAL LAWS, RULES, CODES, ORDINANCES AND REGULATIONS. IF THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR PERFORMS ANY WORK IN CONFLICT WITH THE ABOVE MENTIONED LAWS, RULES, CODES, ORDINANCES AND REGULATIONS, THEN THE CONTRACTOR IS IN VIOLATION AND SHALL BEAR ALL COST OF REPAIR ARISING OUT OF THE NON-CONFORMING WORK.</p><p>5. THE GENERAL CONTRACTOR MUST THOROUGHLY EXAMINE THE JOB SITE AND FINAL CONSTRUCTION DRAWINGS PRIOR TO STARTING CONSTRUCTION. IF ANY CONFLICTS ARISE, THE GENERAL CONTRACTOR MUST NOTIFY THE ARCHITECT AND ALLOW FOR SUFFICIENT TIME FOR RESOLUTION WITHOUT DELAYING WORK.</p><p>6. SUBSTITUTIONS / CHANGES: NO SUBSTITUTIONS/CHANGES CAN BE MADE WITHOUT WRITTEN AUTHORIZATION BY THE OWNER / CLIENT. THE ARCHITECT DOES NOT TAKE ANY LIABILITY FOR ANY SUBSTITUTIONS/CHANGES WITHOUT THE ARCHITECTS WRITTEN AUTHORIZATION. ANY APPROVAL REQUIRED BY THE BUILDING OFFICIAL FOR SUBSTITUTIONS/CHANGES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.</p><p>7. DO NOT SCALE FROM PLANS. PLEASE CALL THE ARCHITECT IF YOU REQUIRE ANY DIMENSIONS.</p></div></div>																																									
						<div><div>SCHEDULE OF DRAWINGS</div><div><table><tr><th>SHEET</th><th>DESCRIPTION</th></tr><tr><td>A0.1</td><td>COVER SHEET / INFORMATION / CALCULATIONS & SITE PLAN</td></tr><tr><td>A0.2</td><td>ARCHITECTURAL SPECIFICATIONS & FINISH SCHEDULE</td></tr><tr><td>A1.00</td><td>DEMOLITION PLAN</td></tr><tr><td>A1.10</td><td>FIRST & SECOND FLOOR PLAN</td></tr><tr><td>A1.20</td><td>FIRST & SECOND REFLECTED CEILING PLAN</td></tr><tr><td>A1.30</td><td>ENLARGED PLANS & ROOF PLAN</td></tr><tr><td>A2.10</td><td>EXTERIOR ELEVATIONS</td></tr><tr><td>A2.11</td><td>EXTERIOR ELEVATIONS</td></tr><tr><td>A3.01</td><td>SECTION</td></tr><tr><td>A3.02</td><td>SECTION</td></tr><tr><td>A3.03</td><td>SECTION / DETAILS</td></tr><tr><td>A4.01</td><td>INTERIOR/EXTERIOR WINDOWS AND DOORS ELEVATIONS AND SCHEDULES</td></tr><tr><td>A4.10</td><td>WINDOWS AND DOOR DETAILS</td></tr><tr><td>A4.11</td><td>DOOR DETAILS</td></tr><tr><td>E1.0</td><td>ELECTRICAL / LIGHTING PLAN</td></tr><tr><td>E1.1</td><td>ELECTRICAL RISER CALCULATIONS/ ELECTRICAL DIAGRAM & PLUMBING RISER</td></tr><tr><td>S1</td><td>STRUCTURAL NOTES</td></tr><tr><td>S2</td><td>FOUNDATION PLAN AND DETAILS</td></tr><tr><td>S3</td><td>SECOND FLOOR & ROOF FRAMING PLAN</td></tr><tr><td>S4</td><td>STRUCTURAL SECTIONS AND DETAILS</td></tr><tr><td>S5</td><td>STRUCTURAL SECTIONS AND DETAILS</td></tr></table></div></div>		SHEET	DESCRIPTION	A0.1	COVER SHEET / INFORMATION / CALCULATIONS & SITE PLAN	A0.2	ARCHITECTURAL SPECIFICATIONS & FINISH SCHEDULE	A1.00	DEMOLITION PLAN	A1.10	FIRST & SECOND FLOOR PLAN	A1.20	FIRST & SECOND REFLECTED CEILING PLAN	A1.30	ENLARGED PLANS & ROOF PLAN	A2.10	EXTERIOR ELEVATIONS	A2.11	EXTERIOR ELEVATIONS	A3.01	SECTION	A3.02	SECTION	A3.03	SECTION / DETAILS	A4.01	INTERIOR/EXTERIOR WINDOWS AND DOORS ELEVATIONS AND SCHEDULES	A4.10	WINDOWS AND DOOR DETAILS	A4.11	DOOR DETAILS	E1.0	ELECTRICAL / LIGHTING PLAN	E1.1	ELECTRICAL RISER CALCULATIONS/ ELECTRICAL DIAGRAM & PLUMBING RISER	S1	STRUCTURAL NOTES	S2	FOUNDATION PLAN AND DETAILS
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<div><div>KEY ABBREVIATIONS AND SYMBOLS</div><div><p>(TYP): TYPICAL</p><p>W.H. WATER HEATER</p><p>DW DISHWASHER</p><p>LAV LAVATORY</p><p>REF REFRIGERATOR</p><p>FREZ FREEZER</p><p>MIC MICROWAVE</p><p>AHU AIR HANDLING UNIT</p><p>CU COMPRESSOR UNIT</p><p>WC WATER CLOSET</p><p>H.B. HOSE BIB</p><p>SQ SQUARE</p><p>FT FEET</p><p>P.T. PRESSURE TREATED</p></div></div>		<div><div>DETAIL #</div><div><p>SECTION CUT</p><p>SHEET #</p><p>ROOM TAG</p><p>WINDOW TAG</p><p>DOOR TAG</p></div></div>																																											



SHEET TITLE
COVER SHEET /
INFORMATION/
CALCULATIONS /
SITE PLAN

SHEET NUMBER

A0.1



PLAN NOTES

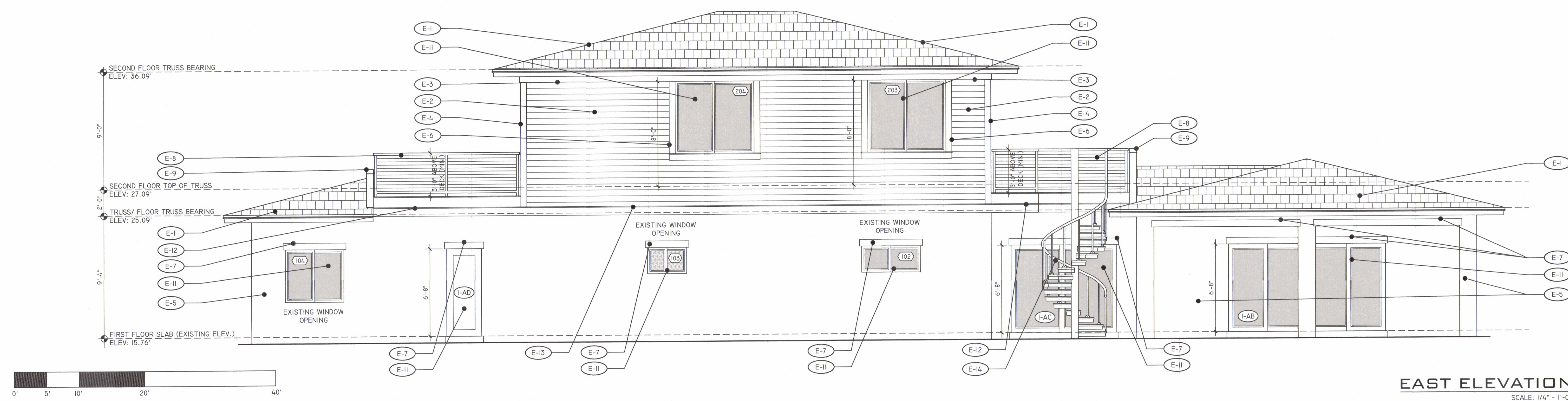
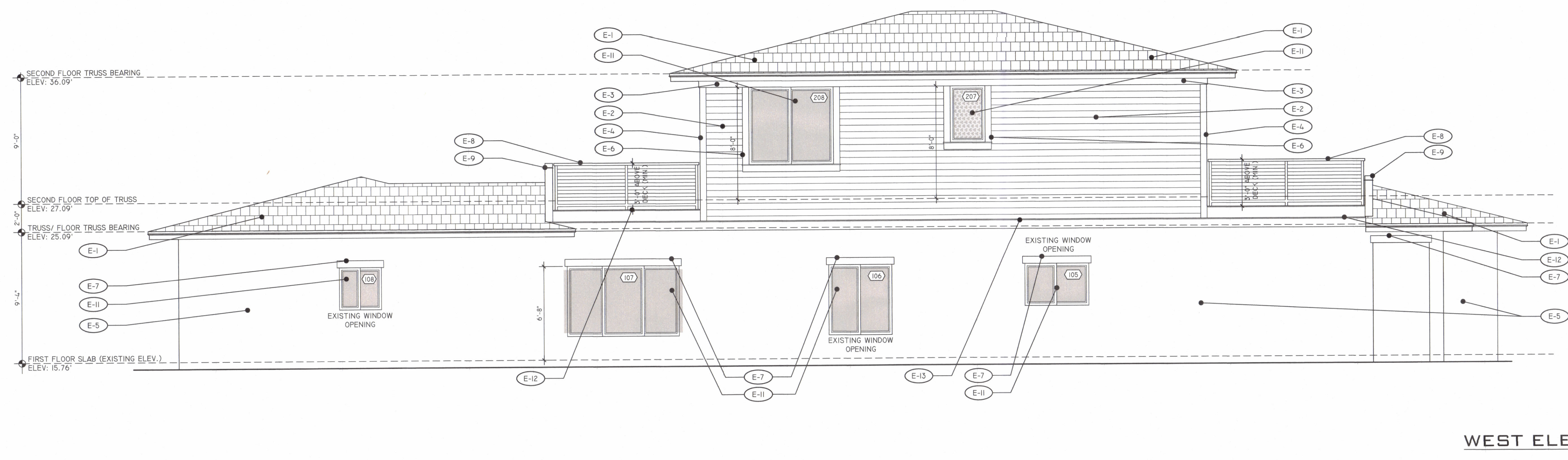
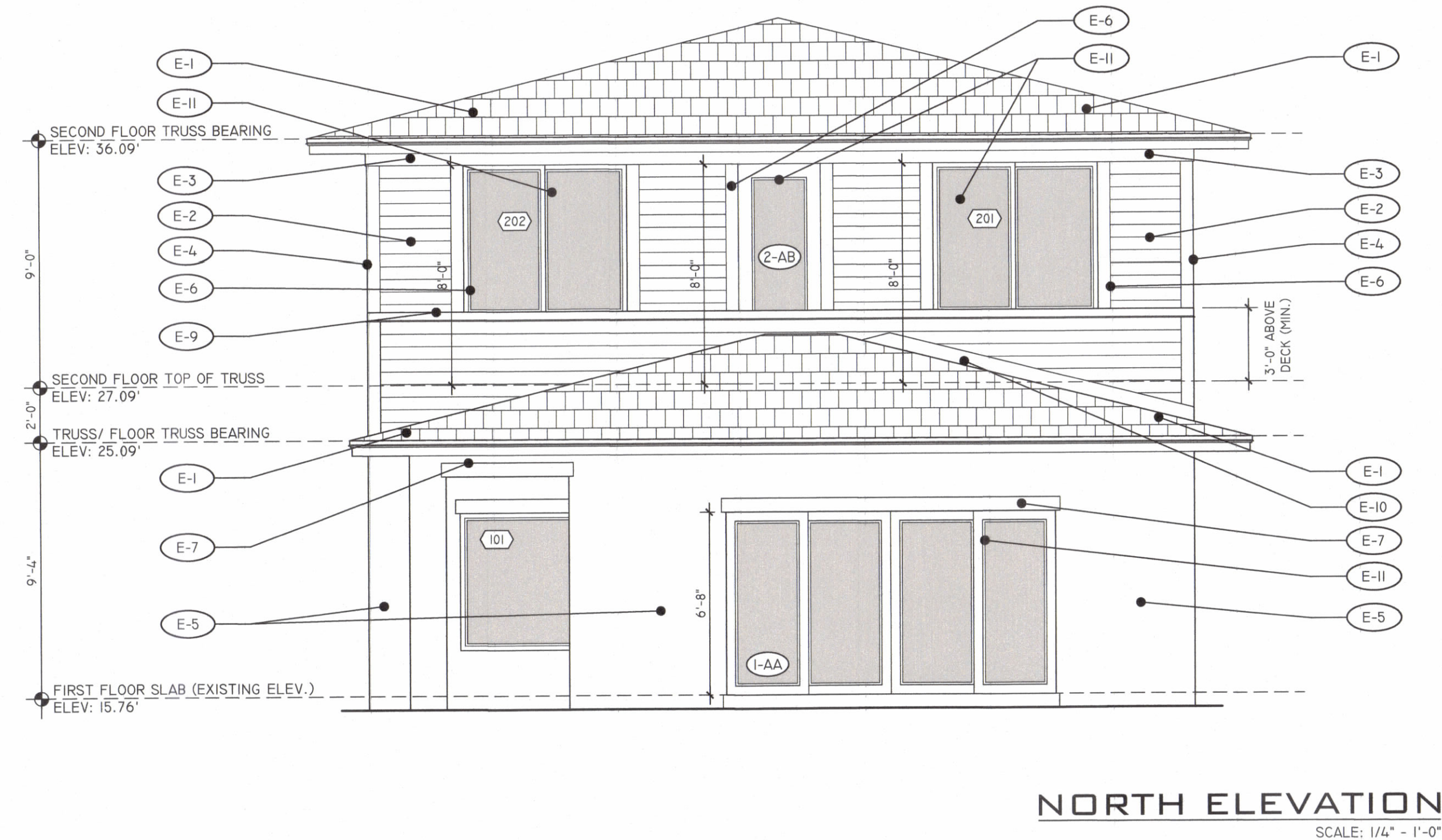
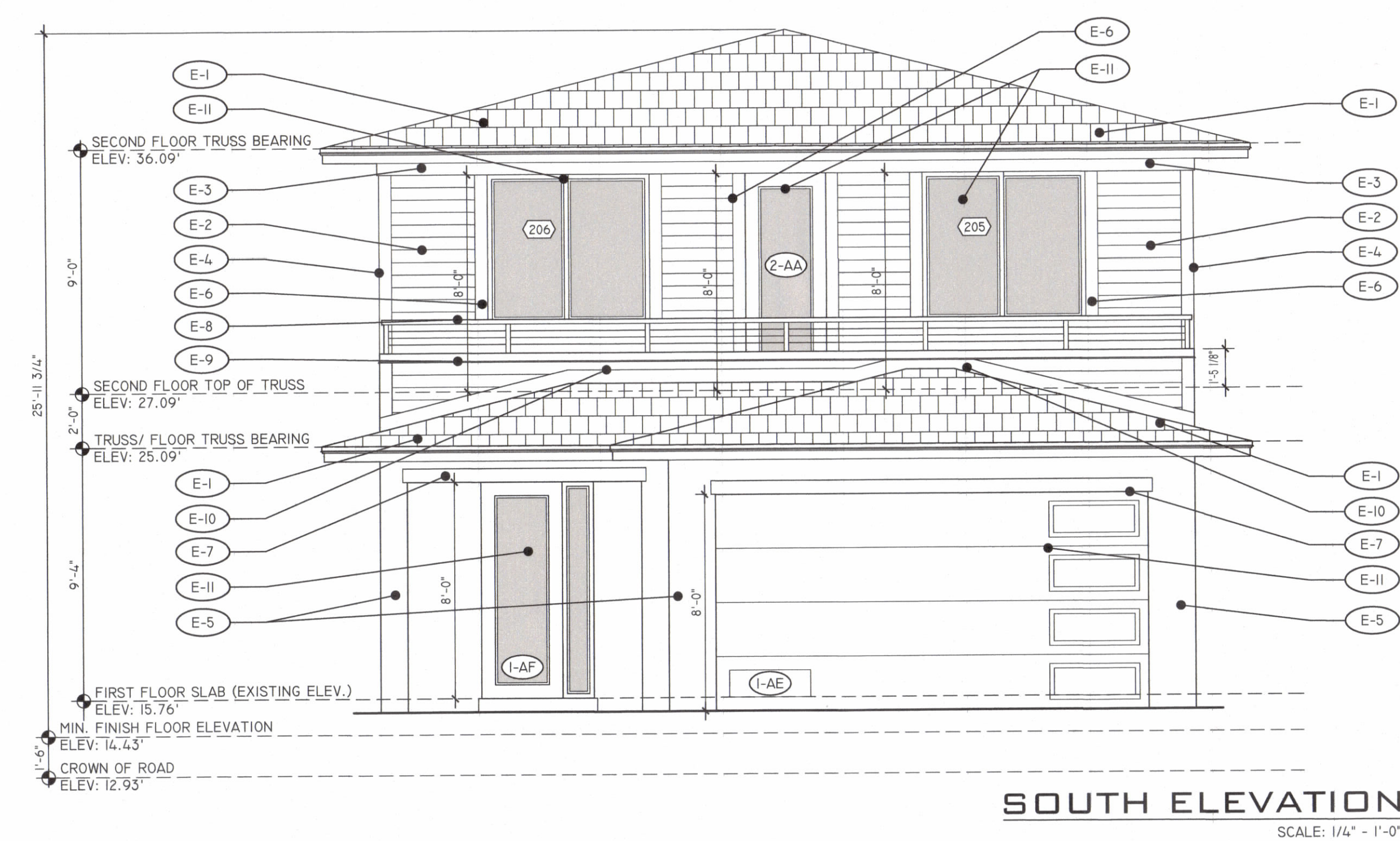
PLAN LEGEND

TAG	DESCRIPTION
①	EXISTING SABLE PALM
②	EXISTING GENERAL LANDSCAPING AREA
③	EXISTING DATE PALM

HATCH LEGEND

	GRASS AREA
	NEW PAVER PATH/ DRIVEWAY. PAVER PROFILE AND COLOR TO BE SELECTED BY CLIENT. INSTALLED PER MANUFACTURE'S SPECIFICATIONS.
	EXISTING POOL DECK

IRRIGATION NOTE:
STANDARD WELL-FED IRRIGATION TO BE PROVIDED OFF EXISTING WELL. SPRINKLER HEADS SPACED PER BEST PRACTICES FOR COMPLETE COVERAGE.



ELEVATION NOTES

GENERAL NOTES:

1. REFERENCE ARCHITECTURAL SPECIFICATION SHEET A0.2 FOR GENERAL CONSTRUCTION INFORMATION RELATED TO THE PROJECT.
2. FINISH FLOOR DATUM REFERENCES TOP OF SLAB DRAWINGS. VERIFY WITH SURVEY OR CIVIL ENGINEERING DRAWINGS.
3. EACH CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWING AND OBTAIN ALL MEASUREMENTS REQUIRED FOR PROPER EXECUTION OF WORK. DO NOT SCALE PLANS. CONTACT ARCHITECT FOR ANY ADDITIONAL INFORMATION OR DIMENSIONS REQUIRED.
4. DIMENSIONS ARE TAKEN FROM STRUCTURAL ELEMENTS ONLY.
5. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
6. FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE PRODUCT MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND STANDARD DETAILS, IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS REQUIREMENTS AND DESIGN INTENT.
7. ALL EXTERIOR PORCHES AND BALCONIES ARE SLOPED. SEE FLOOR PLAN FOR REQUIRED SLOPE.
8. SLOPE GRADE AWAY FROM STRUCTURE ON ALL SIDES.

ELEVATION NOTES:

1. ITEMS NOTED BELOW REFER TO TAGS ON FLOOR PLAN. CONTRACTOR TO CONTACT ARCHITECT WITH ANY ERROR OR ISSUES WITH NOTES OR DIMENSION ON PLAN.
2. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL DETAILS AND INFORMATION.

- E-1 SHINGLE ROOF. SEE ROOF PLAN, SHEET A1.20 FOR INSTALLATION DETAILS, PITCH, ETC.
- E-2 HARDIE HZIO LAP SIDING. INSTALLED PER MANUFACTURER'S SPECIFICATION. SEE DETAIL 14, SHEET A3.02.
- E-3 HARDIE HZIO 1X6 TRIM BOARD (SMOOTH). INSTALLED PER MANUFACTURER'S SPECIFICATION.
- E-4 HARDIE HZIO 1X6 TRIM. CORNER BOARD (SMOOTH). INSTALLED PER MANUFACTURER'S SPECIFICATION. SEE DETAIL 15/16, SHEET A3.02.
- E-5 STUCCO OVER CMU. SEE ARCHITECTURAL SPECIFICATIONS SHEET A0.2 FOR STUCCO SPECIFICATION.
- E-6 HARDIE HZIO, SMOOTH WINDOW AND/OR DOOR TRIM. SEE WINDOW AND DOOR PROFILES FOR MORE INFORMATION ON WINDOW TRIM, SHEET A4.02.
- E-7 1" X 6" STUCCO HEADER. EXTEND HEAD PAST OPENING BY 2" ON EITHER SIDE. INSTALL WITH PVC STUCCO BEAD. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- E-8 CONTINUOUS CUSTOM GUARDRAIL, COMPLYING WITH FBC-RESIDENTIAL SECTION R312.1. TOP OF GUARD AT 36" A.F.F. OPENING IN GUARD RAIL SHALL NOT ALLOW THE PASSAGE OF A SPHERE 4" IN DIAMETER. SEE R311.7.8.3 FOR GRIP SIZE REQUIREMENTS. HANDRAIL/GUARD TO BE SELECTED BY OWNER AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- E-9 WALL CAP. SEE DETAIL 11/12, SHEET A3.02.
- E-10 WALL TO ROOF FLASHING. SEE DETAIL 5, SHEET A3.02.
- E-11 EXTERIOR DOOR/ WINDOW. SEE FLOOR PLAN FOR OPENING TAG.
- E-12 EDGE OF BALCONY DETAIL AND OTHER BALCONY DETAILS. SEE DETAIL 9, 10, AND 11, SHEET A3.02.
- E-13 HARDIE BOARD SKIRT BOARD. SEE DETAIL 6, SHEET A3.02.
- E-14 PRE-FABRICATED, ALUMINUM SPIRAL STAIR. SEE FLOOR PLAN FOR DETAILS.

meD studio
ARCHITECTURE

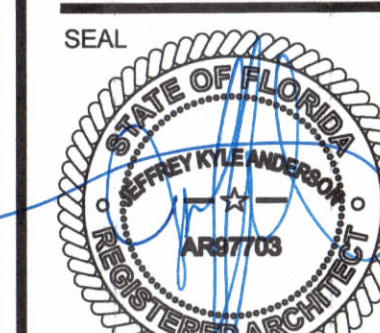
1542 GUAVA AVE
MELBOURNE, FL 32935
321.428.3869
design@medstudio.com

JOB #: R-2024-035
DRAWN: JKA
CHECKED: JKA

DATE
☐ SD
☐ DD
☐ CD
☐ BID
☒ PERMIT 2025-04-18

REVISIONS:
A -
A -
A -
A -
A -
A -

CUSTOM DESIGN
DEBCZAK RESIDENCE
206 SIXTH AVE. MELBOURNE BEACH, FL 32951



SHEET TITLE
EXTERIOR
ELEVATIONS

SHEET NUMBER

A2.00

Melbourne Beach Building Department

From: Scott Glaubitz <sglaubitz@lja.com>
Sent: Monday, September 8, 2025 1:28 PM
To: Melbourne Beach Building Department; Ana Saunders; Alicia Mateo
Subject: RE: 206 Sixth Ave - Revised Drainage Plan and Engineer Comments
Attachments: 24.09-106_BCRG_206_SixthAve_MelbBch-SET-09-08-25-SSr3.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Comments have been addressed. We recommend approval.
 Alicia, pls place this email and drawing in our file, thks.

Scott M. Glaubitz, PE, PLS | President

Land Development

O: 321.725.3674 | C: 321.403.1436

312 S. Harbor City Boulevard, Ste. 4, Melbourne, FL 32901

EMPLOYEE-OWNED. CLIENT FOCUSED.

www.lja.com | www.bseconsult.com



From: Melbourne Beach Building Department <building@melbournebeachfl.org>

Sent: Monday, September 8, 2025 11:14 AM

To: Ana Saunders <asaunders@lja.com>; Alicia Mateo <amateo@lja.com>; Scott Glaubitz <sglaubitz@lja.com>

Subject: FW: 206 Sixth Ave - Revised Drainage Plan and Engineer Comments

[EXTERNAL EMAIL]

Revised drainage plan for your approval

Thank you,

Kim Kotsifas

Building Assistant

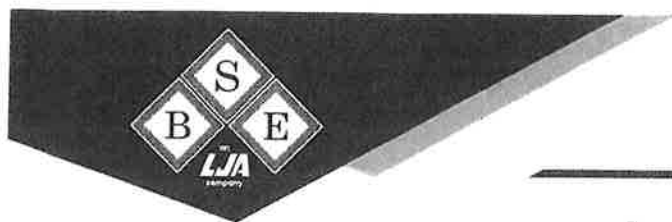
Town of Melbourne Beach

permitting@melbournebeachfl.org

507 Ocean Ave., Melbourne Beach, FL 32951-2523

(321) 724-5860 Fax (321) 984-8994

Direct: (321) 396-5059



P: 321.725.3674

F: 321.723.1159

www.bseconsult.com

312 South Harbor City Boulevard, Suite #4, Melbourne, Florida 32901

September 3, 2025

Via E-mail

Mr. Robert Bitgood
Town of Melbourne Beach
507 Ocean Avenue
Melbourne Beach, FL 32951
E-mail address: building@melbournebeachfl.org

**Re: Site Plan Review – 206 Sixth Avenue
B.S.E. File #11440.100.34**

Dear Robert:

We have reviewed the Site Plan for the above referenced project, Sheet Numbers 1 to 4, and the Stormwater Report, both prepared by Lantic Solutions, dated August 28, 2025. We offer the following comments:

Report:

1. The Stormwater Report is acceptable.

Plans:

1. The plan scale and the drawings do not match – Please revise.
2. There is no way to calculate the width of dimension for the green area east of the circular stairway. It is shown as a swale by directional flow arrows. Please provide a cross-section for the builder to follow to ensure drainage flow.
3. There are no elevations for the proposed driveway. Show the driveway elevations and slope required to capture stormwater runoff and/or show a stormwater capture device.
4. With these revisions we recommend approval.

Should you have any questions, feel free to contact me.

Very truly yours,

Scott M. Glaubitz, P.E., P.L.S.

Scott M. Glaubitz, P.E., P.L.S.
President

B.S.E. Consultants, Inc. an LJA company

SMG/alm

11440.100.34.town.corr.25-s6035.aug

JOHN K. & ANNE DEBCZAK

SITE PLAN

206 SIXTH AVENUE
MELBOURNE BEACH, FL 32951

LEGAL DESCRIPTION:

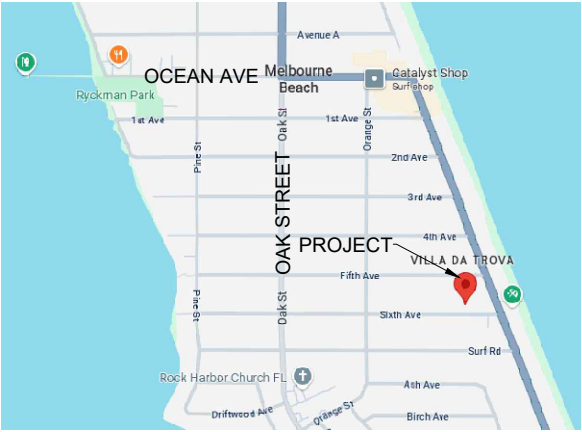
LOT 23, BLOCK 27, PLAT OF WILCOX MELBOURNE BEACH

GENERAL NOTES:

1. PROPERTY LAYOUT INFORMATION SHOWN HAS BEEN PROVIDED TO THE ENGINEER BY THE OWNER AND/OR OWNER'S AGENT. IT HAS NOT BEEN VERIFIED FOR ACCURACY. ENGINEER DOES NOT ACCEPT LIABILITY FOR INCORRECT OR INACCURATE PROPERTY AND/OR AREA INFORMATION PROVIDED.
2. FOOTPRINT PROVIDED BY OWNER AND/OR OWNER'S AGENT. ANY DIMENSIONS ON SITE PLAN ARE FOR REFERENCE ONLY. CONTRACTOR TO ENSURE CORRECT DIMENSIONS INCLUDED PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO FIELD VERIFY ELEVATIONS OF ADJACENT PROPERTIES PRIOR TO CONSTRUCTION FOR CONNECTION TO EXISTING PROPERTY LINE WITHOUT BLOCKING OR DRAINING ONTO ADJACENT PROPERTIES. CONTRACTOR TO COORDINATE GRADING ALONG COMMON LOT LINES WITH ADJACENT NEIGHBORS TO ENSURE CONTINUED POSITIVE DRAINAGE.
4. SIDE SLOPES ON ANY AREA WITHIN THE LOT CANNOT EXCEED ONE (1) FOOT VERTICAL FOR EACH FOUR (4) FEET HORIZONTAL, EXCEPT FOR RETENTION AREAS. THEY CANNOT EXCEED (1) 1 FOOT VERTICAL FOR EACH THREE (3) FEET HORIZONTAL.
5. DRAINAGE EASEMENTS SHALL NOT CONTAIN PERMANENT IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO SIDEWALKS, DRIVEWAYS, IMPERVIOUS SURFACES, PATIOS, DECKS, POOLS, AIR CONDITIONERS, STRUCTURES, UTILITY SHEDS, POLES, FENCES, SPRINKLER SYSTEMS, TREES, SHRUBS, HEDGES, AND LANDSCAPING PLANTS OTHER THAN GRASS, EXCEPT FOR THE LANDSCAPING OF STORMWATER DETENTION AND RETENTION PONDS AS REQUIRED BY THE CODE.
6. ALL ELEVATIONS SHOWN HEREON ARE BASED ON THE NAVD88 DATUM. EXISTING ELEVATIONS WERE PROVIDED TO THE ENGINEER BY THE OWNER AND/OR OWNER'S AGENT AND WERE NOT VERIFIED FOR ACCURACY.

SITE DATA	AREA
TOTAL SITE AREA	9,000 SF
EXISTING:	
EXISTING HOUSE	2,420 SF
EXISTING CONCRETE	3,229 SF
TOTAL IMPERVIOUS AREA	5,649 SF 63%
TOTAL PERVIOUS AREA	3,351 SF 37%
PROPOSED:	
EXISTING HOUSE	2,420 SF
EXISTING CONCRETE	1,200 SF
PROPOSED CONCRETE	121 SF
PROPOSED DRIVEWAY	974 SF
TOTAL IMPERVIOUS AREA	4,715 SF 52%
TOTAL PERVIOUS AREA *	4,285 SF 48%

* NOTE: NEW PERVIOUS SURFACE AROUND POOL IS INCLUDED IN THE TOTAL PERVIOUS AREA



LOCATION MAP
N.T.S.

SHEET INDEX:

1	COVER SHEET & GENERAL NOTES
2	EXISTING CONDITIONS & DEMO PLAN
3	SITE PLAN
4	DRAINAGE PLAN

REVISION SUMMARY:

1. REVISED SURVEY
2. ADDED DRAINAGE PLAN
3. AGENCY COMMENTS: REVISED SCALE, ADDED CROSS SECTION, AND ADDED ELEVATIONS ON DRIVEWAY.

THIS PLAN HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ELIA G. TWIGG, PE USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

CONTRACT NO.:
C2408.30

JOB NO.:
24.09-106

DATE:
09/08/25

TITLE:
COVER SHEET & GENERAL NOTES

ELIA G. TWIGG, PE
FLORIDA LICENSE NO: 65711

LOT 23
BLK 27

ORR BK/PG:
1 / 58

CONTRACTOR:
BC RENO GROUP

PROJECT:

JOHN K. & ANNE DEBCZAK
206 SIXTH AVENUE
MELBOURNE BEACH, FL 32951

REVISIONS:

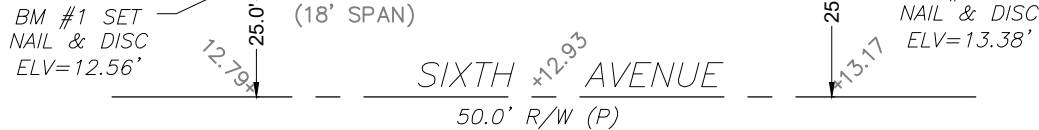
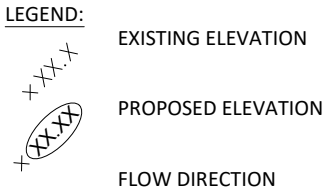
1. 8/23/25 - REVISED SURVEY

2. 8/28/25 - ADDED DRAINAGE PLAN

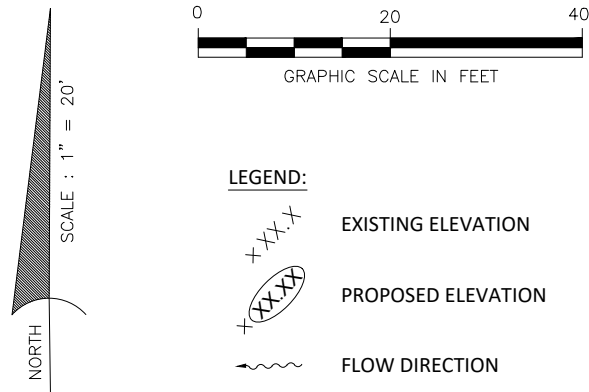
3. 9/4/25 - AGENCY COMMENTS



365 TORTOISE VIEW DRIVE, SUITE E
SATELLITE BEACH, FL 32937
Ph: (321) 413-0027
eliatwigg@lanticsolutions.com

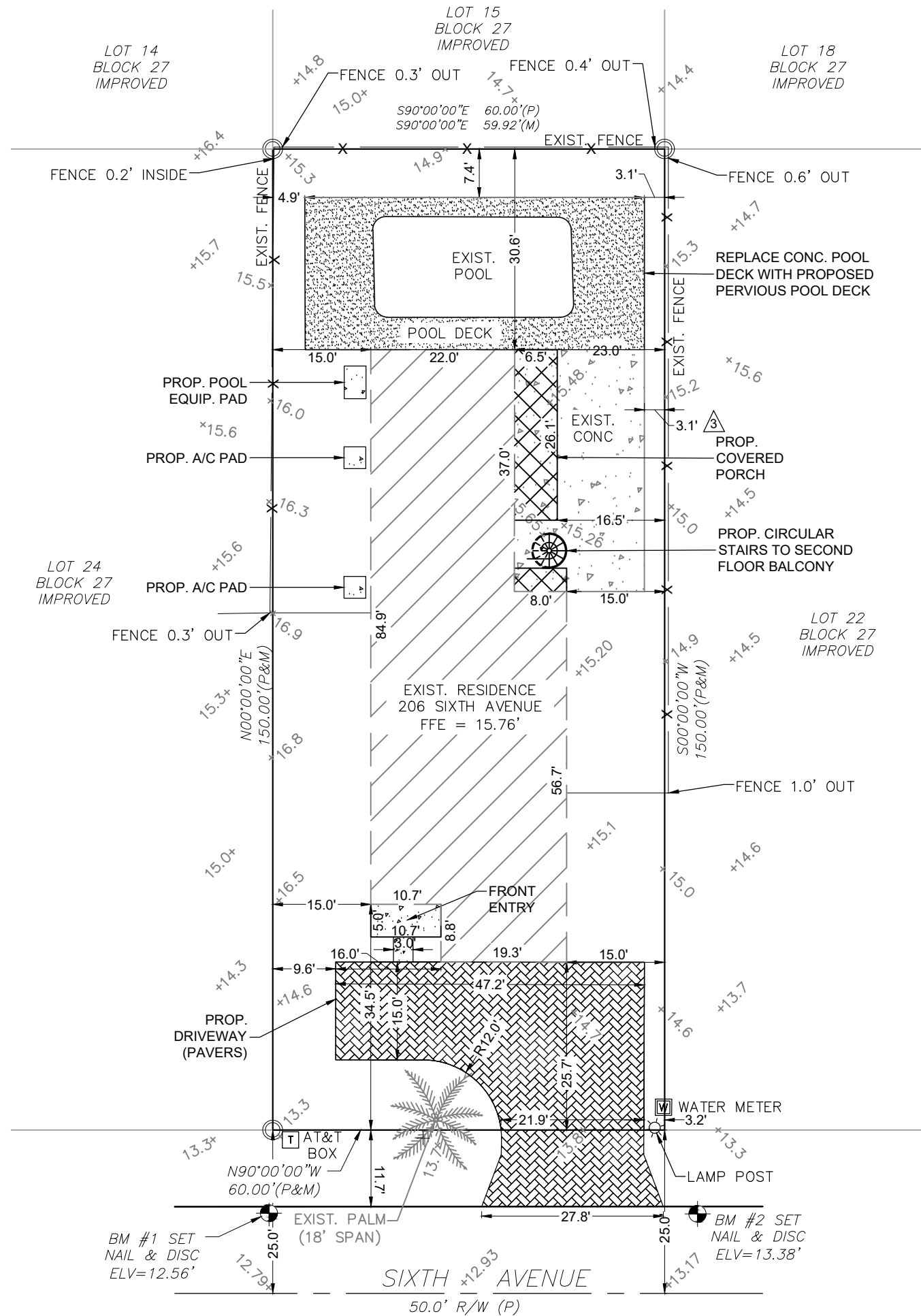


LANTIC
SOLUTIONS
355 TORRISE VIEW DRIVE, SUITE E
SATELLITE BEACH, FL 32937
Ph: (321) 413-0027
eliatwigg@lanticsolutions.com



SITE DATA	AREA
TOTAL SITE AREA	9,000 SF
EXISTING:	
EXISTING HOUSE	2,420 SF
EXISTING CONCRETE	3,229 SF
TOTAL IMPERVIOUS AREA	5,649 SF 63%
TOTAL PERVIOUS AREA	3,351 SF 37%
PROPOSED:	
EXISTING HOUSE	2,420 SF
EXISTING CONCRETE	1,200 SF
PROPOSED CONCRETE	121 SF
PROPOSED DRIVEWAY	974 SF
TOTAL IMPERVIOUS AREA	4,715 SF 52%
TOTAL PERVIOUS AREA*	4,285 SF 48%

* NOTE: NEW PERVIOUS SURFACE AROUND POOL IS INCLUDED IN THE TOTAL PERVIOUS AREA



CONTRACT NO.: C2408.30

JOB NO.: 24-09-106

DATE: 09/08/25

ELIA G. TWIGG, PE
FLORIDA LICENSE NO: 65711

TITLE: SITE PLAN

SHEET 3 OF 40

SCALE: 1" = 20'

PARCEL ID: 28-38-08-FY-27-23

LOTS / BLOCK: LOT 23 BLK 27

WILCOX MELBOURNE BEACH

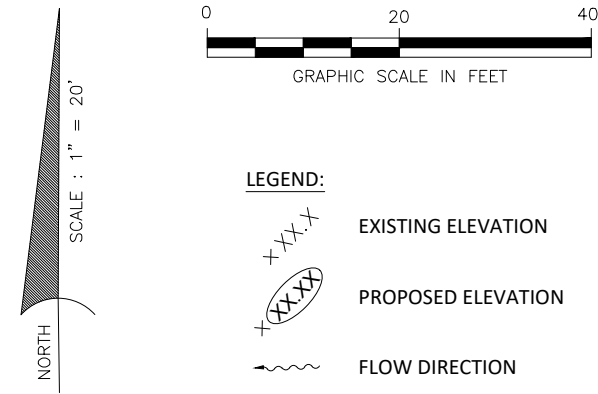
CONTRACTOR: BC RENO GROUP

PROJECT: JOHN K. & ANNE DEBCZAK
206 SIXTH AVENUE
MELBOURNE BEACH, FL 32951

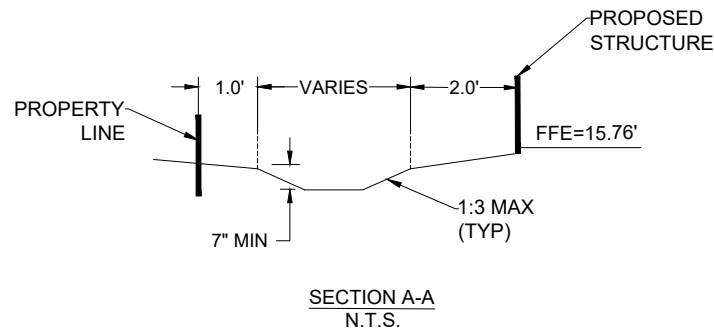
REVISIONS:
1. 8/23/25 - REVISED SURVEY
2. 8/28/25 - ADDED DRAINAGE PLAN
3. 9/4/25 - AGENCY COMMENTS

LANTIC SOLUTIONS

355 TORTOISE VIEW DRIVE, SUITE E
SATELLITE BEACH, FL 32937
Ph: (321) 413-0027
eliatwigg@lanticsolutions.com

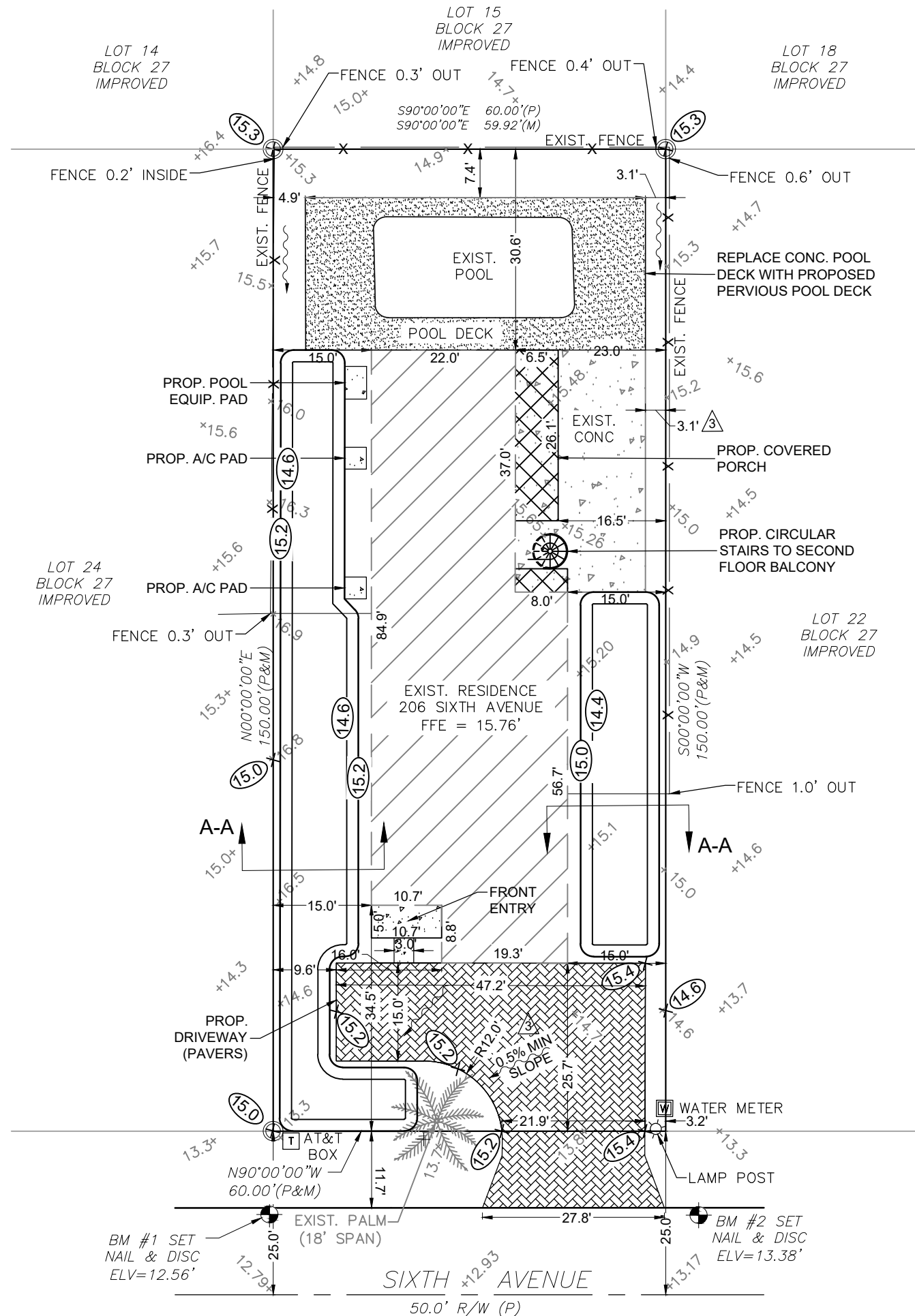


TYPICAL SECTION:



SITE DATA	AREA
TOTAL SITE AREA	9,000 SF
EXISTING:	
EXISTING HOUSE	2,420 SF
EXISTING CONCRETE	3,229 SF
TOTAL IMPERVIOUS AREA	5,649 SF 63%
TOTAL PERVIOUS AREA	3,351 SF 37%
PROPOSED:	
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Stormwater Report

TOWN OF MELBOURNE BEACH

DEBCZAK RESIDENCE

206 SIXTH AVE
MELBOURNE BEACH, FL 32951

Prepared By:

Elia Twigg, PE
LANTIC SOLUTIONS LLC
355 TORTOISE VIEW DRIVE, SUITE E
SATELLITE BEACH, FL 32937



August 28, 2025

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Existing Conditions 1

Site Description 1

Design..... 1

Appendix A: Exhibits

 Aerial Map (Brevard County Property Appriaser)

 Lot Drainage Plan

 Soil Map-Brevard County, FL

Appendix B: Stormwater Calculations

Stormwater Report

Project Location

The project site is a 0.21-acre developed property located at 206 Sixth Ave in Melbourne Beach, FL 32951. It is located approximately 0.4 miles south of Ocean Avenue in Melbourne Beach and approximately 200 feet west of Highway A1A.

Existing Conditions

The site is currently a residential within the Melbourne Beach town limits and is zoned as 2-RS. There is a one-story existing house that will be renovated to add the second story. Other improvements include adding a pervious surface around the pool, removing some concrete and modifying the driveway.

An aerial map from the Property Appraiser's site is included in Appendix A.

Site Description

According to the National Resources Conservation Service (USDA), the soil types found on site were Palm Beach Sand, 0 to 8 percent slopes. The soils can be classified as hydrologic soil group A. Please refer to Appendix A for the soils map and description of the soil type.

According to the USDA soils information, the estimated wet seasonal high-water table (SHWT) is approximately is more than 80 inches deep. In order to be a little conservative, the estimated SHWT was estimated to be 80 inches deep. Please refer to Appendix A for the soil information.

Design

The Town of Melbourne Beach requires stormwater management facilities provide retention of the first 8 inches of runoff from a 10-year, 24-hour storm event, in accordance with the adopted minimum level of service standards.

The proposed stormwater design includes a 7-inch-deep dry retention area located along the west and east property lines. The Lot Drainage Plan, which includes a typical cross-section of the proposed retention areas, is provided in Appendix A.

Retention basin recovery calculations were performed using methodologies outlined in the St. Johns River Water Management District (SJRWMD) Permit Information Manual, Part X, Section 23.0 – Methodologies & Design Examples.

The total impervious area for the site is 4,715 SF. Based on the 8-inch retention requirement, the total required retention volume is 3,143 cubic feet (CF). Since the total retention volume provided is 993 CF, the stormwater design incorporates unsaturated vertical (Stage 1) and saturated lateral (Stage 2) infiltration analyses to account for the remaining volume.

During Stage 1, the volume infiltrated during unsaturated vertical flow (V_u) is 2,156 CF. This leaves the remaining volume (V_2) of 987 CF to be recovered during Stage 2 through saturated lateral flow. Based on interpolation, the starting elevation for lateral flow is 0.6 feet above the bottom of the retention areas. Therefore, the 7-inch-deep proposed retention areas will accommodate this volume.

The total recovery time for the runoff volume includes both vertical and lateral infiltration stages. The calculated total recovery time is 4.6 hours, which is well within the required 24-hour recovery period.

To confirm that the runoff volume will not exceed the storage capacity of the retention areas, the height of the retained runoff volume (h_2) was also evaluated. Based on the calculations, the height of the runoff volume is 0.6 feet, which matches the top-of-bank elevation of the proposed dry retention areas, ensuring no overflow will occur.

Please refer to Appendix B for the Stormwater Calculations.

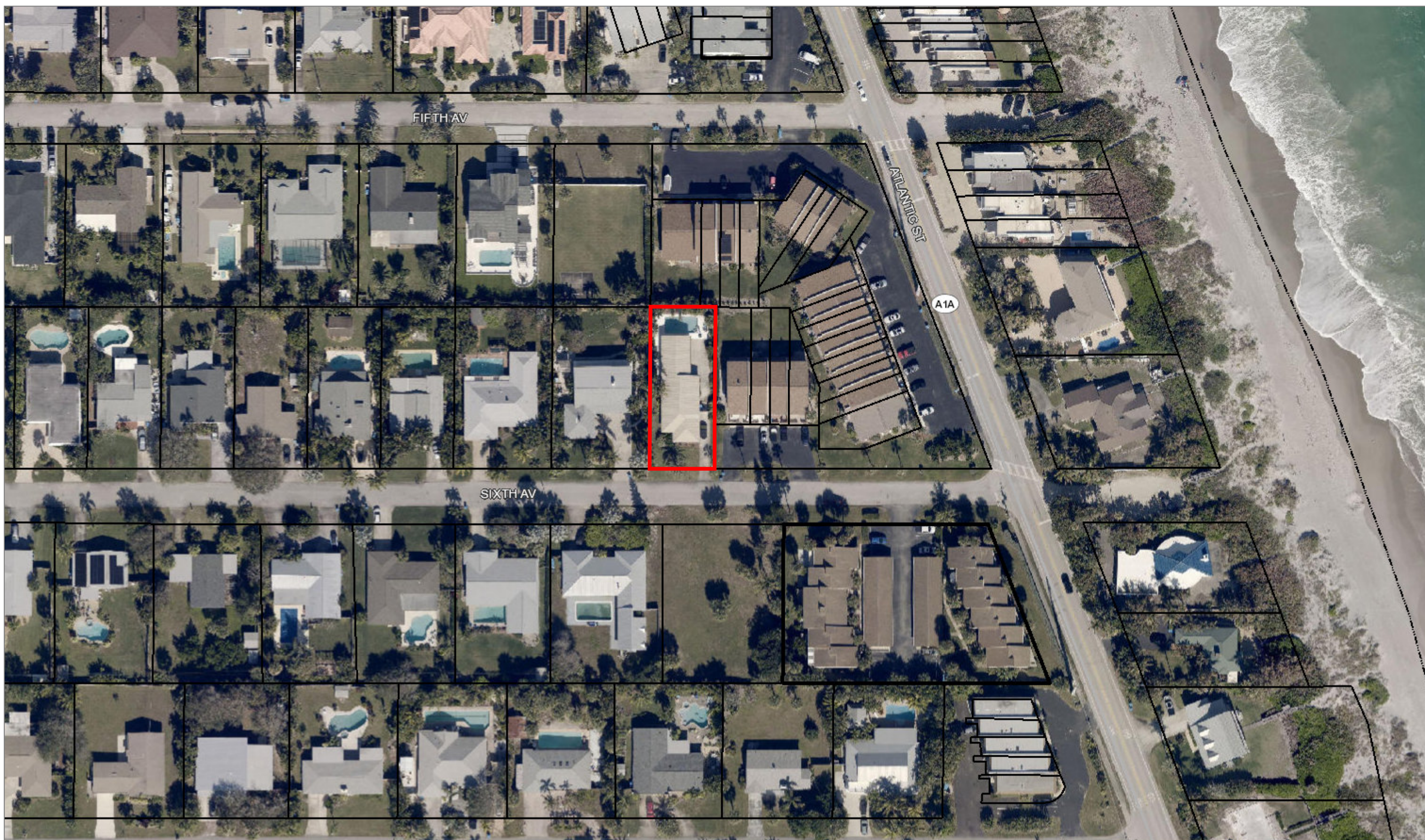
Appendix A

EXHIBITS:

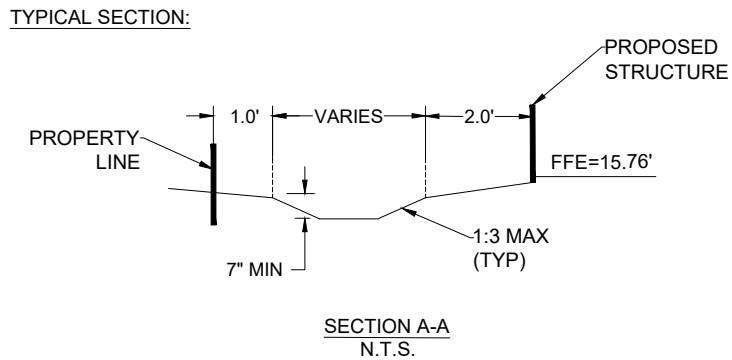
AERIAL MAP (BREVARD COUNTY PROPERTY APPRAISER)

LOT DRAINAGE PLAN

SOIL MAP-BREVARD COUNTY, FL

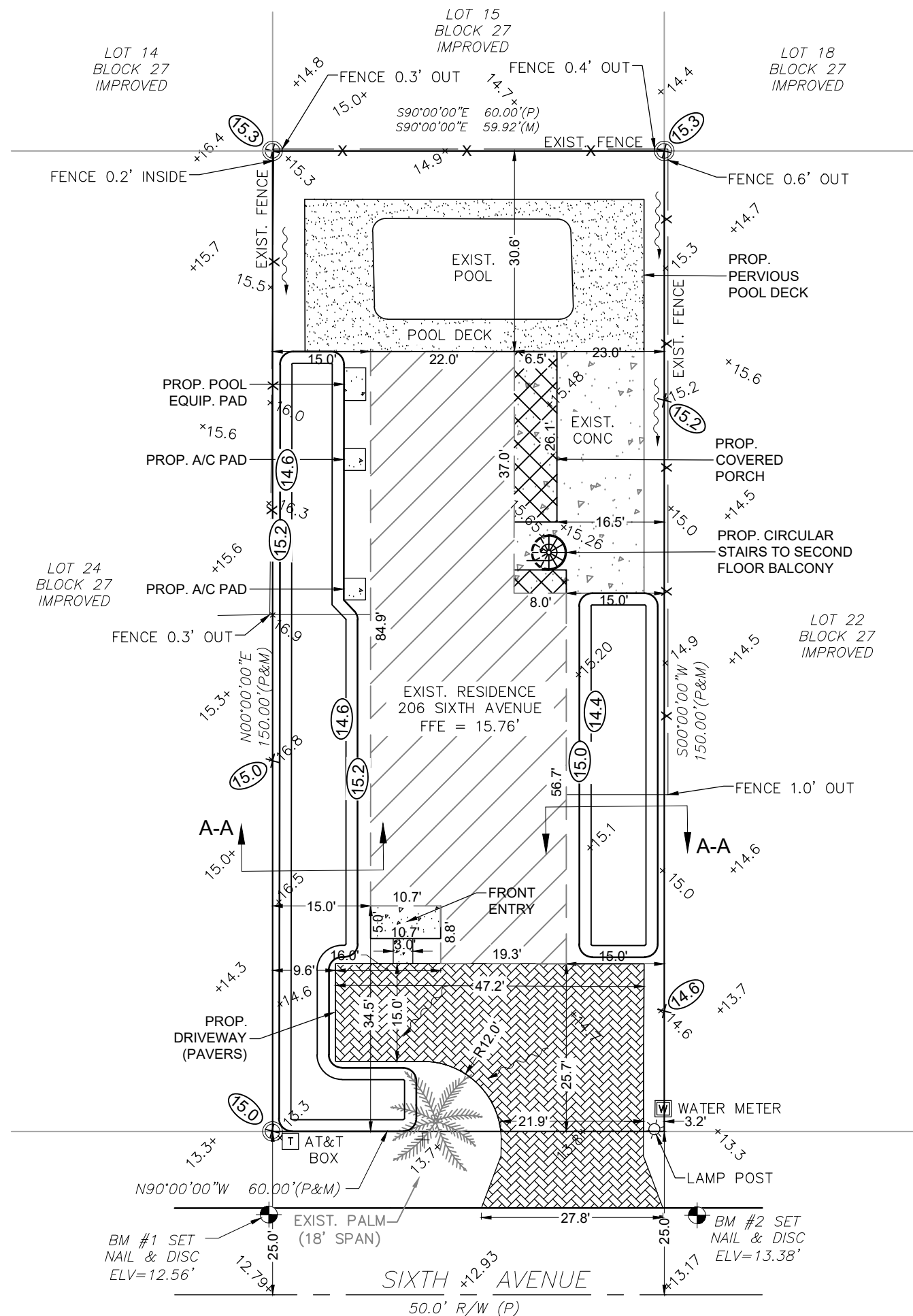


All BCPAO maps and/or map applications are maintained for assessment and illustrative purposes only and do not represent surveys, plats, or any other legal instrument. Likewise, measurement and location tools are for assessment and illustrative purposes only and do not necessarily reflect real-world conditions. Due to the nature of Geographic Information Systems (GIS) and cadastral mapping, map layers may not precisely align and may not represent precise location, shape, and/or legal boundaries. Only a Florida-licensed surveyor can determine legally-relevant property boundaries, elevation, distance, area, and/or location in Florida.

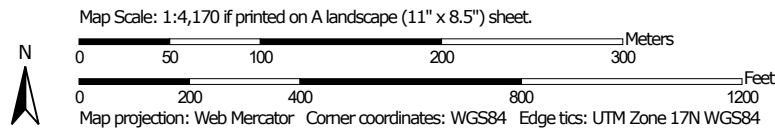


SITE DATA	AREA		
TOTAL SITE AREA	9,000	SF	
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* NOTE: NEW PERVIOUS SURFACE AROUND POOL
IS INCLUDED IN THE TOTAL PERVIOUS AREA




Soil Map—Brevard County, Florida
(206 Sixth Ave, Melbourne Beach, FL 32903)



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Brevard County, Florida

Survey Area Data: Version 24, Aug 28, 2024

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jan 19, 2022—Mar 2, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
14	Beaches	2.9	3.9%
25	Canaveral-Palm Beach-Urban land complex	52.9	70.5%
42	Palm Beach sand, 0 to 8 percent slopes	19.0	25.4%
100	Waters of the Atlantic Ocean	0.2	0.3%
Totals for Area of Interest		75.0	100.0%

Brevard County, Florida

42—Palm Beach sand, 0 to 8 percent slopes

Map Unit Setting

National map unit symbol: 30c6b

Elevation: 0 to 30 feet

Mean annual precipitation: 49 to 60 inches

Mean annual air temperature: 70 to 77 degrees F

Frost-free period: 345 to 365 days

Farmland classification: Not prime farmland

Map Unit Composition

Palm beach and similar soils: 90 percent

Minor components: 10 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Palm Beach

Setting

Landform: Ridges on marine terraces, dunes on marine terraces

Landform position (two-dimensional): Summit, backslope

Landform position (three-dimensional): Interfluve, tread

Down-slope shape: Convex

Across-slope shape: Linear

Parent material: Sandy and shelly marine deposits

Typical profile

Ak - 0 to 4 inches: sand

Ck - 4 to 80 inches: very paragravelly sand

Properties and qualities

Slope: 0 to 8 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Excessively drained

Runoff class: Negligible

Capacity of the most limiting layer to transmit water (Ksat): Very high (20.00 to 40.00 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Calcium carbonate, maximum content: 4 percent

Maximum salinity: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)

Sodium adsorption ratio, maximum: 4.0

Available water supply, 0 to 60 inches: Very low (about 2.4 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 7s

Hydrologic Soil Group: A

Ecological site: R155XY220FL - Sandy Coastal Beach Dunes
Forage suitability group: Sandy soils on ridges and dunes of xeric uplands (G155XB111FL)
Other vegetative classification: Sandy soils on ridges and dunes of xeric uplands (G155XB111FL)
Hydric soil rating: No

Minor Components

Canaveral

Percent of map unit: 5 percent
Landform: Ridges on marine terraces, knolls on marine terraces, dunes on marine terraces
Landform position (two-dimensional): Backslope, summit
Landform position (three-dimensional): Side slope, tread
Down-slope shape: Convex
Across-slope shape: Linear
Ecological site: R155XY170FL - Sandy Coastal Grasslands and Forests
Other vegetative classification: Forage suitability group not assigned (G155XB999FL)
Hydric soil rating: No

Paola

Percent of map unit: 4 percent
Landform: Hills on marine terraces, ridges on marine terraces
Landform position (two-dimensional): Summit, backslope
Landform position (three-dimensional): Interfluvium, side slope, riser
Down-slope shape: Linear, convex
Across-slope shape: Linear
Ecological site: R155XY230FL - Sandy Scrub on Ridges, Knolls, and Dunes of Xeric Uplands
Other vegetative classification: Sandy soils on ridges and dunes of xeric uplands (G155XB111FL), Sand Pine Scrub (R155XY001FL)
Hydric soil rating: No

Narcoossee

Percent of map unit: 1 percent
Landform: Knolls on marine terraces, rises on marine terraces
Landform position (two-dimensional): Summit
Landform position (three-dimensional): Interfluvium, tread, rise
Down-slope shape: Linear, convex
Across-slope shape: Linear
Ecological site: F155XY150FL - Sandy Flatwoods and Hammocks on Rises and Knolls of Mesic Uplands
Other vegetative classification: Sandy soils on rises and knolls of mesic uplands (G155XB131FL), Upland Hardwood Hammock (R155XY008FL)

Hydric soil rating: No

Data Source Information

Soil Survey Area: Brevard County, Florida

Survey Area Data: Version 24, Aug 28, 2024

Appendix B

STORMWATER CALCULATIONS

STORMWATER CALCULATIONS

SITE INFORMATION	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TOTAL AREA (SF)
Total Lot			9000
House	2,420		
Existing Concrete	1,200		
Proposed Concrete	121		
Proposed Driveway	974		
Green Space		4,285	
Total	4,715	4,285	9,000
Total	52%	48%	

TOTAL DRY RETENTION VOLUME

Drainage Areas	Top Area (SF)	Bottom Area (SF)	Depth (FT)	VOLUME (CF)
West Retention Area	1,351	855	0.6	662
East Retention Area	665	438	0.6	331
TOTAL	2,016	1,293	0.6	993

Total Dry Retention Vol. ==> V_{drainage} 993 CF

TOTAL VOLUME OF WATER TO RETAIN

Requirement = 8" retention for 10 yr/24 hr storm

REQUIREMENT FOR RECOVERY	DEPTH (in.)	DEPTH (FT)	AREA (SF)	VOLUME (CF)
8" X Impervious	8	0.67	4,715	3,143

Total volume to retain ==> V_{retain} = 3,143 CF

UNSATURATED VERTICAL AND SATURATED LATERAL FLOW ANALYSIS

Calcs based on SJRWMD Permit Information Manual
 Part X, Section 23.0 - Methodologies & Design Examples

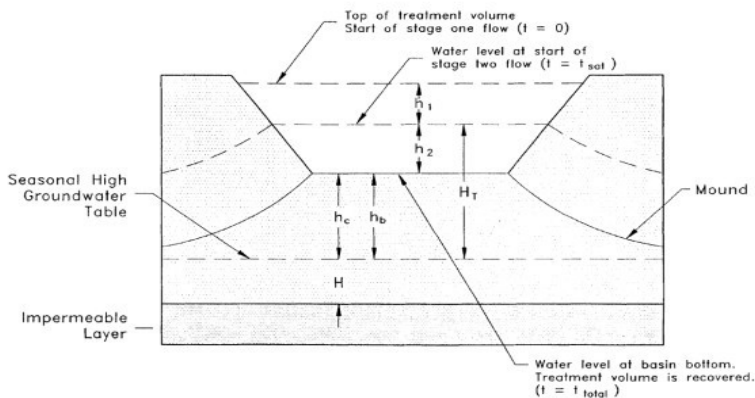


Fig 23-4: Design Parameters for Groundwater Mounding Analysis for Stage 1 & Stage 2 Flow (Source: Andreyev and Wisemand, 1989)

Calculate volume of water infiltrated in unsaturated vertical (Stage 1) flow & time to infiltrate this volume

1. Calculate Volume infiltrated during Stage 1 ==> V_u

Per Equation 23-3 ==> $V_u = (A_b)(h_b)(f)$ CF

$V_u = 2,156$ CF

V_u is the total volume of water required to saturate the soil below the basin bottom (h_b)

A_b = Area of Basin Bottom

$A_b = 1,293$ SF

h_b = Height of basin bottom to SHWT [Assume SHWT is 80 in (6.67ft) below grade]

$h_b = 6.67$ ft

f = Fillable porosity (generally 0.2 or 0.3 - use 0.25 average).

$f = 0.25$



STORMWATER CALCULATIONS

206 Sixth Ave
Melbourne Beach, FL 32951

2. Calculate Unsaturated Vertical Hydraulic Conductivity ==> K_{vu}

Per Equation 23-11 ==> $K_{vu} = (2/3)K_{vs}$ ft/day
 $K_{vu} = 27$ ft/day

K_{vs} = Vertical saturated flow rate per USDA Web Soil Survey

$K_{vs} = 20$ in/hr
 $K_{vs} = 40$ ft/day
 $K_{vs} = 1.67$ ft/hr

3. Calculate the Design infiltration rate ==> I_d

Per Equation 23-1 ==> $I_d = K_{vu}/FS$
 $I_d = 13.3$ ft/day

FS = Factor of Safety [use 2]

FS = 2

4. Calculate time to saturate soil beneath the drainage area ==> t_{sat}

Per Equation 23-2 ==> $t_{sat} = (f)(h_b)/I_d$ Days
 $t_{sat} = 0.13$ Days
 $t_{sat} = 3.0$ Hours

5. Calculate the remaining treatment volume to be recovered under saturated lateral (Stage 2) flow conditions ==> V_2

$V_2 = V_{retain} - V_u$ CF
 $V_2 = 987$ CF

V_2 = Treatment volume to be recovered in saturated lateral flow

$V_{retain} = 3,143$ CF
 $V_u = 2,156$ CF

6. Calculate the elevation of V_2 at start of lateral flow ==> h_2

NOTE: the elevation h_2 is calculated by interpolating. It is assumed that the drainage areas continue up to this elevation.

$V_{drainage} = 993$ CF
 $h_{drainage} (h_v) = 0.6$ ft
 $V_2 = 987$ CF

$h_2 = 0.6$ ft

NOTE: with h_2 at 0.6 feet, that means it will be at the TOB

7. Calculate F_y and F_x

NOTE: when the V_{retain} is recovered ($t = t_{total}$), the water level is at the bottom of the drainage area

Per Equation 23-8 ==> $H_T = h_b + h_2$ ft
 $H_T = 7.3$ ft

H_T = Height of water above SHWT at start of saturated lateral flow.

$h_b = 6.7$ ft
 $h_2 = 0.6$ ft

Per Equation 23-6 ==> $F_y = h_c/H_T$
 $F_y = 0.92$

F_y = Dimensionless representing % water level decline below max level

h_c = height of water above SHWT at time t

$h_b = h_c = 6.7$ ft

Need length (L) to width (W) ratio of basin bottom since that is when water level will be at bottom at time t

$L = 174$ ft
 $W = 6$ ft
 $L/W = 29$

Determine F_x using figure 23-7 (pg 23-17 or Page 298 of 652)

$f = 0.25$
 $L/W = 29$
 $F_y = 0.92$
 $F_x = 1.0$

8. Calculate the time (t_2) to recover the remaining treatment volume (V_2) under saturated lateral flow

Per Equation 23-7 ==> $D = H + hc/2$
 $D = 3.335$ ft

D = Average thickness of the aquifer.

H = Initial saturated thickness of the aquifer (ft) - NOTE: According to the USDA Palm Beach Sand description, the depth to the restrictive feature is more than 80 inches. Therefore, the initial saturated thickness of the aquifer can be assumed to be 0 since the depth to the water table and the depth to the restrictive feature is the same.

H = 0 ft

Per Equation 23-9 ==> $t_2 = \frac{W^2}{4(K_H)(D)(F_x)^2}$
 $t_2 = 0.0675$ Days

W = Width (average) of drainage area bottom at water level at time (t)

W = 6 ft

K_H = Average horizontal hydraulic conductivity (ft/day)



STORMWATER CALCULATIONS

206 Sixth Ave
Melbourne Beach, FL 32951

$t_2 =$ 1.62 Hours

$K_H =$ 20 in/hr

$K_H =$ 40 ft/day

NOTE: K_H was not provided and can be up to 2 times higher than the K_{VS} . To be conservative, use the same value as K_{VS} .

TOTAL RECOVERY TIME

9. Total time to recover the treatment volume (t_{total}) equals the time to recover during unsaturated vertical flow (t_{sat}) and lateral saturated flow (t_2)

$$t_{total} = t_{sat} + t_2$$

$t_{total} =$ 4.62 Hours

Town Commission Meeting

Section: Unfinished Business

Meeting Date: September 17, 2025

From: Town Attorney Ryan Knight

RE: Proposed parking ordinance language

Background Information:

The Commission requested the Town Attorney to provide proposed ordinance language regarding parking fines.

Recommendation:

Attachments:

Town Commission Meeting

Section: Old Business
Meeting Date: September 17, 2025
From: Elizabeth Mascaro, Town Manager
Re: Proposal for Seawall at Sixth Ave., Boat Ramp

Background:

The Sixth Avenue Boat ramp sea wall has started to lean into the river. In addition, the area behind the sea wall has opened up, creating a large hole.

A resident stepped in the hole and required medical attention. HR has notified our insurance carrier. The individual who was injured has told our insurance carrier that she has her own insurance and will not proceed with legal action.

Public Works filled the hole with cement. This is only a temporary solution to the ongoing issue of erosion at the boat ramp.

I called Shoreline Marine Contracts and asked for a quote to repair the sea wall.

I have placed an amount to \$46,184 in the budget for 2026 (FUND 141) for the Town to repair the seawall.

Recommendation:

The seawall and surrounding area should be repaired as soon as possible to avoid any further deterioration and potential legal claims.

The Commission can direct Director Davis to obtain 2 additional estimates for the seawall repairs.

Attachments:

Proposal from Shoreline Marine Contractors



September 9, 2025

Town of Melbourne Beach

Mrs. Elizabeth Mascaro

Town Manager

townmanager@melbournebeachfl.org

Direct: 321-396-7419

507 Ocean Ave., Melbourne Beach, FL 32951-2523

(321) 724-5860 Fax (321) 984-8994

RE: 6th Ave Boat Ramp Seawall
Melbourne Beach, FL 32951

Dear Mrs. Mascaro,

We respectfully submit our proposal for install of the removal of portions of existing seawall that is failing and replacement with a new vinyl sheet panel and concrete cap seawall at the above listed address. The new wall will be installed 18" max in front of the existing location and the top of the cap will be level with the residential property to the south. The length of the wall will be 17 LF along the water line with a 37 LF return heading to the east on the south edge of the existing boat ramp to the end of the boat ramp (16' further than the wall extends currently). The existing ramp will need to be cut along this return edge to allow for the new sheets to be installed. After installation, this part of the ramp will be poured back to seal the ramp against the new vinyl sheets. We will drill the rock for the entire length of the seawall to make sure the sheets are installed thru the rock.

PROJECT SCOPE

Install a new 54' CMI 425 x 14' series sheet pile wall. Install a reinforced concrete cap per the engineered drawings provided from MK Structural.

Seawall will be constructed as follows:

- Use Shoreguard 425 x 14 ft series vinyl sheet pile drilled through the coquina rock and driven into the ground with a pneumatic hammer. Install a reinforced engineered concrete cap with fiberglass reinforcing. Install ¾" HDG tie-backs every 8' along the wall.
- 36 cy of backfill will be installed along the length of the wall, this is included in the seawall price. Additional fill if required will be \$500 per additional load installed. SOD is not included in this proposal.

587 West Eau Gallie Blvd Suite 201
Melbourne, FL 32935

Phone (321)254-DOCK (3625)
mike@shorelinemarine.pro

TOTAL COMPENSATION

We propose to provide the above-described basic scope of services as described below:

Seawall Install.	\$ 43,335.⁰⁰
Engineering:	\$ 2,850.⁰⁰
Total Contact Fee:	\$ 46,184.⁰⁰

NOT INCLUDED IN CONTRACT

The following items are not included in the contract:

- Actual Permit fees.
- Sod
- As-Built Survey if required

PAYMENT SCHEDULE

The following payments shall be made as follows:

▪ Deposit	\$ 10,000. ⁰⁰
▪ Sheets Installed	\$ 20,000. ⁰⁰
▪ Concrete Cap Poured	\$ 10,000. ⁰⁰
▪ Final	\$ 6,184. ⁰⁰

Total Project Price: \$ 46,184.⁰⁰

Payments must be paid when due upon request. Any delay in payment outlined above will stop work on the project and crews will be moved to a new project. Upon payment, arrangements will be made to continue work. Expect delays for non-payment. Shoreline Marine Contractors, LLC is not responsible for minor damage caused by the construction including but not limited to sprinkler heads, underground utilities, grass and pavers. We will do the best to mitigate any damage to the yard.

All material is guaranteed to be as specified. All work to be completed in a workman like manner according to standard practices. Any alteration or deviation from the above specifications involving extra costs will be executed only under written orders and will be a change order above the written estimate.

Shoreline Marine Contractors, LLC is a fully licensed and insured company. Our insurance includes Marine General Liability, Jones Act, Workers Compensation and the Federal USL&H or Longshoreman's Insurance required to work over water.

Please return a signed copy authorizing us to proceed. This authorization constitutes your commitment to pay the fees and represents that approval has been received by you.

We look forward to the opportunity to assist you for this and future projects. Please give me a call with any questions or comments.

Sincerely,

Michael A. Kabajian

Terry Aater

Authorization by **Mrs. Elizabeth Mascaro**

For Shoreline Marine Contractors to provide the above-described services:

Name: _____ Date: _____

Signed: _____

Town Commission Meeting

Section: New Business

Meeting Date: September 17, 2025

From: Town Manager Elizabeth Mascaro

RE: Consideration of the proposals from the invitation to bid for basin 1 improvements

Background Information:

The Town received three proposals from the invitation to bid for basin 1 improvements.

Recommendation:

Consider approving a proposal for the basin 1 improvements.

Attachments:

Proposals from:

- Atlantic Development of Cocoa, Inc.
- Brewer Paving and Development, LLC
- Jobear Contracting Inc.

TOWN OF MELBOURNE BEACH

BASIN 1 IMPROVEMENTS

SEPTEMBER 10, 2025

BID PACKAGE

Atlantic Development of Cocoa, Inc.

Glenn S. Grignon
ggrignon@atlanticdevelopmentofcocoa.com
C: (321)403-4896

2185 West King Street
Cocoa, FL 32926
P: (321) 639-8788 | F: (321) 632-3655

AGREEMENT FOR PROFESSIONAL SERVICES**TOWN OF MELBOURNE BEACH – BASIN 1 IMPROVEMENTS****(BSE #11440.25)**

Pursuant to Section 287.135 (3) (b), Florida Statutes, this contract allows for the termination at the option of the Town of Melbourne Beach, if Atlantic Development of Cocoa, Inc. is found to have been placed on the Scrutinized Companies List that Boycott Israel or is engaged in a boycott of Israel.

Atlantic Development of Cocoa, Inc. complies with the provisions of Section 287.135, and certifies that it is not on the Scrutinized Companies with Activities in Sudan List or the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List and it does not have business operations in Cuba or Syria.

Dated on: September 09, 2025

Certified By:

Name: Glenn S. Grignon

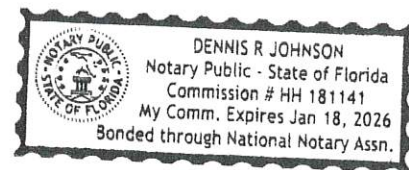
Title: Vice President

Company: Atlantic Development of Cocoa, Inc.

On this 09 day of September, 2025, I attest that the preceding document is a true, exact, complete, and unaltered photocopy made by me of the AGREEMENT FOR PROFESSIONAL SERVICES presented to me by the document's custodian, and, to the best of my knowledge, that the photocopied document is neither a public record nor a publicly recordable document, certified copies of which are not available from an official source other than a notary public.


NOTARY PUBLIC AT LARGE
 Dennis R. Johnson

Seal/Stamp/Commission #



CONTRACTOR'S QUALIFICATION STATEMENT

The undersigned certified under oath that the information provided herein is true and sufficiently complete so as not to be misleading:

Submitted to: Town of Melbourne Beach

Address: 507 Ocean Ave., Melbourne Beach, FL 32951

Submitted by: Glenn S. Grignon

Name: Atlantic Development of Cocoa, Inc.

Address: 2185 W. King St., Cocoa, FL 32926

Principal office: 2185 W. King St., Cocoa, FL 32926

Check one: ☒ Corporation ☐ Partnership ☐ Individual ☐ Joint Venture ☐ Other

Name of Project (if applicable): BASIN 1 IMPROVEMENTS

Type of Work (file separate form for each Classification of Work):

☐ General Construction
☐ Plumbing
☐ Electrical
☒ Other Underground Utilities/Site Development

1. ORGANIZATION

1.1 How many years has your organization been in business as a Contractor? 29

1.2 How many years has your organization been in business under its present business name? 29

1.2.1 Under what other or former names has your organization operated?

N/A

1.3 If your organization is a corporation, answer the following:

1.3.1 Date of incorporation January 1996

1.3.2 State of incorporation Florida

1.3.3 President's name AM Moore

1.3.4 Vice President's name Susan Moore / Glenn S. Grignon

1.3.5 Secretary's name Susan Moore

1.3.6 Treasurer's name Susan Moore

1.4 If your organization is a partnership, answer the following:

1.4.1 Date of organization N/A

1.4.2 Type of partnership (if applicable) N/A

1.4.3 Name(s) of general partner(s) N/A

1.5 If your organization is individually owned, answer the following:

1.5.1 Date of organization N/A

1.5.2 Name of owner N/A

- 1.6 If the form of your organization is other than those listed above, describe it and name the principals.

N/A

2. LICENSING

- 2.1 List jurisdictions and trade categories in which your organization is legally qualified to do business, and indicate registration or license numbers, if applicable.

State of Florida - Certified Underground Utility & Excavation - CUC057160

State of Florida - Excavator Contractor - EX70

- 2.2 List jurisdiction in which your organization's partnership or trade name is filed.

State of Florida

3. EXPERIENCE

- 3.1 List the categories of work that your organization normally performs with its own forces.

Earthwork, Road Work & Curbs, Sidewalks, Lift Stations, Concrete Sewer,

Stormwater & Reclaimed Water, Flat Work, Emergency Repairs,

Force Mains and Underground Utilities.

- 3.2 Claims and Suits – If the answer to any of the questions below is yes, please attach details.

- 3.2.1 Has your organization ever failed to complete any work awarded to it?

NO

- 3.2.2 Are there any judgments, claims, arbitration proceedings or suits pending or outstanding against your organization or its officers?

NO

- 3.2.3 Has your organization filed any law suits or requested arbitration with regard to construction contracts within the last five years?

NO

- 3.3 Within the last five years, has any officer or principal of your organization ever been an officer or principal of another organization when it failed to complete a construction contract? (If the answer is yes, please attach details.)

NO

- 3.4 List major construction projects your organization has in progress, giving the name of project, owner, architect, contract amount, percent complete and scheduled completion date. (No more than 5.)

See attached

- 3.4.1 State total worth or work in progress and under contract.

\$12,610,220.06

- 3.5 On a separate sheet, list the major projects your organization has completed in the past five years, giving the name of project, owner, architect, contract amount, date of completion and percentage of the cost of the work performed with your own forces. See Attached

- 3.5.1 State average annual amount of construction work performed during the past five (5) years:

\$6,471,203.76

- 3.6 List the construction experience and present commitments of the key individuals of your organization.

Alva Monore Moore - President	Underground Utilites	59 years
Glenn S. Grignon - Vice President	Underground Utilities	36 years
Matthew McNeely - Supervisor	Underground Utilities	24 years
Rolando Osorio - Supervisor	Underground Utilities	15 years

4. REFERENCES

4.1 Trade References

CEMEX Construction Materials	(800) 337-0699
County Materials	(866) 343-8488
National Trench Safety	(407) 280-9510
Rangeline Tapping Services	(800) 346-5971
STAline Waterworks	(386) 282-4242
VA Paving, Inc.	(321) 636-2565

4.2 Bank References

Community Bank of the South
227 N. Sykes Creek Parkway
Merritt Island, FL 32953
P: (321) 452-0420 / F: (321) 452-9866

4.3 Surety

4.3.1 Name of bonding company	US Specialty Insurance Company
	13403 Northwest Fwy, Houston, TX 77040
4.3.2 Name and address of agent	Wagner Bonding & Insurance, Inc.
	PO Box 91147, Lakeland, FL 33804

5. FINANCING

5.1 Financial Statement

- 5.1.1 Attach a financial statement, preferably audited, including your organization's latest balance sheet and income statement showing the following items: **Audited financial statement is available upon request.**

Current assets (e.g., cash, joint venture accounts, accounts receivable, notes receivable, accrued income, deposits, materials inventory and prepaid expenses).

Net Fixed Assets;

Other Assets;

Current Liabilities (e.g., accounts payable, notes payable, accrued expenses, provision for income taxes, advances, accrued salaries and accrued payroll taxes);

Other liabilities (e.g., capital, capital stock, authorized and outstanding shares, par values, earned surplus and retained earnings)

5.1.2 Name and address of firm prepared attached financial statement, and date thereof Wall Titus, LLC

212 E. Highland Drive, #201

Lakeland, FL 33813

5.1.3 Is the attached financial statement for the identical organization named on page one? YES

5.1.4 If not, explain the relationship and financial responsibility of the organization whose financial statement is provided (e.g., parent-subsidiary). _____

5.2 Will the organization whose financial statement is attached act as guarantor of the contract for construction? YES

6. SIGNATURE

6.1 Dated on this 9th day of September, 2025.

Name of Organization: Atlantic Development of Cocoa, Inc.

By: Glenn S. Grignon

Title: Vice President

6.2 Glenn S. Grignon being
Printed Name

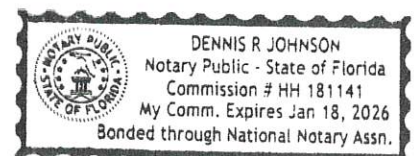
duly sworn deposes and says that the information herein in true and sufficiently complete so as not to be misleading.

Subscribed and sworn before me this 09 day of September 2025.

Notary Public: Dennis R. Johnson

My Commission Expires: January 18, 2026

CQS-6



Atlantic Development of Cocoa, Inc. STATUS OF MAJOR CONTRACTS ON HAND					
Name of Project	Project Owner	Project Architect	Contract Amount	Percent Complete	Scheduled Completion Date
Friday Rd.	City of Cocoa	DRMP, Inc.	\$ 4,012,407.00	10%	Due to Tortoise Removal Date of Completion TBD.
Osage/Angelica Utility Improvements	City of Cocoa	DRMP, Inc.	\$ 3,717,385.30	Not Started	Due to Tortoise Removal Date of Completion TBD.
Atlantic Blvd. Storm water Improvements	City of Indian Harbour Beach	Infrastructure Solution Services	\$ 854,590.44	90%	8/31/2025
S. Central Viera I-95 Reuse Transmission 16-inch	Brevard County Utility Services	ATKINS	\$ 3,283,202.25	75%	10/31/2025
Banyan Cove	DR Horton	N/A	\$ 742,635.07	10%	12/1/2025

Atlantic Development of Cocoa, Inc. - Projects of Past 5 Years

2020

Project Name	Owner	Architect	Contract Amount	Date of Completion	% of work Prefromed by ADC
Ridgewood ADA Ramps	City of Cape Canaveral	N/A	\$ 78,000.00	6/22/2020	95%
Michigan Ave. FM	City of Cocoa	Bussen-Mayer Engineering Group, Inc.	\$ 994,679.70	8/31/2020	75%
B-5 2nd Ave. Riverside to Ramona	Town of Indialantic	N/A	\$ 136,194.80	12/31/2020	95%
B-5 2nd Ave & Riverside DR Off-Line Ret.	Town of Indialantic	N/A	\$ 105,994.49	11/13/2020	95%
Palm Springs Dry Retention	Indian Harbour Beach	N/A	\$ 38,199.64	10/5/2020	95%
Hickory Ridge Phase II - Utilities	Danny Duke	Lamb Engineering, Inc.	\$ 293,792.87	12/31/2020	95%
Block I Mixing	DR Horton	N/A	\$ 6,500.00	11/30/2020	95%
Richardson Rd. Lateral Repair	Brevard County Utilites	N/A	\$ 46,359.68	12/1/2020	95%
Fire Station @ 840 N. Banana River Dr.	Brevard County Utilites	N/A	\$ 11,169.44	12/1/2020	95%
Barefoot Bay - 409 Papaya	Brevard County Utilites	N/A	\$ 25,211.00	12/17/2020	95%
2nd Ave. 12" Conflict	Brevard County Utilites	N/A	\$ 38,255.90	12/17/2020	95%
135 Richland Repair	Brevard County Utilites	N/A	\$ 20,622.11	12/30/2020	95%
Inlet Top Replacements	City of Cape Canaveral	N/A	\$ 17,375.00	12/31/2020	95%
212 Lincoln Ave. Emergency Repair	City of Cape Canaveral	N/A	\$ 15,996.67	1/4/2020	95%

2021

Project Name	Owner	Architect	Contract Amount	Date of Completion	% of work Prefromed by ADC
Merritt Island Gravity Repairs	Brevard County Utilites	N/A	\$ 242,922.00	3/25/2021	95%
Hickory Ridge Phases 3 & 4	Danny Duke	Lamb Engineering, Inc.	\$ 454,842.20	11/2/2021	75%
Central Ave. Ditch Cleaning (was 20-019)	City of Cape Canaveral	N/A	\$ 16,236.00	2/18/2021	95%
Valve Replacement	City of Cape Canaveral	N/A	\$ 6,825.00	1/20/2021	95%
870 Brush Lane Culvert	Greg Hart	N/A	\$ 20,125.00	6/15/2021	95%
Ramona & Michigan	Town of Indialantic	N/A	\$ 8,019.80	4/8/2021	95%
N. Courtenay 24" Valve Repair	City of Cocoa	N/A	\$ 212,592.96	4/14/2021	95%
Lincoln Ave. Sewer (was 20-042)	City of Cape Canaveral	N/A	\$ 120,100.50	3/17/2021	95%
B-4 10th Ave. to Ramona (was 20-009)	Town of Indialantic	N/A	\$ 115,390.70	4/2/2021	95%
B-4 Palm to Ramona	Town of Indialantic	N/A	\$ 31,677.00	3/15/2021	95%
Martesia Way Inlet Tops	Indian Harbour Beach	N/A	\$ 49,051.00	8/24/2021	95%

B-4 Melbourne Ave - Palm Ave to Shannon Ave.	Town of Indialantic	N/A	\$ 77,201.40	7/8/2021	95%
Grate Replacement	City of Indian Harbour Beach	N/A	\$ 3,997.00	3/15/2021	95%
Baffle Box Retrofit (was 19-075)	City of Cape Canaveral	N/A	\$ 36,270.75	8/18/2021	95%
B-6 Wayne & Riverside	Town of Indialantic	N/A	\$ 54,703.20	7/8/2021	95%
Jocky Pump Valve Replacement	City of Cape Canaveral	N/A	\$ 6,825.00	4/19/2021	95%
Beyel-Irby Warehouse (was 20-016)	Beyel Brothers	N/A	\$ 117,090.05	7/16/2021	95%
Pinetree & School Drainage	City of Indian Harbour Beach	N/A	\$ 25,832.80	7/6/2021	95%
2580 A1A 8" Gravity Repair	Brevard County Utilites	N/A	\$ 10,693.02	4/28/2021	95%
Coquina Lane	City of Cape Canaveral	N/A	\$ 10,187.65	6/7/2021	95%
N. RAMONA - 1ST AVE TO 2ND AVE	Town of Indialantic	N/A	\$ 44,133.65	6/7/2021	95%
Lake Griffen Trail / Fault Ln. Sidewalk	City of Rockledge	N/A	\$ 89,133.60	9/24/2021	95%
1495 Patriot Inlet Top	Indian River Colony Club	N/A	\$ 7,489.20	9/20/2021	95%
Mixer Motor Replacement	City of Cape Canaveral	N/A	\$ 11,948.50	7/6/2021	95%
1" Water Service	Peter Black	N/A	\$ 7,670.00	11/29/2021	95%
Inlet tops	Town of Indialantic	N/A	\$ 53,839.00	8/27/2021	95%
Algonquin Complex Canal Cleaning	IHB/Satellite Beach	N/A	\$ 11,319.76	8/17/2021	95%
Powerline Rd. ARV Repair	Brevard County Utilites	N/A	\$ 30,329.36	7/22/2021	95%
Sludge Pump Replacement	City of Cape Canaveral	N/A	\$ 10,629.38	10/4/2021	95%
Barefoot Bay/Midway St. 8" Gravity Repair	Brevard County Utilites	N/A	\$ 21,094.81	8/18/2021	95%
W. Central Baffle Box	City of Cape Canaveral	N/A	\$ 17,133.10	11/3/2021	95%
Rio Villa 8" Repair	Brevard County Utilites	N/A	\$ 29,279.40	8/26/2021	95%
Lyme Bay Inlet Cleaning	City of Indian Harbour Beach	N/A	\$ 5,390.00	11/2/2021	95%
243 Capri Rd. Sewer Tap	Jeff Fitzsimmons	N/A	\$ 4,616.00	8/30/2021	95%
Driveway Culvert	Julie Webster	N/A	\$ 8,060.30	8/31/2021	95%
1785 Bayberry Sewer Tap	Brevard County/Wolfenbarger	N/A	\$ 6,186.25	11/4/2021	95%
1511 Frontier - Storm Drain	Indian River Colony Club	N/A	\$ 4,350.00	11/8/2021	95%
Sea Ray Storm Repair	Brunswick Corporation	N/A	\$ 7,745.05	10/6/2021	95%
N. Courtenay	VA Paving	N/A	\$ 83,975.25	12/9/2021	95%
Maplewood Village	Maplewood Village	N/A	\$ 5,625.00	9/27/2021	95%
Cheyenne Blvd. Grates	City of Indian Harbour Beach	N/A	\$ 2,970.00	10/28/2021	95%
520 Sommerset U-Drain	City of Indian Harbour Beach	N/A	\$ 11,657.50	11/8/2021	95%
Orlando & Riverside Storm	Town of Indialantic	N/A	\$ 10,690.55	12/17/2021	95%
Portside Villas M/H Repair	City of Cape Canaveral	N/A	\$ 5,434.50	12/3/2021	95%
Worley Ave. Emergency Repair	Brevard County Utilites	N/A	\$ 76,296.07	12/9/2021	95%

PLUCKEBAUN ROAD AND MARLIN MANOR & WATER MAIN AND FORCE MAIN IMPROVEMENTS	City of Cocoa & Rockledge	Mead & Hunt	\$ 3,207,834.31	11/2/2022	75%
460 River Moorings Dr. Storm Replacment	River Moorings HOA	N/A	\$ 18,591.80	11/19/2021	95%
2nd Ave & Ramona Inlet Top	Town of Indialantic	N/A	\$ 10,037.00	12/17/2021	95%
Force Main Emergency Repair	Brevard County Utilites	N/A	\$ 37,281.95	1/6/2022	95%
N. Wickham/Forest Lake FM Emergency Repair	Brevard County Utilites	N/A	\$ 66,724.21	1/13/2022	95%
Lori Laine Trunk Replacement	City of Satellite Beach	Mead & Hunt	\$ 3,032,931.18	12/7/2023	75%

2022

Project Name	Owner	Architect	Contract Amount	Date of Completion	% of work Prefromed by ADC
302 MARKLEY CT STORM	City of Indian Harbour Beach	N/A	\$ 14,896.40	5/31/2022	95%
12TH AVE STORM REPLACEMENT	Town of Indialantic	N/A	\$ 49,981.60	6/6/2022	95%
Water Plant Road Culvert Replacement	City of Cocoa	N/A	\$ 502,547.50	7/20/2022	95%
Center St. Storm Inspection	City of Cape Canaveral	N/A	\$ 20,176.25	5/16/2022	95%
PAVEMENT REPAIR ON FISKE BLVD AT DAMAGED GATE VALVE	City Of Cocoa	N/A	\$ 16,606.50	4/27/2022	95%
31 LOCH NESS DR. HYDRANT REPLACEMENT	Conner Brothers	N/A	\$ 10,193.57	7/18/2022	95%
5130 Wickham Emergency Repair	Brevard County Utilities	N/A	\$ 98,186.30	5/11/2022	95%
12th Ave Inlet Top Replacement	Town of Indialantic	N/A	\$ 7,492.88	10/6/2022	95%
N. Plumosa Lateral	Brevard County Utilities	N/A	\$ 65,045.00	7/20/2022	95%
N. Ramona/Michigan Inlet Repair	Town of Indialantic	N/A	\$ 4,148.40	7/18/2022	95%
EGHS Parking Lot Repair	Watson Site Development	N/A	\$ 14,687.00	8/8/2022	95%
TSC Utilites	Dooley Mack	N/A	\$ 125,000.00	12/31/2022	95%
Anona PI Inlet Repair	City of Indian Harbour Beach	N/A	\$ 18,106.30	7/18/2022	95%
West Central Reuse GV Replacement	City of Cape Canaveral	N/A	\$ 15,503.65	8/3/2022	95%
Boardwalk Repair	Town of Indialantic	N/A	\$ 69,147.92	10/6/2022	95%
20" S. Patrick Dr. FM Emergency Repair	Brevard County Utilities	N/A	\$ 110,917.96	10/6/2022	95%
Riverside Cove PL Gravity Emergency Repair	Brevard County Utilities	N/A	\$ 24,829.45	9/14/2022	95%
313 Surf Rd. Casing	City of Cape Canaveral	N/A	\$ 2,900.00	9/19/2022	95%
Adelaide Place FM Sewer Repair	Brevard County Utilities	N/A	\$ 17,142.63	9/14/2022	95%

Murrell Rd & Int'l PL, Reuse Main Emergency	City of Rockledge	N/A	\$ 60,040.00	10/10/2022	95%
N Osceola ARV Repair	Brevard County Utilities	N/A	\$ 10,598.23	10/6/2022	95%
Merritt Island 8" Emergency Repair	Brevard County Utilities	N/A	\$ 29,279.28	10/27/2022	95%
Water Plant Road Culvert Replacement	City of Cocoa	N/A	\$ 58,195.11	11/17/2022	95%
Plumosa Way 8" Gravity Repair	Brevard County Utilities	N/A	\$ 18,673.58	10/27/2022	95%
Barefoot Bay Emergency Repair	Brevard County Utilities	N/A	\$ 23,226.61	10/27/2022	95%
Water Plant Road FabriForm & Concreate	City of Cocoa	Bussen-Mayer Engineering Group, Inc	\$ 395,178.63	12/31/2022	75%
210 Catalina Isle Dr Gravity Sewer Repair	Brevard County Utilities	N/A	\$ 36,127.65	12/20/2022	95%
4300 N. Wickham Rd Gravity Sewer Repair	Brevard County Utilities	N/A	\$ 23,824.99	12/7/2022	95%
200 , 210 & 230 Catalina Isle Dr. Gravity Sewer Repair	Brevard County Utilities	N/A	\$ 70,968.50	12/31/2022	95%
MI 8 Inch AC FM Repair	Brevard County Utilities	N/A	\$ 23,951.18	12/31/2022	95%

2023

Project Name	Owner	Architect	Contract Amount	Date of Completion	% of work Prefromed by ADC
Sea Ray Rd. Sykes Creek 36" WM Crossing	City of Cocoa	CHA - Consutling	\$ 4,399,523.54	8/26/2024	75%
1564 Pioneer Dr. Storm Pipe Replacement	Indian River Colony Club	N/A	\$ 53,743.00	3/29/2023	95%
Wave Village Outfall	City of Cape Canaveal	N/A	\$ 47,292.30	5/18/2023	95%
5090 US 1 4 inch Valve Replacement	Brevard County Utilities	N/A	\$ 12,388.64	2/1/2023	95%
140 5th Ave. Gravity Repair	Brevard County Utilities	N/A	\$ 18,942.53	3/16/2023	95%
Hammock Trail ARV Repair	Brevard County Utilities	N/A	\$ 8,706.67	3/16/2023	95%
5130 Wickham Rd. 18" FM Repair	Brevard County Utilities	N/A	\$ 62,049.05	4/19/2023	95%
1465 Girard Blvd. Lateral	Brevard County Utilities	N/A	\$ 23,641.86	3/29/2023	95%
Stadium Del Webb 10" Reuse Repair	Brevard County Utilities	N/A	\$ 19,548.00	3/29/2023	95%
J.F. Jamieson Way Reuse Repair	Brevard County Utilities	N/A	\$ 67,640.33	5/17/2023	95%
N. Banana River FM Repair	Brevard County Utilities	N/A	\$ 120,372.40	5/17/2023	95%
460 sherwood 8" Gravity Repair	Brevard County Utilities	N/A	\$ 24,199.65	6/16/2023	95%
Las Olas Later Repair	Brevard County Utilities	N/A	\$ 29,525.00	6/16/2023	95%
Watermain Relocate (Kale & Hamlin Ave)	City of Melbourne PW & U	N/A	\$ 9,375.00	6/6/2023	95%
519 Escambia St. Storm	City of Indian Harbour Beach	N/A	\$ 8,410.00	8/14/2023	95%
Fiske Blvd 8" Gravity Repair	City of Rockledge	N/A	\$ 541,880.20	10/17/2023	95%

Fiske Blvd 8" Gravity Repair	City of Cocoa	N/A	\$	43,292.30	11/22/2023	95%
Waterline Relocate @ Sherwood & Orange Ave.	City of Melbourne PW & U	N/A	\$	3,286.00	7/3/2023	95%
Temple Water Main Relocate	City of Melbourne PW & U	N/A	\$	10,472.20	9/8/2023	95%
Barefoot Bay WWTP 3-Way Valve	Brevard County Utilities	N/A	\$	9,135.68	6/23/2023	95%
Mims wwtp 12" FM Repair	Brevard County Utilities	N/A	\$	23,180.29	7/21/2023	95%
1205 Newfound Harbor Dr Gravity Sewer	Brevard County Utilities	N/A	\$	8,347.80	8/17/2023	95%
ADAMSON RD./LANDFILL FM REPLACEMENT	Brevard County Utilities	Public Works Engineering, Brevard County	\$	657,744.20	12/7/2023	75%
N.Courtenay Sewer FM Repair	Brevard County Utilities	N/A	\$	36,385.32	8/9/2023	95%
S. BEACHES WWTP 8" REUSE GV REPLACEMENT	Brevard County Utilities	N/A	\$	10,253.16	12/14/2023	95%
Trench Drain & Storm Pipe	HMB Steel	N/A	\$	28,242.50	11/20/2023	95%
Mackeral Ave Emergency Repair	Brevard County Utilities	N/A	\$	59,377.70	10/5/2023	95%
1255 John's Circle Emergency Repair	Brevard County Utilities	N/A	\$	16,685.95	10/5/2023	95%
S. Patrick & Camellia Terr FM Repair	Brevard County Utilities	N/A	\$	56,094.27	10/5/2023	95%
Granada Ave. Gravity Repair	Brevard County Utilities	N/A	\$	8,915.02	11/7/2023	95%
Plumosa M/H Replacement	Brevard County Utilities	N/A	\$	126,653.05	12/14/2023	95%
2330 W. New Haven Water Service	City of West Melbourne	N/A	\$	39,193.54		95%
615 Desoto Place Storm	City of Indian Harbour Beach	N/A	\$	33,887.60	12/14/2023	95%
4606 Woodstock Dr.	Brevard County Utilities	N/A	\$	5,000.00	11/28/2023	95%
Gleason Park Mound Phase 1	City of Indian Harbour Beach	N/A	\$	7,686.25	12/4/2023	95%
1291 Fiddler Lateral	Brevard County Utilities	N/A	\$	27,400.39	11/28/2023	95%
Hennessey Place 8" Lateral	Brevard County Utilities	N/A	\$	52,848.65	4/30/2024	95%
956 Barefoot Blvd 8" Gravity Sewer	Brevard County Utilities	N/A	\$	30,528.57	12/7/2023	95%
S. Central 8" Valve Replacment	Brevard County Utilities	N/A	\$	11,703.31	12/7/2023	95%
2200 PORPOISE ST FM REPAIR/ W. Central Repair	Brevard County Utilities	N/A	\$	18,739.11	1/3/2024	95%
215 CHERRY AVE GRAVITY SEWER	Brevard County Utilities	N/A	\$	14,322.54	1/3/2024	95%
Banna River Dr. FM Repair - Bridge	Brevard County Utilities	N/A	\$	9,783.44	1/3/2024	95%
Monaco Condo WM Emergency Repair	Morgan Pump Systems	N/A	\$	7,758.78	12/29/2023	95%

PROPOSAL

TOWN OF MELBOURNE BEACH - BASIN 1 IMPROVEMENTS

Full Name of Bidder:	<u>Atlantic Development of Cocoa, Inc.</u>
Main Business Address:	<u>2185 W. King St., Cocoa, FL 32926</u>
Place of Business:	<u>2185 W. King St., Cocoa, FL 32926</u>
State Contractor's License:	CUC057160

TO: **Town of Melbourne Beach** (hereinafter called the **Owner**)

The undersigned, as Bidder, declares that the only person or parties interested in this Proposal as principals are those named herein, that this Proposal is made without collusion with any other person, firm or corporation; that he has carefully examined the location of the proposed work, the proposed forms of Agreement and Bonds, and the Contract Drawings and Specifications, including Addenda issued thereto and acknowledges receipt below:

Addendum Number	Date Issued	Contractor's Initials
1 - copy included	Date not indicated on addendum	GSG

Dennis Johnson

From: Melbourne Beach Town Manager <TownManager@melbournebeachfl.org>
Sent: Monday, September 08, 2025 12:58 PM
To: Dennis@atlanticdevelopmentofcocoa.com
Subject: Town of Melbourne Beach-Addendum to Basin 1
Attachments: ADDEMDUM TO BASIN 1-Questions About Project.docx

Per your request.

Elizabeth Mascaro

Town Manager

townmanager@melbournebeachfl.org

Direct: 321-396-7419

507 Ocean Ave., Melbourne Beach, FL 32951-2523

(321) 724-5860 Fax (321) 984-8994

www.melbournebeach



Brevard County's Oldest Beach Community – Established 1883

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Addendum to Basin 1 Bid Book

Questions:

1. Is the contract duration intended to cover all phases of the work described, or is it specific to Phase 1 only? *Phase 1 only*
2. Will all phases be awarded to a single contractor, or is there potential for separate contractors to be assigned to different phases? *Only phase 1 is being awarded at this time*
3. On the plans, what does the orange color represent? *The red are storm water swales that fall into Phase 2, the orange are some stormwater pipes that are clearly labeled.*
4. Do the asphalt quantities listed include open cut trench repairs, or will those be measured and paid separately? *The asphalt quantities are the leveling thats needed. Asphalt quantities for open cuts should be accounted for in the LF price of storm water pipe.*
5. Will the contractor be responsible for replacing any landscaping or hardscaping (e.g., irrigation, pavers, sod) that is removed or damaged during construction *Yes*
6. So to clarify, the only milling & resurfacing is what is shown on plans? None at road crossings? *Correct*
7. Will the contractor be responsible for residents landscaping and irrigation that is in the city's right of way if it needs to be removed or damaged? *Yes, the contractor is responsible for landscape and irrigation within the Town R/W. Care should be taken as to not remove or damage existing landscape material while damaged irrigation will need to be repaired.*
8. Will the city consider a longer duration than 90/120 for the project as it is a fairly aggressive timeline? *Propose the duration you believe is appropriate: the Town feels the project can be completed in 90/120 days indicated.*
9. Does the city have a laydown/storage area for the pipe and fixtures? *Shannon and Harland –60" per published plat. Also looking at Banyon and Poinsettia triangle area.*
10. Does the engineer or city have calculations as to how much asphalt and concrete will be needed to repair the driveways? *No driveway reconstructions were quantified by type.*
11. The budget/engineer estimate as I need it to secure the bond. *The bid bond shall be based on the contractor's estimate.*

He proposes, and agrees if this Proposal is accepted, that he will contract with the Town of Melbourne Beach in the form of the copy of the Agreement included in these Contract Documents, to provide all necessary machinery, tools, apparatus and other means of construction, including utility and transportation services necessary to do all the Work, and furnish all the materials and equipment specified or referred to in the Contract Documents in the manner and time herein prescribed, and according to the requirements of the Owner as therein set forth, furnish the Contractor's Bonds and Insurance specified in the General Conditions of the Contract, and to do all other things required of the Contractor by the Contract Documents, and that he will take full payment the sums set forth in the following bid schedule.

Upon receipt or written notice of the conditional acceptance of this bid, bidder will execute the formal Contract attached and deliver the insurance within 15 days as required by the Contract Documents.

If awarded a contract under this Proposal, the Undersigned proposes to start work at the site within 14 calendar days after the receipt from the Owner of a written Notice to Proceed. The Undersigned further agrees to fully complete all work covered per the following schedule. All dates shown represent consecutive calendar days from and including the date of receipt from the Owner of a written Notice to Proceed.

Contract Time Substantial Completion

90 days

Final Completion

120 days

Bid Security

Accompanying this Bid is a Certified or a Cashier's Check or a Bid Bond in the amount of \$ 131,607.74, made payable to the Owner which may be forfeited as liquidated damages if, in the event this proposal is accepted, the undersigned fails to execute the Agreement, provide insurance certificate(s) and furnish and pay for the required performance and payment bonds for the Owner within fifteen (15) days after acceptance of the Bid; otherwise said Certified or Cashier's Check or Bid Bond will be returned to the undersigned.

Award of Bid

Bidder acknowledges that Owner may not award the Contract immediately. Bidder acknowledges that all prices quoted within the proposal are valid for a period of ninety (90) days after bid opening. If the Contract is not awarded within ninety (90) days, Bidder may adjust the unit prices proposed; however, Owner retains the right to reject all bids and rebid the project.



AIA®

Document A310™ – 2010

Bid Bond**CONTRACTOR:***(Name, legal status and address)*

Atlantic Development of Cocoa, Inc.
2185 W. King Street
Cocoa, FL 32926

SURETY:*(Name, legal status and principal place of business)*

U.S. Specialty Insurance Company
13403 Northwest Freeway
Houston, TX 77040

OWNER:*(Name, legal status and address)*

Town of Melbourne Beach
507 Ocean Ave.
Melbourne Beach, FL 32951

BOND AMOUNT: Five percent of bid amount (5%)**PROJECT:***(Name, location or address, and Project number, if any)*

Basin 1 Improvements

This document has important
legal consequences.

Consultation with an attorney
is encouraged with respect to
its completion or modification.

Any singular reference to
Contractor, Surety, Owner or
other party shall be considered
plural where applicable.

The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and

provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

Signed and sealed this 8 day of September, 2025

John L. Ligon
(Witness)

A M Moore
(Contractor as Principal) (Seal)
PRESIDENT
(Title)

Carey Wagner
(Witness)

Taylor Wagner
(Surety) (Seal)
Taylor Wagner, Attorney-in-Fact
(Title)



TOKIOMARINE
HCC

POWER OF ATTORNEY
AMERICAN CONTRACTORS INDEMNITY COMPANY TEXAS BONDING COMPANY
UNITED STATES SURETY COMPANY U.S. SPECIALTY INSURANCE COMPANY

KNOW ALL MEN BY THESE PRESENTS: That American Contractors Indemnity Company, a California corporation, Texas Bonding Company, an assumed name of American Contractors Indemnity Company, United States Surety Company, a Maryland corporation and U.S. Specialty Insurance Company, a Texas corporation (collectively, the "Companies"), do by these presents make, constitute and appoint:

Daniel F. Wagner, Taylor Wagner, Daniel F. Wagner Jr.

its true and lawful Attorney(s)-in-fact, each in their separate capacity if more than one is named above, with full power and authority hereby conferred in its name, place and stead, to execute, acknowledge and deliver **any and all bonds, recognizances, undertakings or other instruments or contracts of suretyship to include riders, amendments, and consents of surety, providing the bond penalty does not exceed** *****Twenty Five Million***** Dollars (***25,000,000***). This Power of Attorney shall expire without further action on April 23rd, 2026. This Power of Attorney is granted under and by authority of the following resolutions adopted by the Boards of Directors of the Companies:

Be it Resolved, that the President, any Vice-President, any Assistant Vice-President, any Secretary or any Assistant Secretary shall be and is hereby vested with full power and authority to appoint any one or more suitable persons as Attorney(s)-in-Fact to represent and act for and on behalf of the Company subject to the following provisions:

Attorney-in-Fact may be given full power and authority for and in the name of and on behalf of the Company, to execute, acknowledge and deliver, any and all bonds, recognizances, contracts, agreements or indemnity and other conditional or obligatory undertakings, including any and all consents for the release of retained percentages and/or final estimates on engineering and construction contracts, and any and all notices and documents canceling or terminating the Company's liability thereunder, and any such instruments so executed by any such Attorney-in-Fact shall be binding upon the Company as if signed by the President and sealed and effected by the Corporate Secretary.

Be it Resolved, that the signature of any authorized officer and seal of the Company heretofore or hereafter affixed to any power of attorney or any certificate relating thereto by facsimile, and any power of attorney or certificate bearing facsimile signature or facsimile seal shall be valid and binding upon the Company with respect to any bond or undertaking to which it is attached.

IN WITNESS WHEREOF, The Companies have caused this instrument to be signed and their corporate seals to be hereto affixed, this 18th day of April 2022.

AMERICAN CONTRACTORS INDEMNITY COMPANY TEXAS BONDING COMPANY
UNITED STATES SURETY COMPANY U.S. SPECIALTY INSURANCE COMPANY

State of California
County of Los Angeles



By:

Daniel P. Aguilar, Vice President

A Notary Public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document

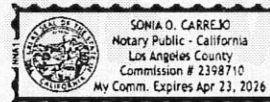
On this 18th day of April 2022, before me, Sonia O. Carrejo, a notary public, personally appeared Daniel P. Aguilar, Vice President of American Contractors Indemnity Company, Texas Bonding Company, United States Surety Company and U.S. Specialty Insurance Company who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

(seal)



I, Kio Lo, Assistant Secretary of American Contractors Indemnity Company, Texas Bonding Company, United States Surety Company and U.S. Specialty Insurance Company, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney, executed by said Companies, which is still in full force and effect; furthermore, the resolutions of the Boards of Directors, set out in the Power of Attorney are in full force and effect.

In Witness Whereof, I have hereunto set my hand and affixed the seals of said Companies at Los Angeles, California this 8 day of September, 2025.

Corporate Seals
Bond No.

Bid

Agency No. 12281



Kio Lo, Assistant Secretary

Respectfully Submitted:

State of Florida

County of Brevard

Glenn S. Grignon, being first duly sworn on oath deposes and says that the Bidder on the above Proposal is organized as indicated below and that all statements herein made are made on behalf of such Bidder and that this deponent is authorized to make them.

Glenn S. Grignon, also deposes and says that he has examined and carefully prepared his Bid Proposal from the Contract Drawings and Specifications and has checked the same in detail before submitting this Bid; that the statements contained herein are true and correct.

(a) Corporation

The bidder is a corporation organized and existing under the laws of the State of Florida, which operates under the legal name of Atlantic Development of Cocoa, Inc. and the full names of its officers are as follows:

President	<u>AM Moore</u>
Secretary	<u>Susan Moore</u>
Treasurer	<u>Susan Moore</u>
Manager	<u>Susan Moore</u>

and it (does) or (does not) have a corporate seal. The Vice President is authorized to sign construction proposals and contracts for the company by action of its Board of Directors taken September 8, 2025, a certified copy of which is hereto attached (Strike out this last sentence if not applicable).

September 8, 2025

Town of Melbourne Beach
Town Manager
507 Ocean Avenue
Melbourne Beach, FL 32951

RE: Basin 1 Improvements – Underground Utility Contractor Services

To Whom It May Concern:

Atlantic Development of Cocoa, Inc. ("ADC"), as bidder, hereby declares its intent to complete all aspects of the work specified in the above-referenced bid.

A.M. Moore, President of Atlantic Development of Cocoa, Inc., has authorized Glenn S. Grignon, Vice President, to sign construction proposals and contracts on behalf of the company.

Sincerely,



A.M. Moore
President
Atlantic Development of Cocoa, Inc.

NOTARY ACKNOWLEDGMENT (Florida)

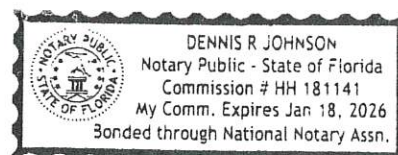
State of Florida
County of Brevard

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 8 day of September, 2025, by A.M. Moore, as President of Atlantic Development of Cocoa, Inc., **who is personally known to me** ☐ or has produced _____ as identification.



Notary Public, State of Florida

Dennis R. Johnson
My Commission Expires: January 18, 2026



(b) Co-Partnership N/A

The Bidder is a co-partnership consisting of individual partners whose full names are as follows:

_____	_____
_____	_____
_____	_____
_____	_____

The co-partnership does business under the legal name of: _____.

(c) Individual N/A

The bidder is an individual whose full name is, _____, and if operating under a trade name, said trade name is _____.

Dated _____, 20__.

Atlantic Developemnt of Cocoa, Inc.


Legal Entity

(Seal - If Corporation)
(Sign Here)

By: 

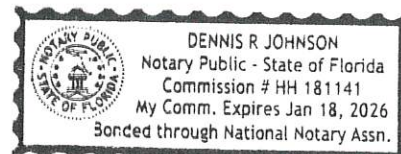
Telephone No. (321) 639-8788

Subscribed and sworn to before me this 9 day of September,
2025.


Notary Public

My Commission Expires:

January 18, 2026



TRENCH SAFETY AFFIDAVIT - UNIT PRICE

BASIN 1 IMPROVEMENTS

Trench excavations on this Project are expected to be in excess of 5 feet deep. The Occupational Safety and Health Administration excavation safety standards, 29 CFR 1926.650 Subpart P trench safety standards will be in effect during the period of construction of the project.

Bidder acknowledges that included in the various items of the Bid and in the Total Bid Price are costs for complying with the Florida Trench Safety Act (90-96, Laws of FL) effective October 1, 1990, and hereby gives assurance that, if awarded the Contract, the Contractor or Subcontractor performing trench excavation work on the Project will comply with the applicable trench safety standards. The Bidder further identifies the costs as follows:

Trench Safety Item (Description)	Unit Quantity	Units of Measure (LF, SY)	Unit Cost	Extended Cost
BASED BID ITEMS				
A. Trench Box	1	LS	\$10,000.00	\$10,000.00
B.				
C.				
D.				
E.				
F.				
TOTAL				\$10,000.00

FAILURE TO COMPLETE THE ABOVE SHALL RESULT IN THE BID BEING DECLARED NON-RESPONSIVE.

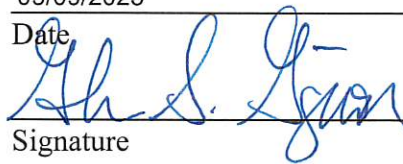
Atlantic Development of Cocoa, Inc.

Company Name

09/09/2025

Date

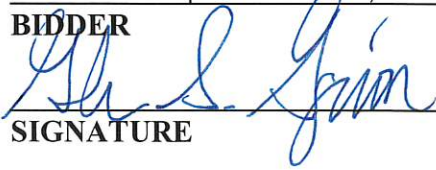
Signature



LIST OF SUBCONTRACTORS/SUPPLIERS

TOWN OF MELBOURNE BEACH – BASIN 1 IMPROVEMENTS

The Undersigned states that the following is a full and complete list of the proposed subcontractors and suppliers on this Project and the class of work to be performed by each, and that such list will not be added to nor altered without written consent of the Owner through the Engineer.

<u>Subcontractor and Address</u>	<u>Class of Work to be performed or Type of Material to be Supplied</u>
(1) Morgan & Associates 504 N. Harbour City Blvd Melbourne, FL 32935	Survey
(2) VA Paving, Inc. PO BOX 1046 COCOA, FL 32923-1046	Milling & Resurfacing
(3) KC Curb 4975 Patch Road Orlando, FL 32822	Concrete
(4) LSP Nursery, Inc. 521 THOR AVE PALM BAY, FL 32909	Sodding / Irrigation / Brick Pavers
(5) _____	_____
(6) _____	_____
*Attach additional sheets as necessary.	
09/09/2025 DATE	Atlantic Development of Cocoa, Inc. BIDDER  SIGNATURE

Dennis Johnson

From: Melbourne Beach Town Manager <TownManager@melbournebeachfl.org>
Sent: Monday, September 08, 2025 12:58 PM
To: Dennis@atlanticdevelopmentofcocoa.com
Subject: Town of Melbourne Beach-Addendum to Basin 1
Attachments: ADDEMDUM TO BASIN 1-Questions About Project.docx

Per your request.

Elizabeth Mascaro

Town Manager

townmanager@melbournebeachfl.org

Direct: 321-396-7419

507 Ocean Ave., Melbourne Beach, FL 32951-2523

(321) 724-5860 Fax (321) 984-8994

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Addendum to Basin 1 Bid Book

Questions:

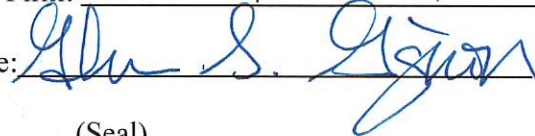
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10. Does the engineer or city have calculations as to how much asphalt and concrete will be needed to repair the driveways? *No driveway reconstructions were quantified by type.*
11. The budget/engineer estimate as I need it to secure the bond. *The bid bond shall be based on the contractor's estimate.*

8. The attached estimated quantities are included only for the assistance of the Bidder and for establishing unit prices for individual items.
9. Communications concerning this Bid shall be addressed to:

Mr. Scott M. Glaubitz, P.E., P.L.S.
 B.S.E. Consultants, Inc.
 312 South Harbor City Blvd., Suite 4
 Melbourne, FL 32901
 (321) 725-3674 Telephone
 Email: BSE-Info@lja.com
10. The terms used in this Bid which are defined in the General Conditions of the Construction Contract included as a part of the Contract Documents have the meanings assigned to them in the General Conditions.

SUBMITTED ON September 10, 2025 . _____ .

Name of Firm: Atlantic Development of Cocoa, Inc.

Signature: 

Title: Vice President

(Seal)

Attest: 

Business Address: 2185 W. King St.

Cocoa, FL 32926

Phone No.: (321) 639-8788

IMPORTANT:

Note: If the Contractor is a corporation, the legal name of the corporation shall be set forth above together with a signature of the officer or officers authorized to sign Contracts on behalf of the Corporation; if Contractor is a co-partnership, the true name of the firm shall be set forth above together with the signatures of all the partners; and if Contractor is an individual, his signature shall be placed above. If signature is by an agent other than an officer of a corporation or a member of a partnership, a power-of-attorney must be attached hereto. Signature of Contractor shall also be acknowledged before a Notary Public or other person authorized by law to execute such acknowledgment.

**TOWN OF MELBOURNE BEACH
BASIN 1 IMPROVEMENTS
BSE #11440.25
BID FORM- REVISED**

Note: Bids shall include sales tax and other applicable taxes and fees

ITEM	UNIT	ENGINEER'S QUANTITIES	CONTRACTOR'S QUANTITIES	UNIT PRICE	TOTAL PRICE
PHASE 1					
PART 1 - EARTHWORK, PAVING AND DRAINAGE					
MOBILIZATION	LS	1	1.00	\$ 112,795.00	\$ 112,795.00
MAINTENANCE OF TRAFFIC (MOT)	LS	1	1.00	\$ 35,000.00	\$ 35,000.00
TV CAMERA INSPECTION 36" drainage pipe between existing structure DS-104 and DS-144 and 24" drainage pipe along South Palm	LS	1	1.00	\$ 25,000.00	\$ 25,000.00
EXISTING PIPE REMOVE and DISPOSE - 8" POLYETHYLENE	LF	220	220.00	\$ 15.00	\$ 3,300.00
EXISTING PIPE REMOVE and DISPOSE - 12" POLYETHYLENE	LF	10	10.00	\$ 15.00	\$ 150.00
EXISTING PIPE REMOVE and DISPOSE - 15" POLYETHYLENE	LF	10	10.00	\$ 20.00	\$ 200.00
EXISTING PIPE REMOVE and DISPOSE - 18" POLYETHYLENE	LF	353	353.00	\$ 25.00	\$ 8,825.00
EXISTING PIPE REMOVE and DISPOSE - 8" CMP	LF	840	840.00	\$ 25.00	\$ 21,000.00
EXISTING PIPE REMOVE and DISPOSE - 12" CMP	LF	720	720.00	\$ 25.00	\$ 18,000.00
EXISTING PIPE REMOVE and DISPOSE - 24" PVC	LF	600	600.00	\$ 25.00	\$ 15,000.00
EXISTING PIPE REMOVE and DISPOSE - 12" RCP	LF	60	60.00	\$ 30.00	\$ 1,800.00
EXISTING DRAINAGE STRUCTURE REMOVE and DISPOSE	EA	22	22.00	\$ 1,850.00	\$ 40,700.00
PLUG (and ABANDON) 8" CMP (SHANNON AVE)	EA	1	1.00	\$ 3,500.00	\$ 3,500.00
12" RCP	LF	64	64.00	\$ 205.00	\$ 13,120.00
15" RCP	LF	255	255.00	\$ 125.55	\$ 32,015.25
18" RCP	LF	2,466	2466.00	\$ 185.25	\$ 456,826.50
24" RCP	LF	475	475.00	\$ 235.00	\$ 111,625.00
TYPE D INLET	EA	22	22.00	\$ 12,550.00	\$ 276,100.00
CONNECT TO EXISTING DRAINAGE STRUCTURE	EA	7	7.00	\$ 3,500.00	\$ 24,500.00
FILL EXISTING SWALE (HARLAND AVE)	CY	46	46.00	\$ 255.00	\$ 11,730.00
CONCRETE FLUME (SOUTH PALM AVE AND MAGNOLIA AVE)	EA	1	1.00	\$ 5,500.00	\$ 5,500.00
MILL AND OVERLAY PAVEMENT	SY	920	920.00	\$ 105.25	\$ 96,830.00
DRIVEWAY RECONSTRUCTION - ASPHALT	EA	1	1.00	\$ 7,500.00	\$ 7,500.00
DRIVEWAY RECONSTRUCTION - CONCRETE	EA	24	24.00	\$ 8,500.00	\$ 204,000.00
DRIVEWAY RECONSTRUCTION - PAVER	EA	4	4.00	\$ 10,500.00	\$ 42,000.00

**TOWN OF MELBOURNE BEACH
BASIN 1 IMPROVEMENTS
BSE #11440.25
BID FORM- REVISED**

Note: Bids shall include sales tax and other applicable taxes and fees

ITEM	UNIT	ENGINEER'S QUANTITIES	CONTRACTOR'S QUANTITIES	UNIT PRICE	TOTAL PRICE
IRRIGATION SYSTEM RESTORATION	LS	1	1.00	\$ 25,750.00	\$ 25,750.00
MAIL BOX RESTORATION	LS	1	1.00	\$ 5,500.00	\$ 5,500.00
STORM WATER POLLUTION PREVENTION PLAN (SWPPP)	LS	1	1.00	\$ 25,500.00	\$ 25,500.00
SILT FENCE (if needed)	LS	1	1.00	\$ 10,500.00	\$ 10,500.00
UTILITY ADJUSTMENT - WATER SERVICES	LS	1	1.00	\$ 60,000.00	\$ 60,000.00
					\$ -
					\$ -
SUBTOTAL PHASE 1 PART 1					\$ 1,694,266.75
PART 2 - MISCELLANEOUS					
PERFORMANCE BOND & PAYMENT	LS	1	1	\$30,125.00	\$ 30,125.00
PHASE 1 - TOTAL PART 1 + PART 2 WITHOUT ALTERNATIVES					
					\$ 1,724,391.75
PART 3 - ALTERNATIVES					
Alternate #1 - FULL 36" RCP PIPE REPLACEMENT from EX DS-104 to EX DS-144	LF	340	340	755.35	\$ 256,819.00
Alternate #2 - 36" RCP PIPE REPLACEMENT ACROSS RIVERSIDE DRIVE (OPEN CUT, MILL & REPAVE 50 FT EITHER SIDE of CUT)	LF	44	44	\$1,295.00	\$ 56,980.00
Alternate #3 - 36" RCP PIPE REPLACEMENT in GREEN SPACE	LF	36	36	\$1,500.00	\$ 54,000.00
Alternate #4 - SLEEVE 36" RCP PIPE from EX DS-104 to EX DS-144	LF	340	340	700	\$ 238,000.00
PHASE 1 TOTAL with ALTERNATIVE #1					
					\$ 1,981,210.75
PHASE 1 TOTAL with ALTERNATIVE #2					
					\$ 1,781,371.75
PHASE 1 TOTAL with ALTERNATIVE #3					
					\$ 1,778,391.75
PHASE 1 TOTAL with ALTERNATIVE #4					
					\$ 1,962,391.75

**TOWN OF MELBOURNE BEACH
BASIN 1 IMPROVEMENTS
BSE #11440.25
BID FORM- REVISED**

Note: Bids shall include sales tax and other applicable taxes and fees

ITEM	UNIT	ENGINEER'S QUANTITIES	CONTRACTOR'S QUANTITIES	UNIT PRICE	TOTAL PRICE
PHASE 2					
PART 1 - EARTHWORK, PAVING AND DRAINAGE					
MOBILIZATION	LS	1	1	\$ 35,969.25	\$ 35,969.25
MAINTENANCE OF TRAFFIC (MOT)	LS	1	1	\$ 25,000.00	\$ 25,000.00
CONSTRUCT "S1" 8 FT WIDE SWALE	LF	14,500	14500	\$ 25.00	\$ 362,500.00
CONSTRUCT "S2" 4 FT WIDE SWALE	LF	550	550	\$ 20.00	\$ 11,000.00
CONSTRUCT "S3" 1.5 FT WIDE SWALE	LF	850	850	\$ 20.00	\$ 17,000.00
IRRIGATION SYSTEM RESTORATION	LS	1	1	\$ 22,000.00	\$ 22,000.00
MAIL BOX RESTORATION	LS	1	1	\$ 15,000.00	\$ 15,000.00
STORM WATER POLLUTION PREVENTION PLAN (SWPPP)	LS	1	1	\$ 11,500.00	\$ 11,500.00
SILT FENCE (if needed)	LS	1	1	\$ 69,487.50	\$ 69,487.50
UTILITY ADJUSTMENT - WATER SERVICES	LS	1	1	\$ 66,000.00	\$ 66,000.00
					\$ -
					\$ -
SUBTOTAL PHASE 2 PART 1					\$ 635,456.75
PART 2 - MISCELLANEOUS					
PERFORMANCE BOND & PAYMENT	LS	1	1		\$ 15,487.35
PHASE 2 TOTAL PART 1 + PART 2					\$ 650,944.10

NOTES:

1. Bids shall include sales tax and other applicable taxes and fees.
2. The Engineer's Estimated Quantities are provided for your convenience. Contractor should bid their own quantities. If there is a large discrepancy, please contact Engineer.
3. The award timeframe for Phase 2 related work is unknown at this time.



Ron DeSantis, Governor

Melanie S. Griffin, Secretary



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD

THE UNDERGROUND UTILITY & EXCAVATION CO HEREIN IS CERTIFIED UNDER THE
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

MOORE, JAMES WILLIAM

ATLANTIC DEVELOPMENT OF COCOA, INC.

2185 W KING ST

COCOA

FL 32926

LICENSE NUMBER: CUC057160

EXPIRATION DATE: AUGUST 31, 2026

Always verify licenses online at [MyFloridaLicense.com](https://myfloridalicense.com)

ISSUED: 05/23/2024

Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.





**BREVARD COUNTY PLANNING AND DEVELOPMENT DEPARTMENT
LICENSING REGULATION AND ENFORCEMENT**

2725 Judge Fran Jamieson Way, Building A-114
Viera FL 32940
www.brevardfl.gov/PlanningandDevelopment

Phone: (321) 633-2058

Email: building.licensing@brevardfl.gov

CERTIFICATE OF COMPETENCY LICENSE

LICENSE NO.: EX70

THIS CERTIFIES THAT:

ALVA M MOORE

ATLANTIC DEVELOPMENT OF COCOA INC

HAS QUALIFIED AS A:

EXCAVATING CONTRACTOR

THIS CERTIFICATE IS ISSUED FOR

BREVARD COUNTY, FLORIDA, ON MAY 06, 2002

LICENSE STATUS: ACTIVE

BUD CRISAFULLI

CHAIRMAN, BREVARD COUNTY CONTRACTOR LICENSING BOARD

MISTY SHIRAH

SECRETARY, BREVARD COUNTY CONTRACTOR LICENSING BOARD

*"THIS IS NOT A BUSINESS TAX RECEIPT"
PLEASE VERIFY ALL INFORMATION FOR ACCURACY*



**BREVARD COUNTY
CONTRACTOR LICENSING BOARD
CERTIFICATE OF COMPETENCY LICENSE**

**LICENSE NO.:
EX70**

**EXP. DATE:
8/31/2026**

**STATUS:
ACTIVE**

EXCAVATING CONTRACTOR

**ALVA M MOORE
ATLANTIC DEVELOPMENT OF COCOA INC
2185 WEST KING ST
COCOA, FL 32926**

IMPORTANT!

**THIS IS YOUR CERTIFICATE OF COMPETENCY
DISPLAY AS REQUIRED BY LAW
UNDER BREVARD COUNTY ORDINANCE
CHAPTER 22, ARTICLE VI**

**Misty Shirah, Secretary
Brevard County
Contractor Licensing Board**



Florida Department of Transportation

RON DESANTIS
GOVERNOR

605 Suwannee Street
Tallahassee, FL 32399-0450

JARED W. PERDUE, P.E.
SECRETARY

April 29, 2025

ATLANTIC DEVELOPMENT OF COCOA, INC
2185 WEST KING STREET
COCOA, FLORIDA 32926

RE: CERTIFICATE OF QUALIFICATION

The Department of Transportation has qualified your company for the type of work indicated below.

FDOT APPROVED WORK CLASSES:
DRAINAGE, GRADING, SIDEWALK

Unless notified otherwise, this Certificate of Qualification will expire **6/30/2026**.

In accordance with Section 337.14(1), Florida Statutes, an application for qualification must be filed within (4) months of the ending date of the applicant's audited annual financial statements.

If the company's maximum capacity has been revised, it may be accessed by logging into the Contractor Prequalification Application System via the following link:

[HTTPS://fdotwp1.dot.state.fl.us/ContractorPreQualification](https://fdotwp1.dot.state.fl.us/ContractorPreQualification)

Once logged in, select "View" for the most recently approved application, and then click the "Manage" and "Application Summary" tabs.

The company may apply for a Revised Certificate of Qualification at any time prior to the expiration date of this certificate according to Section 14-22.0041(3), Florida Administrative Code (F.A.C.), by accessing the most recently approved application as shown above and choosing "Update" instead of "View." If certification in additional classes of work is desired, documentation is needed to show that the company has performed such work.

All prequalified contractors are required by Section 14-22.006(3), F.A.C., to certify their work underway monthly in order to adjust maximum bidding capacity to available bidding capacity. You can find the link to this report at the website shown above.

Sincerely,

James E. Taylor II, Prequalification Supervisor
Contracts Administration Office

JTII

AIA Document A310™ – 2010

Bid Bond

CONTRACTOR:

(Name, legal status and address)
 Brewer Paving & Development, LLC
 3190 Grissom Parkway
 Cocoa, FL 32926

SURETY:

(Name, legal status and principal place of business)
 Amerisure Mutual Insurance Company
 26777 Halsted Road
 Farmington Hills, MI 48331

OWNER:

(Name, legal status and address)
 Town of Melbourne Beach
 507 Ocean Avenue
 Melbourne Beach, FL 32951

BOND AMOUNT: * FIVE PERCENT OF AMOUNT BID *** (5%)**

PROJECT:

(Name, location or address, and Project number, if any)

Town of Melbourne Beach Basin 1 Improvements, BSE #11440.25

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

Signed and sealed this 10th day of September, 2025


 (Witness)


 (Witness)

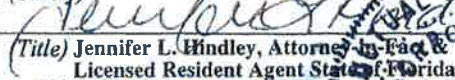
Brewer Paving & Development, LLC

(Principal)


 (Title) Manager

Amerisure Mutual Insurance Company

(Surety)


 (Title) Jennifer L. Hindley, Attorney in Fact
 Licensed Resident Agent State of Florida

Guignard Company/Inquiries (407) 834-0022

CAUTION: You should sign an original AIA Contract Document, on which this text appears in RED. An original assures that changes will not be obscured.

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Init.



AMERISURE MUTUAL INSURANCE COMPANY
AMERISURE INSURANCE COMPANY
AMERISURE PARTNERS INSURANCE COMPANY

POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS: That Amerisure Mutual Insurance Company, Amerisure Insurance Company and Amerisure Partners Insurance Company are corporations duly organized under the laws of the State of Michigan (herein collectively the "Companies"), and that the Companies do hereby make, constitute and appoint

BRYCE R. GUIGNARD, MARGIE L. MORRIS, DAVID R. TURCIOS, WESLEY MATTHEW ADCOCK,

APRIL L. LIVELY, ALLYSON FOSS WING, CHRISTINE MORTON, JENNIFER L. HINDLEY

KELLY E. PHELAN and AMANDA JO HERSTINE

of Guignard Company, its true and lawful Attorney(s)-in Fact, each in their separate capacity if more than one is named above, to sign, execute, seal and acknowledge, for and on its behalf and as its act and deed, bonds or others writings obligatory in the nature of a bond on behalf of each of said Companies, as surety, on contracts or suretyship as are or may be required or permitted by law, regulation, contract or otherwise, provided that no bond or undertaking or contract or suretyship executed under this authority shall exceed the amount of

ONE HUNDRED MILLION (\$100,000,000.00) DOLLARS

This Power of Attorney is granted and signed by facsimile under and by the authority of the following Resolutions adopted by the Boards of Directors of Amerisure Mutual Insurance Company, Amerisure Insurance Company and Amerisure Partners Insurance Company at meetings duly called and held on February 17, 2022

"RESOLVED, that any two of the President & Chief Executive Officer, the Chief Financial Officer & Treasurer, the Senior Vice President Surety, the Vice President Surety, or the General Counsel & Corporate Secretary be, and each or any of them hereby is authorized to execute, a Power of Attorney qualifying the attorney-in-fact named in the given Power of Attorney to execute on behalf of the Company bonds, undertakings and all contracts of surety, and that President & Chief Executive Officer, Chief Financial Officer & Treasurer or General Counsel & Corporate Secretary each or any of them hereby is authorized to attest to the execution of any such Power of Attorney and to attach therein the seal of the Company;

FURTHER RESOLVED, that the signature of such officers and the seal of the Company may be affixed to any such Power of Attorney or to any certificate relating thereto electronically/digitally or by facsimile, and any such Power of Attorney or certificate bearing such electronic/digital or facsimile signatures or electronic/digital or facsimile seal shall be binding upon the Company when so affixed and in the future with regard to any bond, undertaking or contract of surety to which it is attached;

FURTHER RESOLVED, that any work carried out by the attorney-in-fact pursuant to this resolution shall be valid and binding upon the Company "



By

Michael A. Ito, Senior Vice President Surety

By

Aaron Green, Vice President Surety



IN WITNESS WHEREOF, Amerisure Mutual Insurance Company, Amerisure Insurance Company and Amerisure Partners Insurance Company have caused their official seals to be hereunto affixed, and these presents to be signed by their authorized officers this 28th day of August, 2024

**Amerisure Mutual Insurance Company
Amerisure Insurance Company
Amerisure Partners Insurance Company**

State of Illinois
County of Kane

On this 28th day of August, 2024, before me, a Notary Public personally appeared Michael A. Ito, of Amerisure Mutual Insurance Company, Amerisure Insurance Company and Amerisure Partners Insurance Company and Aaron Green of Amerisure Mutual Insurance Company, Amerisure Insurance Company and Amerisure Partners Insurance Company, personally known to me, who being by me duly sworn, acknowledged that they signed the above Power of Attorney as officers of and acknowledged said instrument to be the voluntary act and deed of their respective companies



M. Kenny, Notary Public

I, Christopher M. Spaude, the duly elected Chief Financial Officer & Treasurer of Amerisure Mutual Insurance Company, Amerisure Insurance Company and Amerisure Partners Insurance Company, do hereby certify and attest that the above and foregoing is a true and correct copy of a Power of Attorney executed by said Companies, which remains in full force and effect

IN WITNESS WHEREOF, I have set my hand and affixed the seals of the Companies this 10th day of September, 2025



Christopher M. Spaude, Chief Financial Officer & Treasurer

AGREEMENT FOR PROFESSIONAL SERVICES**TOWN OF MELBOURNE BEACH – BASIN 1 IMPROVEMENTS****(BSE #11440.25)**

Pursuant to Section 287.135 (3) (b), Florida Statutes, this contract allows for the termination at the option of the Town of Melbourne Beach, if Brewer Paving & Development LLC. is found to have been placed on the Scrutinized Companies List that Boycott Israel or is engaged in a boycott of Israel.

Brewer Paving & Development LLC. complies with the provisions of Section 287.135, and certifies that it is not on the Scrutinized Companies with Activities in Sudan List or the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List and it does not have business operations in Cuba or Syria.

Dated on: September 10, 2025

Certified By: 

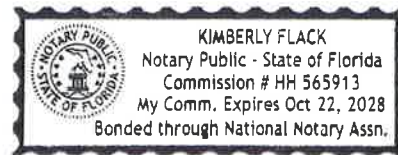
Name: Shane Brewer

Title: Manager

Company: Brewer Paving & Development LLC.

On this 9th day of September, 20 25, I attest that the preceding document is a true, exact, complete, and unaltered photocopy made by me of the AGREEMENT FOR PROFESSIONAL SERVICES presented to me by the document's custodian, and, to the best of my knowledge, that the photocopied document is neither a public record nor a publicly recordable document, certified copies of which are not available from an official source other than a notary public.


NOTARY PUBLIC AT LARGE



Seal/Stamp/Commission #

CONTRACTOR'S QUALIFICATION STATEMENT

The undersigned certified under oath that the information provided herein is true and sufficiently complete so as not to be misleading:

Submitted to: Town Manager, Town of Melbourne Beach

Address: 507 Ocean Ave. Melbourne Beach, FL 32951

Submitted by: Brewer Paving & Development LLC.

Name: Shane Brewer

Address: 3190 Grissom Parkway, Cocoa, Florida 32936

Principal office: 3190 Grissom Parkway, Cocoa, Florida 32936

Check one: ☐ Corporation ☐ Partnership ☐ Individual ☐ Joint Venture ☒ Other

Name of Project (if applicable): _____

Type of Work (file separate form for each Classification of Work):

☒ General Construction

☐ Plumbing

☐ Electrical

☐ Other _____

1. ORGANIZATION

1.1 How many years has your organization been in business as a Contractor? 24.5 Years

1.2 How many years has your organization been in business under its present business name? 24.5 Years

1.2.1 Under what other or former names has your organization operated?
N/A

1.3 If your organization is a corporation, answer the following:

1.3.1 Date of incorporation _____

1.3.2 State of incorporation _____

1.3.3 President's name _____

1.3.4 Vice President's name _____

1.3.5 Secretary's name _____

1.3.6 Treasurer's name _____

1.4 If your organization is a partnership, answer the following:

1.4.1 Date of organization _____

1.4.2 Type of partnership (if applicable) _____

1.4.3 Name(s) of general partner(s) _____

1.5 If your organization is individually owned, answer the following:

1.5.1 Date of organization 1-02-2001

1.5.2 Name of owner Billy Shane Brewer

- 1.6 If the form of your organization is other than those listed above, describe it and name the principals.

Brewer Paving & Development, LLC.

Billy Shane Brewer, Owner / Manager

2. LICENSING

- 2.1 List jurisdictions and trade categories in which your organization is legally qualified to do business, and indicate registration or license numbers, if applicable.

Florida

Underground Utilities, Earthwork, Grading

- 2.2 List jurisdiction in which your organization's partnership or trade name is filed.

Florida

3. EXPERIENCE

- 3.1 List the categories of work that your organization normally performs with its own forces.

Underground Utilities, Earthwork, Grading, Clearing

- 3.2 Claims and Suits – If the answer to any of the questions below is yes, please attach details.

- 3.2.1 Has your organization ever failed to complete any work awarded to it?

No

- 3.2.2 Are there any judgments, claims, arbitration proceedings or suits pending or outstanding against your organization or its officers?

No

- 3.2.3 Has your organization filed any law suits or requested arbitration with regard to construction contracts within the last five years?

No

- 3.3 Within the last five years, has any officer or principal of your organization ever been an officer or principal of another organization when it failed to complete a construction contract? (If the answer is yes, please attach details.)

No

- 3.4 List major construction projects your organization has in progress, giving the name of project, owner, architect, contract amount, percent complete and scheduled completion date. (No more than 5.)

Allegra Site Work, Allegra of Cocoa, LLC. \$7,886,492.39 - 87%

Aripeka Phase 5 - The Viera Company; \$3,342,461.30 - 24%

Reeling Park Phase 5/6 - The Viera Company - \$2,233,527.20 - 61%

V@N@ Merope Drive - The Viera Company - \$1,967,180.90 - 41%

V2N2 Trailhead Parking - The Viera Company - \$1,303,967.15 - 45%

- 3.4.1 State total worth or work in progress and under contract.

Total Contracts \$20,340,203.91

Balance to Finish - \$10,767,972.65

- 3.5 On a separate sheet, list the major projects your organization has completed in the past five years, giving the name of project, owner, architect, contract amount, date of completion and percentage of the cost of the work performed with your own forces.

See Attached

- 3.5.1 State average annual amount of construction work performed during the past five (5) years:

20 M

- 3.6 List the construction experience and present commitments of the key individuals of your organization.

Billy Shane Brewer - Owner, Manager

Phillip Stiffler - Estimator / Project Manager

Brian Scott - Estimator / Project Manager

Russ Dix - Field Superintendent

Tom Rice - Field Superintendent

4. REFERENCES

4.1 Trade References

BSE Consultants, Inc., Hassan Kamal, P.E. (321) 725-3674

Ferguson Enterprises - Greg Johnson (321) 890-7068

County Materials - Rick Bolinger (772) 453-1103

Mac Concrete - Scott Edwards - (321) 402-9851

Ring Power Corporation - Josh Hetzel (321) 288-0039

4.2 Bank References

Bank of America, NA; Juliet Williams (386) 564-0180

Bank of America, NA - Angel Hayes (321-426-2282

4.3 Surety

4.3.1 Name of bonding company SiriusPoint America Insurance Company

4.3.2 Name and address of agent Guignard Company

1904 Boothe Circle, Longwood, Florida 32750

Bryce Guignard

5. FINANCING

5.1 Financial Statement

- 5.1.1 Attach a financial statement, preferably audited, including your organization's latest balance sheet and income statement showing the following items:

Current assets (e.g., cash, joint venture accounts, accounts receivable, notes receivable, accrued income, deposits, materials inventory and prepaid expenses).

Net Fixed Assets;

Other Assets;

Current Liabilities (e.g., accounts payable, notes payable, accrued expenses, provision for income taxes, advances, accrued salaries and accrued payroll taxes);

Other liabilities (e.g., capital, capital stock, authorized and outstanding shares, par values, earned surplus and retained earnings)

5.1.2 Name and address of firm prepared attached financial statement, and date thereof Rhonda Hinds, CPA

160 McLeod Street

Merritt Island, Florida 32953

5.1.3 Is the attached financial statement for the identical organization named on page one? _____

5.1.4 If not, explain the relationship and financial responsibility of the organization whose financial statement is provided (e.g., parent-subsidiary). _____

5.2 Will the organization whose financial statement is attached act as guarantor of the contract for construction? _____

6. SIGNATURE

6.1 Dated this 9th day of September, 2025.
Name of Organization: BREWER PAVING & DEVELOPMENT, LLC.

By: _____

Title: Manger

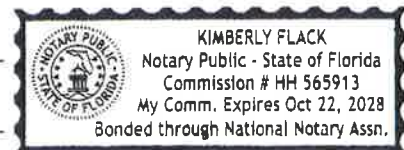
6.2 Shane Brewer being
Printed Name

duly sworn deposes and says that the information herein in true and sufficiently complete so as not to be misleading.

Subscribed and sworn before me this 9th day of September 2025.

Notary Public Kimberly Flack

My Commission Expires: 10/22/2028



MAJOR PROJECTS LAST 5 YEARS - COMPLETED

<u>JOB NAME</u>	<u>AMOUNT</u>	<u>OWNER/CONTRACTOR</u>	<u>ARCHITECT</u>	<u>START</u>	<u>COMPLETED</u>
CIRRUS APARTMENTS	\$ 3,600,184.00	FRAMEWORK, LLC.	BSE CONSULTANTS, INC.	2023	2025
Town Center Ph.	\$ 3,601,710.00	THE VIERA COMPANY	BSE CONSULTANTS, INC.	2020	2023
Stadium Parkway	\$ 3,664,245.00	THE VIERA COMPANY	BSE CONSULTANTS, INC.	2019	2020
PINEDA BLVD. FORCE MAIN	\$ 4,430,971.00	THE VIERA COMPANY	BSE CONSULTANTS, INC.	2020	2021
ARIPEKA PHASE 1	\$ 4,691,709.00	THE VIERA COMPANY	BSE CONSULTANTS, INC.	2021	2023
SENDERO COVE PH 2	\$ 5,523,693.00	THE VIERA COMPANY	BSE CONSULTANTS, INC.	2020	2022
RIVERWALK	\$6,085,143.00	MAGELLIAN PROPERTIES	HONEYCUTT, INC.	2021	2022
COCOA GRAND	\$ 7,766,469.00	TRIMP CORP	MORGAN & ASSOCIATES, INC.	2021	2023
CROSSMOLINA PHASE 1	\$ 8,324,524.00	THE VIERA COMPANY	BSE CONSULTANTS, INC.	2023	2024

PROPOSAL

TOWN OF MELBOURNE BEACH - BASIN 1 IMPROVEMENTS

Full Name of Bidder: Brewer Paving & Development LLC.


Main Business Address: 3190 Grissom Parkway, Cocoa, Florida 32936

Place of Business: 3190 Grissom Parkway, Cocoa, Florida 32936

State Contractor's License: CUC1224133

TO: **Town of Melbourne Beach** (hereinafter called the **Owner**)

The undersigned, as Bidder, declares that the only person or parties interested in this Proposal as principals are those named herein, that this Proposal is made without collusion with any other person, firm or corporation; that he has carefully examined the location of the proposed work, the proposed forms of Agreement and Bonds, and the Contract Drawings and Specifications, including Addenda issued thereto and acknowledges receipt below:

Addendum Number	Date Issued	Contractor's Initials
<u>None</u>	<u>None</u>	
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>

He proposes, and agrees if this Proposal is accepted, that he will contract with the Town of Melbourne Beach in the form of the copy of the Agreement included in these Contract Documents, to provide all necessary machinery, tools, apparatus and other means of construction, including utility and transportation services necessary to do all the Work, and furnish all the materials and equipment specified or referred to in the Contract Documents in the manner and time herein prescribed, and according to the requirements of the Owner as therein set forth, furnish the Contractor's Bonds and Insurance specified in the General Conditions of the Contract, and to do all other things required of the Contractor by the Contract Documents, and that he will take full payment the sums set forth in the following bid schedule.

Upon receipt or written notice of the conditional acceptance of this bid, bidder will execute the formal Contract attached and deliver the insurance within 15 days as required by the Contract Documents.

If awarded a contract under this Proposal, the Undersigned proposes to start work at the site within 14 calendar days after the receipt from the Owner of a written Notice to Proceed. The Undersigned further agrees to fully complete all work covered per the following schedule. All dates shown represent consecutive calendar days from and including the date of receipt from the Owner of a written Notice to Proceed.

Contract Time Substantial Completion

90 days

Final Completion

120 days

Bid Security

Accompanying this Bid is a Certified or a Cashier's Check or a Bid Bond in the amount of \$ 0.00, made payable to the Owner which may be forfeited as liquidated damages if, in the event this proposal is accepted, the undersigned fails to execute the Agreement, provide insurance certificate(s) and furnish and pay for the required performance and payment bonds for the Owner within fifteen (15) days after acceptance of the Bid; otherwise said Certified or Cashier's Check or Bid Bond will be returned to the undersigned.

Award of Bid

Bidder acknowledges that Owner may not award the Contract immediately. Bidder acknowledges that all prices quoted within the proposal are valid for a period of ninety (90) days after bid opening. If the Contract is not awarded within ninety (90) days, Bidder may adjust the unit prices proposed; however, Owner retains the right to reject all bids and rebid the project.

Respectfully Submitted:

State of Florida

County of Brevard

_____, being first duly sworn on oath deposes and says that the Bidder on the above Proposal is organized as indicated below and that all statements herein made are made on behalf of such Bidder and that this deponent is authorized to make them.

_____, also deposes and says that he has examined and carefully prepared his Bid Proposal from the Contract Drawings and Specifications and has checked the same in detail before submitting this Bid; that the statements contained herein are true and correct.

(a) Corporation

The bidder is a corporation organized and existing under the laws of the State of _____, which operates under the legal name of _____, and the full names of its officers are as follows:

President	_____
Secretary	_____
Treasurer	_____
Manager	_____

and it (does) or (does not) have a corporate seal. The _____ is authorized to sign construction proposals and contracts for the company by action of its Board of Directors taken _____, a certified copy of which is hereto attached (Strike out this last sentence if not applicable).

(b) Co-Partnership

The Bidder is a co-partnership consisting of individual partners whose full names are as follows:

_____	_____
_____	_____
_____	_____
_____	_____

The co-partnership does business under the legal name of: _____.

(c) Individual

The bidder is an individual whose full name is, _____, and if operating under a trade name, said trade name is _____.

Dated _____, 20__.

(Seal - If Corporation)
(Sign Here)

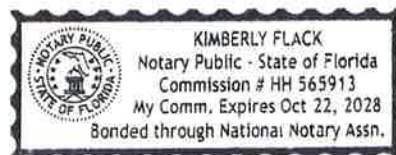
Legal Entity
By:  Manager
Telephone No. (321) 636-4645

Subscribed and sworn to before me this 9th day of September, 2025.

My Commission Expires:

10/22/2028


Notary Public



TRENCH SAFETY AFFIDAVIT - UNIT PRICE

BASIN 1 IMPROVEMENTS

Trench excavations on this Project are expected to be in excess of 5 feet deep. The Occupational Safety and Health Administration excavation safety standards, 29 CFR 1926.650 Subpart P trench safety standards will be in effect during the period of construction of the project.

Bidder acknowledges that included in the various items of the Bid and in the Total Bid Price are costs for complying with the Florida Trench Safety Act (90-96, Laws of FL) effective October 1, 1990, and hereby gives assurance that, if awarded the Contract, the Contractor or Subcontractor performing trench excavation work on the Project will comply with the applicable trench safety standards. The Bidder further identifies the costs as follows:

Trench Safety Item (Description)	Unit Quantity	Units of Measure (LF, SY)	Unit Cost	Extended Cost
BASED BID ITEMS				
A. Storm Pipe Removal	3,084	L.F.	\$ 1.00	\$ 3,084.00
B. Storm Pipe Install	3,260	L.F.	\$ 1.00	\$ 3,260.00
C.				
D.				
E.				
F.				
TOTAL				\$ 6,344.00

FAILURE TO COMPLETE THE ABOVE SHALL RESULT IN THE BID BEING DECLARED NON-RESPONSIVE.

Brewer Paving & Development LLC.

Company Name

September 10, 2025

Date

Signature

Manager

LIST OF SUBCONTRACTORS/SUPPLIERS

TOWN OF MELBOURNE BEACH – BASIN 1 IMPROVEMENTS

The Undersigned states that the following is a full and complete list of the proposed subcontractors and suppliers on this Project and the class of work to be performed by each, and that such list will not be added to nor altered without written consent of the Owner through the Engineer.

<u>Subcontractor and Address</u>	<u>Class of Work to be performed or Type of Material to be Supplied</u>
(1) <u>V A Paving</u> <u>P.O. Box 1046 Cocoa, FL 32926</u>	<u>Asphalt Paving</u>
(2) <u>County Materials</u> <u>25750 C.R. 561 Astatula, FL 34705</u>	<u>Reinforced Concrete Pipe</u>
(3) <u>Mack Concrete Industries, Inc.</u> <u>23902 C.R. 561 Astatula, FL 34705</u>	<u>Precast Concrete Storm Structures</u>
(4) <u>Community Concrete</u> <u>2230 Eldorado Ct. Saint Cloud, FL 34771</u>	<u>Concrete Driveways</u>
(5) _____ _____	_____
(6) _____ _____	_____

*Attach additional sheets as necessary.

September 10, 2025
DATE

Brewer Paving & Development LLC.
BIDDER


SIGNATURE **Manager**

BID FORM

PROJECT IDENTIFICATION: Town of Melbourne Beach – Basin 1 Improvements

CONTRACT IDENTIFICATION AND NUMBER: B.S.E. #11440.25

THIS BID IS SUBMITTED TO:

Town Manager
 Town of Melbourne Beach
 507 Ocean Avenue
 Melbourne Beach, FL 32951
 (321) 724-5860 Telephone
 Email: townmanager@melbournebeachfl.org

1. The undersigned **BIDDER** proposes and agrees, if the **BID** is accepted, to enter into an Agreement with **OWNER** in the form included in the Contract Documents to complete all Work as specified or indicated in the Contract Documents for the Contract Price and within the Contract Time indicated in this Bid and in accordance with the Contract Documents.
2. **BIDDER** accepts all of the terms and conditions of the Instructions to Bidders, including without limitation those dealing with the disposition of Bid Security. This Bid will remain open for ninety (90) calendar days after the day of Bid opening. **BIDDER** will sign the Agreement and submit the Contract Security and other documents required by the Contract Documents within fifteen calendar days after the date of **OWNER**'s Notice of Award.
3. In submitting this Bid, **BIDDER** represents, as more fully set forth in the Agreement, that:
 - (a) **BIDDER** has examined copies of all the Contract Documents and of the following addenda:

<u>Date</u>	<u>Number</u>
None	None
_____	_____
_____	_____

(receipt of all of which is hereby acknowledged) and also copies of the Invitation to Bid and the Instruction to Bidders;

- (b) **BIDDER** has examined the site and locality where the Work is to be performed, the legal requirements (federal, state and local laws, ordinances, rules and regulations), including disposal of cleared material and the conditions affecting cost, progress or performance for the Work and has made such independent investigations as **BIDDER** deems necessary;
 - (c) This Bid is genuine and not made in the interest of or on behalf of any undisclosed person, firm or corporation and is not submitted in conformity with any agreement or rules of any group, association, organization or corporation; **BIDDER** has not directly or indirectly induced or solicited any other Bidder to submit a false or sham Bid; **BIDDER** has not sought by collusion to obtain for himself any advantage over any other Bidder or over **OWNER**; and
4. **BIDDER** will complete the Work for the following Lump Sum price(s):

CONTRACT PRICE: ^{One Million Nine Hundred Fifty Four}
^{Thousand One Hundred Seven} **DOLLARS,**
 (\$ 1,954,107.00). (Inclusive of a performance and payment bond which may be subsequently waived by the Town.

The cost of the Contract is based on the estimated quantities shown on the Bid Schedule which is \$ 1,954,107.00 .

- 5. **BIDDER** acknowledges that a separate Notice to Proceed will be issued and the possible impacts of such have been considered within the Bid.
- 6. **BIDDER** agrees that the individual stages of the Work will be substantially completed per the following schedule, such days reflecting the time after the date when the Contract Time commences to run.

Substantial Completion
 90 Days

Full Completion
 120 Days

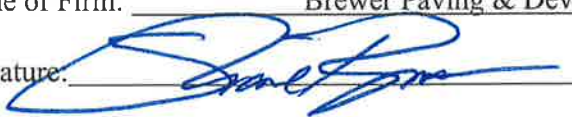
BIDDER accepts the provisions of the Agreement as to liquidated damages in the event of failure to complete the Work on time.

- 7. The following document is attached to and made a condition of this Bid:
 - (a) A tabulation of Subcontractors and other persons and organizations required to be identified in this Bid.
 - (b) Exhibit A — Estimated Quantity Forms

8. The attached estimated quantities are included only for the assistance of the Bidder and for establishing unit prices for individual items.
9. Communications concerning this Bid shall be addressed to:
- Mr. Scott M. Glaubitz, P.E., P.L.S.
B.S.E. Consultants, Inc.
312 South Harbor City Blvd., Suite 4
Melbourne, FL 32901
(321) 725-3674 Telephone
Email: BSE-Info@lja.com
10. The terms used in this Bid which are defined in the General Conditions of the Construction Contract included as a part of the Contract Documents have the meanings assigned to them in the General Conditions.

SUBMITTED ON September 10 . 2025 .

Name of Firm: Brewer Paving & Development LLC

Signature: 

Title: Manager

(Seal)

Attest: 

Business Address: 3190 Grissom Parkway

Cocoa, Florida 32936

Phone No.: (321) 636-4645

IMPORTANT:

Note: If the Contractor is a corporation, the legal name of the corporation shall be set forth above together with a signature of the officer or officers authorized to sign Contracts on behalf of the Corporation; if Contractor is a co-partnership, the true name of the firm shall be set forth above together with the signatures of all the partners; and if Contractor is an individual, his signature shall be placed above. If signature is by an agent other than an officer of a corporation or a member of a partnership, a power-of-attorney must be attached hereto. Signature of Contractor shall also be acknowledged before a Notary Public or other person authorized by law to execute such acknowledgment.

**TOWN OF MELBOURNE BEACH
BASIN 1 IMPROVEMENTS
BSE #11440.25
BID FORM- REVISED**

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Note: Bids shall include sales tax and other applicable taxes and fees

ITEM	UNIT	ENGINEER'S QUANTITIES	CONTRACTOR'S QUANTITIES	UNIT PRICE	TOTAL PRICE
PHASE 1					
PART 1 - EARTHWORK, PAVING AND DRAINAGE					
MOBILIZATION	LS	1	1	\$ 27,000.00	\$ 27,000.00
MAINTENANCE OF TRAFFIC (MOT)	LS	1	1	\$ 107,600.00	\$ 107,600.00
TV CAMERA INSPECTION 36" drainage pipe between existing structure DS-104 and DS-144 and 24" drainage pipe along South Palm	LS	1	1	\$ 26,575.00	\$ 26,575.00
EXISTING PIPE REMOVE and DISPOSE - 8" POLYETHYLENE	LF	220	220	\$ 12.00	\$ 2,640.00
EXISTING PIPE REMOVE and DISPOSE - 12" POLYETHYLENE	LF	10	10	\$ 32.25	\$ 322.50
EXISTING PIPE REMOVE and DISPOSE - 15" POLYETHYLENE	LF	10	10	\$ 32.25	\$ 322.50
EXISTING PIPE REMOVE and DISPOSE - 18" POLYETHYLENE	LF	353	353	\$ 14.00	\$ 4,942.00
EXISTING PIPE REMOVE and DISPOSE - 8" CMP	LF	840	840	\$ 12.00	\$ 10,080.00
EXISTING PIPE REMOVE and DISPOSE - 12" CMP	LF	720	991	\$ 12.00	\$ 11,892.00
EXISTING PIPE REMOVE and DISPOSE - 24" PVC	LF	600	600	\$ 21.75	\$ 13,050.00
EXISTING PIPE REMOVE and DISPOSE - 12" RCP	LF	60	60	\$ 16.50	\$ 990.00
EXISTING DRAINAGE STRUCTURE REMOVE and DISPOSE	EA	22	22	\$ 2,300.00	\$ 50,600.00
PLUG (and ABANDON) 8" CMP (SHANNON AVE)	EA	1	1	\$ 3,375.00	\$ 3,375.00
12" RCP	LF	64	0		\$ -
15" RCP	LF	255	319	\$ 226.00	\$ 72,094.00
18" RCP	LF	2,466	2466	\$ 198.50	\$ 489,501.00
24" RCP	LF	475	475	\$ 256.50	\$ 121,837.50
TYPE D INLET	EA	22	22	\$ 10,600.00	\$ 233,200.00
CONNECT TO EXISTING DRAINAGE STRUCTURE	EA	7	7	\$ 6,350.00	\$ 44,450.00
FILL EXISTING SWALE (HARLAND AVE)	CY	46	46	\$ 75.00	\$ 3,450.00
CONCRETE FLUME (SOUTH PALM AVE AND MAGNOLIA AVE)	EA	1	1	\$ 9,350.50	\$ 9,350.50
MILL AND OVERLAY PAVEMENT	SY	920	920	\$ 66.25	\$ 60,950.00
DRIVEWAY RECONSTRUCTION - ASPHALT	EA	1	1	\$ 12,975.00	\$ 12,975.00
DRIVEWAY RECONSTRUCTION - CONCRETE	EA	24	24	\$ 10,600.00	\$ 254,400.00
DRIVEWAY RECONSTRUCTION - PAVER	EA	4	4	\$ 25,675.00	\$ 102,700.00
IRRIGATION SYSTEM RESTORATION	LS	1	1	\$ 73,475.00	\$ 73,475.00
MAIL BOX RESTORATION	LS	1	1	\$ 24,100.00	\$ 24,100.00
STORM WATER POLLUTION PREVENTION PLAN (SWPPP)	LS	1	1	\$ 25,225.00	\$ 25,225.00
SILT FENCE (if needed)	LS	1	1	\$ 34,875.00	\$ 34,875.00
UTILITY ADJUSTMENT - WATER SERVICES	LS	1	1	\$ 51,225.00	\$ 51,225.00
FLORITAM SOD	SY	-	9320	\$ 8.00	\$ 74,560.00
					\$ -
SUBTOTAL PHASE 1 PART 1				\$	1,947,757.00
PART 2 - MISCELLANEOUS					
PERFORMANCE BOND & PAYMENT	LS	1	1	\$ 6,350.00	\$ 6,350.00
PHASE 1 - TOTAL PART 1 + PART 2 WITHOUT ALTERNATIVES					
				\$	1,954,107.00

**TOWN OF MELBOURNE BEACH
BASIN 1 IMPROVEMENTS
BSE #11440.25
BID FORM- REVISED**

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Note: Bids shall include sales tax and other applicable taxes and fees

ITEM	UNIT	ENGINEER'S QUANTITIES	CONTRACTOR'S QUANTITIES	UNIT PRICE	TOTAL PRICE
PART 3 - ALTERNATIVES					
Alternate #1 - FULL 36" RCP PIPE REPLACEMENT from EX DS-104 to EX DS-144	LF	340	NO BID	NO BID	NO BID
Alternate #2 - 36" RCP PIPE REPLACEMENT ACROSS RIVERSIDE DRIVE (OPEN CUT, MILL & REPAVE 50 FT EITHER SIDE of CUT)	LF	44	44	2825	\$ 124,300.00
Alternate #3 - 36" RCP PIPE REPLACEMENT in GREEN SPACE	LF	36	NO BID	NO BID	NO BID
Alternate #4 - SLEEVE 36" RCP PIPE from EX DS-104 to EX DS-144	LF	340	NO BID	NO BID	NO BID
PHASE 1 TOTAL with ALTERNATIVE #1					NO BID
PHASE 1 TOTAL with ALTERNATIVE #2					\$ 2,078,407.00
PHASE 1 TOTAL with ALTERNATIVE #3					NO BID
PHASE 1 TOTAL with ALTERNATIVE #4					NO BID
PHASE 2					
PART 1 - EARTHWORK, PAVING AND DRAINAGE					
MOBILIZATION	LS	1	1	\$ 18,375.00	\$ 18,375.00
MAINTENANCE OF TRAFFIC (MOT)	LS	1	1	\$ 62,925.00	\$ 62,925.00
CONSTRUCT "S1" 8 FT WIDE SWALE	LF	14,500	18320	\$ 31.25	\$ 572,500.00
CONSTRUCT "S2" 4 FT WIDE SWALE	LF	550	580	\$ 34.75	\$ 20,155.00
CONSTRUCT "S3" 1.5 FT WIDE SWALE	LF	850	915	\$ 32.75	\$ 29,966.25
IRRIGATION SYSTEM RESTORATION	LS	1	1	\$ 176,500.00	\$ 176,500.00
MAIL BOX RESTORATION	LS	1	1	\$ 65,145.00	\$ 65,145.00
STORM WATER POLLUTION PREVENTION PLAN (SWPPP)	LS	1	1	\$ 25,225.00	\$ 25,225.00
SILT FENCE (if needed)	LS	1	1	\$ 82,975.00	\$ 82,975.00
UTILITY ADJUSTMENT - WATER SERVICES	LS	1	1	\$ 156,400.00	\$ 156,400.00
					\$ -
					\$ -
SUBTOTAL PHASE 2 PART 1					\$ 1,210,166.25
PART 2 - MISCELLANEOUS					
PERFORMANCE BOND & PAYMENT	LS	1	1	3950	\$ 3,950.00
PHASE 2 TOTAL PART 1 + PART 2					\$ 1,214,116.25

BREWER PAVING NOTES :

1) ALL RESTORATION TO BE FLORITAME SOD. ALL TREE AND NURSERY WORK BY OTHERS.

NOTES:

- Bids shall include sales tax and other applicable taxes and fees.
- The Engineer's Estimated Quantities are provided for your convenience. Contractor should bid their own quantities. If there is a large discrepancy, please contact Engineer.

**TOWN OF MELBOURNE BEACH
BASIN 1 IMPROVEMENTS
BSE #11440.25
BID FORM- REVISED**

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Note: Bids shall include sales tax and other applicable taxes and fees

ITEM	UNIT	ENGINEER'S QUANTITIES	CONTRACTOR'S QUANTITIES	UNIT PRICE	TOTAL PRICE
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3 The award timeframe for Phase 2 related work is unknown at this time.



JOBEAR CONTRACTING, INC.

Melbourne Beach

Basin 1 Improvements

Contract # 11440.25

Jobear Contracting Inc. Submittal

CONTACT PERSON:

JOHN G. HUY

TREY@JOBEARINC.COM

(321) 723-3571

1950 Danr Dr. NE, Palm Bay, Florida, 32905

September 10, 2025

INVITATION TO BID
TOWN OF MELBOURNE BEACH - BREVARD COUNTY FLORIDA
BASIN 1 IMPROVEMENTS

NOTICE IS HEREBY GIVEN that sealed bids will be accepted by the Owner, Town of Melbourne Beach for the furnishing of all labor and materials for the completion of Basin 1 Improvements. Complete bid packages will be available at 9:00 am, local time, on **Wednesday, August 20, 2025**, by emailing request "**Basin 1 Improvements Bid Package**" to:

Town of Melbourne Beach
 Town Manager
 507 Ocean Avenue
 Melbourne Beach, FL 32951
 321-724-5860 Telephone
 Email: townmanager@melbournebeachfl.org

Sealed bids will be received by the Town of Melbourne Beach until **3:30 p.m. on Wednesday, September 10, 2025**. One (1) bound ORIGINAL hard copy, one (1) bound copy, one (1) electronic copy on thumb drive all in sealed envelope with project name "Town of Melbourne Beach – Basin 1 Improvements" along with name and email address of bidder. Please refer to "Instructions to Bidders" for more details. *No faxed bids will be accepted.* Bids will be opened and publicly read aloud at **4:00 p.m., Wednesday, September 10, 2025**. All bids received after **3:30 p.m. on Wednesday, September 10, 2025**, will be returned unopened.

Scope of work shall include all labor and materials required to complete the project in accordance with the project plans and specifications.

Bid security in the amount of five percent (5%) of the Total Bid must accompany the Bid in accordance with the Instructions to Bidders.

The successful bidder may be required to furnish a performance and payment bond in an amount at least equal to the contract price as security for the faithful performance of the agreement, and for the payment of all persons performing labor and/or furnishing material in connection with the agreement and for the payment of all persons performing labor and/or furnishing material in connection with the agreement. **The Town reserves the right to delete this agreement.**

The successful bidder will be required to fully complete all work within the stipulated time frame from and including the date to start work established in a written Notice to Proceed from the Owner.

The Town reserves the right to reject all Proposals or any Proposal, and to waive technical errors and informalities.

Earliest publish date _____

Bill to: Town of Melbourne Beach
 507 Ocean Avenue
 Melbourne Beach, FL 32951

NOTICE TO BIDDERS

TOWN OF MELBOURNE - BEACH BASIN 1 IMPROVEMENTS

NOTICE IS HEREBY GIVEN that sealed bids will be accepted by the Owner, Town of Melbourne Beach for the furnishing of all labor and materials for the completion of Basin 1 Improvements. Complete bid packages will be available at 9:00 am, local time, on **Wednesday, August 20, 2025**, by emailing request “**Basin 1 Improvements Bid Package**” to:

Town of Melbourne Beach
Town Manager
507 Ocean Avenue
Melbourne Beach, FL 32951
321-724-5860 Telephone
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The successful bidder will be required to fully complete all work within the stipulated time frame from and including the date to start work established in a written Notice to Proceed from the Owner.

The Owner reserves the right to reject all Proposals or any Proposal, and to waive technical errors and informalities.

INSTRUCTIONS TO BIDDERS

1. EXAMINATION OF SITE

Each Bidder by making his bid represents that he has visited the site and familiarized himself with all the conditions under which the Work is to be performed. It shall be the Bidder's obligation to verify for himself all information concerning site and subsurface conditions, locations of buried utilities, and any other conditions affecting the Work. The Owner will make available to the Bidder at the office of the Engineer information that he may have concerning site and subsurface conditions. However, any investigations of subsurface conditions were made solely for design purposes, and neither the Owner nor Engineer assumes any responsibility as to the sufficiency or accuracy of the investigation. Should the Bidder be awarded the Contract, he agrees that no claim will be made against the Owner or Engineer if actual conditions do not conform to those indicated. The prices for the bid shall include all costs of doing the work.

2. EXAMINATION OF CONTRACT DOCUMENTS

Each Bidder by making his bid represents that he has read and understands the Contract Documents. The Bidder shall include in his bid prices any and all costs that may be necessary to complete the work in accordance with the requirements of the Contract Documents.

3. INTERPRETATION OF CONTRACT DOCUMENTS

Questions regarding documents, discrepancies, omissions, or intent of the Specifications or Drawings shall be submitted in writing to the Owner through the Engineer at least seven days prior to opening of bids to provide time for issuing an Addendum. Any interpretation of the Contract Documents will be made only by Addenda in the space provided in the Proposal Form. The Owner will not be responsible for any oral explanations or interpretations of the Contract Documents.

4. PROJECT

It is the intent of the Owner that a Notice to Proceed for construction will be issued as all required regulatory approval is received.

5. APPROXIMATE QUANTITIES

Approximate Quantities are shown on the Bid Form only to assist prospective bidders and to establish unit prices for all individual items. Payment for all work shall be made based upon the contractor's lump sum price.

6. PREPARATION OF PROPOSAL

Only bids which are made out on the Proposal Form included in this document will be considered. A bid will be rejected if it does not contain a price for **each** item named in the Proposal. Bidders are warned against making any erasures or alterations of any kind, and bids which contain omissions, erasures, conditions, alterations, or additions not called for may be rejected.

7. SIGNING OF PROPOSAL

If the Bidder is a corporation, the legal name of the corporation shall be set forth together with the signature of the president who is authorized to sign contracts on behalf of the corporation. If Bidder is a co-partnership, the true name of the firm shall be set forth together with the signatures of all partners. If Bidder is an individual, his signature shall be inscribed. If signature is by an agent, other than an officer of a corporation or a member of a partnership, a notarized power of attorney must be on file with the Owner prior to opening of bids or submitted with the bid.

8. DESIGNATION OF SUBCONTRACTORS AND SUPPLIERS

Each bidder shall list on the form included in these Documents the names and addresses of all subcontractors and suppliers who will perform work, render service, or provide material to the bidder on or about the construction site in an amount in excess of five percent of the Bidder's total base bid. Each Bidder shall show on the form the portion of the Work to be done by each subcontractor.

9. SUBMISSION OF PROPOSAL

Each Proposal, properly signed, shall be enclosed in a sealed envelope addressed and entitled as specified in the Notice to Bidders and delivered to the office designated in the Notice to Bidders. All Addenda issued shall be included with the Documents at the time of bid submittal.

10. WITHDRAWAL OR REVISION OF PROPOSAL

Any Proposal may be withdrawn at any time prior to the hour fixed in the Invitation to Bid for the opening of bids, provided that a request in writing, executed by the Bidder, or his duly authorized representative, for the withdrawal of such bid is filed with the Owner prior to that time. The withdrawal of a bid will not prejudice the right of a Bidder to file a new bid. No Proposal may be withdrawn, modified, or corrected after the time set for opening such Proposals.

11. QUALIFICATION OF BIDDERS

It is the intention of the Owner to award the Contract only to a Bidder who has furnished satisfactory evidence that he has the requisite experience and ability and that he has sufficient capital, facilities, and plant to prosecute the Work successfully and promptly, and to complete the Work within the time specified in the Contract Documents.

12. DISQUALIFICATION OF BIDDER

Only one Proposal for the Work described in this Document from an individual, firm or partnership, a corporation or an association under the same or different names, will be considered. Reasonable grounds for believing that any Bidder is interested in more than one bid for the work contemplated will cause the rejection of all bids in which such Bidder is interested. If there are reasonable grounds for believing that collusion exists among the Bidders, the bids of the participants in such collusion will not be considered.

13. PENALTY FOR COLLUSION

If at any time it shall be found that the person, firm, or corporation to whom the Contract has been awarded has, in presenting any bid or bids, colluded with any other party or parties, then the Contract so awarded shall be null and void, and the Contractor and his sureties shall be liable to the Owner for all loss or damage which the Owner may suffer thereby, and the Owner may advertise for new bids for said work.

14. LICENSE

Each Bidder shall possess state and local licenses as are required by law and shall furnish satisfactory proof to the Owner upon request that the licenses are in effect during the entire period of the Contract. Bidder must also have an active underground Utility Contractor's License and provide verification with bid submittal package. A state of Florida's General Contractor's license will also be accepted.

15. CONSIDERATION OF BIDS

After the Proposals are opened and read, the Contract bid prices will be compared. The award will be made by the Owner on the basis of the Proposal from the lowest responsive*, responsible** qualified Bidder. Until the final award of the Contract, the Owner reserves the right to reject any and all Proposals and to waive all technicalities.

16. EFFECTIVE DATE OF AWARD

If a Contract is awarded by the Owner, such award shall be effective when formal notice of such award, signed by the authorized representative of the Owner, has been delivered to the intended awardee, or mailed him at the main business address shown on his bid, by some officer or agent of the Owner duly authorized to give such notice.

17. EXECUTION OF AGREEMENT

Copies of the Agreement in the number stated in the Agreement, shall be executed by the successful Bidder, and returned together with the required bonds and insurance, within 15 calendar days from the date of the award of the Contract. Effective date of bonds shall be from the date of the agreement through the final completion date plus 30 days to allow for construction, material or weather delay.

18. FAILURE TO EXECUTE AGREEMENT AND FILE BONDS AND INSURANCE

Failure of a successful Bidder to execute the Agreement and the required certificate(s) of insurance and the required bonds within the required time shall be just cause for the annulment of the award. On failure of a successful Bidder to execute the Agreement and file the required insurance and bonds within the required time, he shall forfeit his bid security as liquidated damages. Upon annulment of an award, the Owner may then award a contract to the next lowest responsive, responsible bidder.

19. PAYMENT FOR EXCESS COSTS

The successful Contractor will be required to pay for the excess cost of field engineering, inspection, and liquidated damages as defined in the Supplemental Conditions.

20. COMMENCEMENT AND COMPLETION OF WORK

The successful bidder shall commence work within 14 calendar days after the issuance by the Owner of a written Notice to Proceed and shall substantially complete all work within 90 calendar days and fully complete all work within 120 calendar days from the date of the Notice to Proceed in accordance with the terms and conditions of the Contract Documents.

21. OWNER'S RIGHTS

Owner reserves the right to reject any and all Bids, to waive any and all formalities and to negotiate contract terms with the non-responsive or conditional Bids; and/or to accept the Bid that, in his judgment, will be in the best interest of the Owner. The Owner reserves the right to add or delete from the quantities listed in the Bid Form without in any way invalidating any of the unit or lump sum prices bid.

***RESPONSIVE BIDDER:** Any person, firm or corporation submitting a bid for the work contemplated whose Bid Form is complete and regular, free of excisions or special conditions and has no alternative bids for any item unless requested in the technical specifications.

****RESPONSIBLE BIDDER:** Any person, firm or corporation submitting a bid for the work contemplated who maintains a permanent place of business, has adequate plant equipment to do the work properly and within the time limit that is established, and has adequate financial status to meet his obligations contingent to the work.

AGREEMENT FOR PROFESSIONAL SERVICES**TOWN OF MELBOURNE BEACH – BASIN 1 IMPROVEMENTS****(BSE #11440.25)**

Pursuant to Section 287.135 (3) (b), Florida Statutes, this contract allows for the termination at the option of the Town of Melbourne Beach, if Jobear Contracting Inc is found to have been placed on the Scrutinized Companies List that Boycott Israel or is engaged in a boycott of Israel.

Jobear Contracting Inc complies with the provisions of Section 287.135, and certifies that it is not on the Scrutinized Companies with Activities in Sudan List or the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List and it does not have business operations in Cuba or Syria.

Dated on: 09/09/2025

Certified By:

Name: John G. Huy

Title: President

Company: Jobear Contracting Inc.

On this 10th day of September, 2025, I attest that the preceding document is a true, exact, complete, and unaltered photocopy made by me of the AGREEMENT FOR PROFESSIONAL SERVICES presented to me by the document's custodian, and, to the best of my knowledge, that the photocopied document is neither a public record nor a publicly recordable document, certified copies of which are not available from an official source other than a notary public.

Julie H. Smith
NOTARY PUBLIC AT LARGE



Seal/Stamp/Commission #



CONTRACTOR'S QUALIFICATION STATEMENT

The undersigned certified under oath that the information provided herein is true and sufficiently complete so as not to be misleading:

Submitted to: Town of Melbourne Beach

Address: 507 Ocean Ave., Melbourne Beach, FL 32951

Submitted by: Jobear Contracting Inc.

Name: John G. Huy

Address: 1950 Danr Dr. NE., Palm Bay, FL 32905

Principal office: John G. Huy, President, Jobear Contracting Inc. 1950 Danr Dr. NE, Palm Bay, FL 32905

Check one: ☒ Corporation ☐ Partnership ☐ Individual ☐ Joint Venture ☐ Other

Name of Project (if applicable): Melbourne Beach Basin 1 Improvements

Type of Work (file separate form for each Classification of Work):

☐ General Construction

☐ Plumbing

☐ Electrical

☒ Other Civil and Underground Construction

1. ORGANIZATION

1.1 How many years has your organization been in business as a Contractor? 55 Years

1.2 How many years has your organization been in business under its present business name? 14 Years

1.2.1 Under what other or former names has your organization operated?
Jobear/Warden Construction

1.3 If your organization is a corporation, answer the following:

1.3.1 Date of incorporation July, 2011

1.3.2 State of incorporation Florida

1.3.3 President's name John G. Huy

1.3.4 Vice President's name NA

1.3.5 Secretary's name NA

1.3.6 Treasurer's name NA

~~1.4 If your organization is a partnership, answer the following:~~

~~1.4.1 Date of organization~~

~~1.4.2 Type of partnership (if applicable)~~

~~1.4.3 Name(s) of general partner(s)~~

~~1.5 If your organization is individually owned, answer the following:~~

~~1.5.1 Date of organization~~

~~1.5.2 Name of owner~~

- 1.6 If the form of your organization is other than those listed above, describe it and name the principals.

2. LICENSING

- 2.1 List jurisdictions and trade categories in which your organization is legally qualified to do business, and indicate registration or license numbers, if applicable.

State of Florida

CGC 152 9144

CUC 122 4678

- 2.2 List jurisdiction in which your organization's partnership or trade name is filed.

State of Florida

3. EXPERIENCE

- 3.1 List the categories of work that your organization normally performs with its own forces.

Civil and Underground construction and site work

- 3.2 Claims and Suits – If the answer to any of the questions below is yes, please attach details.

- 3.2.1 Has your organization ever failed to complete any work awarded to it?

NO

- 3.2.2 Are there any judgments, claims, arbitration proceedings or suits pending or outstanding against your organization or its officers?

NO

- 3.2.3 Has your organization filed any law suits or requested arbitration with regard to construction contracts within the last five years?

NO

- 3.3 Within the last five years, has any officer or principal of your organization ever been an officer or principal of another organization when it failed to complete a construction contract? (If the answer is yes, please attach details.)

NO

- 3.4 List major construction projects your organization has in progress, giving the name of project, owner, architect, contract amount, percent complete and scheduled completion date. (No more than 5.)

Dairy Rd. Discovery Center, BMS Construction, \$393,312, 95%

Haverhill Drain Project, City of Palm Bay, \$106,983, 5%

Westside ES Classroom Addition, Canaveral Construction, \$348,969, 5%

- 3.4.1 State total worth or work in progress and under contract.

\$475,616.60

- 3.5 On a separate sheet, list the major projects your organization has completed in the past five years, giving the name of project, owner, architect, contract amount, date of completion and percentage of the cost of the work performed with your own forces.

- 3.5.1 State average annual amount of construction work performed during the past five (5) years:

Approximately \$3.5M Annually

- 3.6 List the construction experience and present commitments of the key individuals of your organization.

See attached resume's

4. REFERENCES

4.1 Trade References

Ferguson Waterworks

Heard Construction

Mack Concrete

Rinker Pipe

City of Melbourne

City of Satellite Beach

4.2 Bank References

Cypress Trust

4.3 Surety

4.3.1 Name of bonding company United States Fire Insurance Company

305 Madison Avenue

Morristown, New Jersey 07960

4.3.2 Name and address of agent Florida Surety

620 Wymore Rd., Suite 200

Maitland, FL 32751

5. FINANCING

5.1 Financial Statement

- 5.1.1 Attach a financial statement, preferably audited, including your organization's latest balance sheet and income statement showing the following items:

Current assets (e.g., cash, joint venture accounts, accounts receivable, notes receivable, accrued income, deposits, materials inventory and prepaid expenses).

Net Fixed Assets; See Attached

Other Assets; See Attached

Current Liabilities (e.g., accounts payable, notes payable, accrued expenses, provision for income taxes, advances, accrued salaries and accrued payroll taxes);

Other liabilities (e.g., capital, capital stock, authorized and outstanding shares, par values, earned surplus and retained earnings)

5.1.2 Name and address of firm prepared attached financial statement, and date thereof Leonardo & Company

5.1.3 Is the attached financial statement for the identical organization named on page one? Yes

5.1.4 If not, explain the relationship and financial responsibility of the organization whose financial statement is provided (e.g., parent-subsidiary). NA

5.2 Will the organization whose financial statement is attached act as guarantor of the contract for construction? Yes

6. SIGNATURE

6.1 Dated _____ this ____ day of September, 2025.

Name of Organization: Jobear Contracting Inc

By: John G. Huy

Title: President

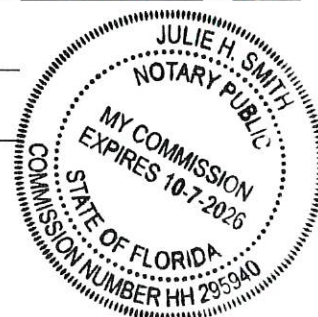
6.2 John G. Huy being
Printed Name

duly sworn deposes and says that the information herein in true and sufficiently complete so as not to be misleading.

Subscribed and sworn before me this 10th day of September 2025.

Notary Public: Julie H. Smith

My Commission Expires: 10-7-2026



PROPOSAL

TOWN OF MELBOURNE BEACH - BASIN 1 IMPROVEMENTS

Full Name of Bidder:	Jobear Contracting Inc.
Main Business Address:	1950 Danr Dr. NE, Palm Bay, FL 32905
Place of Business:	1950 Danr Dr. NE, Palm Bay, FL 32905
State Contractor's License:	CGC 1529144, CUC 1224678

TO: **Town of Melbourne Beach** (hereinafter called the **Owner**)

The undersigned, as Bidder, declares that the only person or parties interested in this Proposal as principals are those named herein, that this Proposal is made without collusion with any other person, firm or corporation; that he has carefully examined the location of the proposed work, the proposed forms of Agreement and Bonds, and the Contract Drawings and Specifications, including Addenda issued thereto and acknowledges receipt below:

Addendum Number	Date Issued	Contractor's Initials
Addendum 1	9/10/2025 No date on Addendum	JGH

He proposes, and agrees if this Proposal is accepted, that he will contract with the Town of Melbourne Beach in the form of the copy of the Agreement included in these Contract Documents, to provide all necessary machinery, tools, apparatus and other means of construction, including utility and transportation services necessary to do all the Work, and furnish all the materials and equipment specified or referred to in the Contract Documents in the manner and time herein prescribed, and according to the requirements of the Owner as therein set forth, furnish the Contractor's Bonds and Insurance specified in the General Conditions of the Contract, and to do all other things required of the Contractor by the Contract Documents, and that he will take full payment the sums set forth in the following bid schedule.

Upon receipt or written notice of the conditional acceptance of this bid, bidder will execute the formal Contract attached and deliver the insurance within 15 days as required by the Contract Documents.

If awarded a contract under this Proposal, the Undersigned proposes to start work at the site within 14 calendar days after the receipt from the Owner of a written Notice to Proceed. The Undersigned further agrees to fully complete all work covered per the following schedule. All dates shown represent consecutive calendar days from and including the date of receipt from the Owner of a written Notice to Proceed.

Contract Time Substantial Completion
90 days

Final Completion
120 days

Bid Security

Accompanying this Bid is a Certified or a Cashier's Check or a Bid Bond in the amount of \$ 5%, made payable to the Owner which may be forfeited as liquidated damages if, in the event this proposal is accepted, the undersigned fails to execute the Agreement, provide insurance certificate(s) and furnish and pay for the required performance and payment bonds for the Owner within fifteen (15) days after acceptance of the Bid; otherwise said Certified or Cashier's Check or Bid Bond will be returned to the undersigned.

Award of Bid

Bidder acknowledges that Owner may not award the Contract immediately. Bidder acknowledges that all prices quoted within the proposal are valid for a period of ninety (90) days after bid opening. If the Contract is not awarded within ninety (90) days, Bidder may adjust the unit prices proposed; however, Owner retains the right to reject all bids and rebid the project.

Respectfully Submitted:

State of Florida

County of Brevard

John G. Huy, being first duly sworn on oath deposes and says that the Bidder on the above Proposal is organized as indicated below and that all statements herein made are made on behalf of such Bidder and that this deponent is authorized to make them.

John G. Huy, also deposes and says that he has examined and carefully prepared his Bid Proposal from the Contract Drawings and Specifications and has checked the same in detail before submitting this Bid; that the statements contained herein are true and correct.

(a) Corporation

The bidder is a corporation organized and existing under the laws of the State of Florida, which operates under the legal name of Jobear Contracting Inc., and the full names of its officers are as follows:

President	<u>John G. Huy</u>
Secretary	<u>NA</u>
Treasurer	<u>NA</u>
Manager	<u>NA</u>

and it (does) ~~or (does not)~~ have a corporate seal. The President is authorized to sign construction proposals and contracts for the company by action of its Board of Directors taken July, 2011, a certified copy of which is hereto attached (Strike out this last sentence if not applicable).

(b) Co-Partnership

The Bidder is a co-partnership consisting of individual partners whose full names are as follows:

The co-partnership does business under the legal name of: _____.

(c) Individual

The bidder is an individual whose full name is, _____, and if operating under a trade name, said trade name is _____.

Dated _____, 20____.

Jobear Contracting Inc.

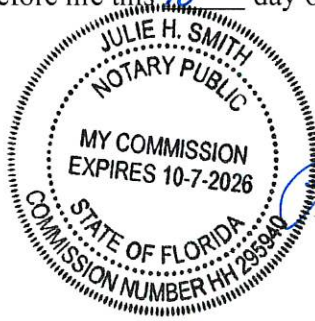
Legal Entity

By: _____

Telephone No. 321-723-3571

(Seal - If Corporation)
 (Sign Here)

Subscribed and sworn to before me this 10th day of September, 2025.



My Commission Expires:

10-7-2026

Julie H. Smith
 Notary Public

TRENCH SAFETY AFFIDAVIT - UNIT PRICE

BASIN 1 IMPROVEMENTS

Trench excavations on this Project are expected to be in excess of 5 feet deep. The Occupational Safety and Health Administration excavation safety standards, 29 CFR 1926.650 Subpart P trench safety standards will be in effect during the period of construction of the project.

Bidder acknowledges that included in the various items of the Bid and in the Total Bid Price are costs for complying with the Florida Trench Safety Act (90-96, Laws of FL) effective October 1, 1990, and hereby gives assurance that, if awarded the Contract, the Contractor or Subcontractor performing trench excavation work on the Project will comply with the applicable trench safety standards. The Bidder further identifies the costs as follows:

Trench Safety Item (Description)	Unit Quantity	Units of Measure (LF, SY)	Unit Cost	Extended Cost
BASED BID ITEMS				
A. Removal & Disposal	2813	LF	\$7.00	\$19,691.00
B. RCP Installation	3260	LF	\$7.00	\$22,820.00
C.				
D.				
E.				
F.				
TOTAL				\$42,511.00

FAILURE TO COMPLETE THE ABOVE SHALL RESULT IN THE BID BEING DECLARED NON-RESPONSIVE.

Jobear Contracting Inc.

Company Name

09/09/2025

Date

Signature

LIST OF SUBCONTRACTORS/SUPPLIERS
TOWN OF MELBOURNE BEACH – BASIN 1 IMPROVEMENTS

The Undersigned states that the following is a full and complete list of the proposed subcontractors and suppliers on this Project and the class of work to be performed by each, and that such list will not be added to nor altered without written consent of the Owner through the Engineer.

Subcontractor and Address

**Class of Work to be performed or
Type of Material to be Supplied**

(1) Don Bo Concrete
Kirby Cr., Palm Bay, FL 32905

Driveway and Misc. Concrete work

(2) SES Serivces of Florida
815 10th Court SW
Vero Beach, FL 32962

TV Camera Inspections, Pipe Cleaning

Pipe lining

(3) Rinker Materials
19500 State Highway 249, Suite 540
Houston, TX 77070

RCP & Control Structures

(4) Mack Concrete
P.O. Box 157,
ASTATULA, FLORIDA 34705

Control Structures

(5) _____

(6) _____

*Attach additional sheets as necessary.

09/09/2025
DATE

Jobear Contracting Inc
BIDDER

SIGNATURE

BID FORM

PROJECT IDENTIFICATION: Town of Melbourne Beach – Basin 1 Improvements

CONTRACT IDENTIFICATION AND NUMBER: B.S.E. #11440.25

THIS BID IS SUBMITTED TO:

Town Manager
 Town of Melbourne Beach
 507 Ocean Avenue
 Melbourne Beach, FL 32951
 (321) 724-5860 Telephone
 Email: townmanager@melbournebeachfl.org

1. The undersigned **BIDDER** proposes and agrees, if the **BID** is accepted, to enter into an Agreement with **OWNER** in the form included in the Contract Documents to complete all Work as specified or indicated in the Contract Documents for the Contract Price and within the Contract Time indicated in this Bid and in accordance with the Contract Documents.
2. **BIDDER** accepts all of the terms and conditions of the Instructions to Bidders, including without limitation those dealing with the disposition of Bid Security. This Bid will remain open for ninety (90) calendar days after the day of Bid opening. **BIDDER** will sign the Agreement and submit the Contract Security and other documents required by the Contract Documents within fifteen calendar days after the date of **OWNER**'s Notice of Award.
3. In submitting this Bid, **BIDDER** represents, as more fully set forth in the Agreement, that:
 - (a) **BIDDER** has examined copies of all the Contract Documents and of the following addenda:

<u>Date</u>	<u>Number</u>
09/10/2025	Addendum 1
No Date on Addendum	
_____	_____
_____	_____

(receipt of all of which is hereby acknowledged) and also copies of the Invitation to Bid and the Instruction to Bidders;

- (b) **BIDDER** has examined the site and locality where the Work is to be performed, the legal requirements (federal, state and local laws, ordinances, rules and regulations), including disposal of cleared material and the conditions affecting cost, progress or performance for the Work and has made such independent investigations as **BIDDER** deems necessary;
- (c) This Bid is genuine and not made in the interest of or on behalf of any undisclosed person, firm or corporation and is not submitted in conformity with any agreement or rules of any group, association, organization or corporation; **BIDDER** has not directly or indirectly induced or solicited any other Bidder to submit a false or sham Bid; **BIDDER** has not sought by collusion to obtain for himself any advantage over any other Bidder or over **OWNER**; and
4. **BIDDER** will complete the Work for the following Lump Sum price(s):
- CONTRACT PRICE:** \$1,919,767.00 **DOLLARS,**
 (\$ \$1,960,367.00). (Inclusive of a performance and payment bond which may be subsequently waived by the Town.
- The cost of the Contract is based on the estimated quantities shown on the Bid Schedule which is \$ \$1,919,767.00.
5. **BIDDER** acknowledges that a separate Notice to Proceed will be issued and the possible impacts of such have been considered within the Bid.
6. **BIDDER** agrees that the individual stages of the Work will be substantially completed per the following schedule, such days reflecting the time after the date when the Contract Time commences to run.
- | | |
|--------------------------------------|-------------------------------|
| <u>Substantial Completion</u> | <u>Full Completion</u> |
| 90 Days | 120 Days |
- BIDDER** accepts the provisions of the Agreement as to liquidated damages in the event of failure to complete the Work on time.
7. The following document is attached to and made a condition of this Bid:
- (a) A tabulation of Subcontractors and other persons and organizations required to be identified in this Bid.
- (b) Exhibit A — Estimated Quantity Forms

8. The attached estimated quantities are included only for the assistance of the Bidder and for establishing unit prices for individual items.
9. Communications concerning this Bid shall be addressed to:

Mr. Scott M. Glaubitz, P.E., P.L.S.
 B.S.E. Consultants, Inc.
 312 South Harbor City Blvd., Suite 4
 Melbourne, FL 32901
 (321) 725-3674 Telephone
 Email: BSE-Info@lja.com

10. The terms used in this Bid which are defined in the General Conditions of the Construction Contract included as a part of the Contract Documents have the meanings assigned to them in the General Conditions.

SUBMITTED ON September 10, 2025.

Name of Firm: Jobear Contracting Inc

Signature: _____

Title: President

(Seal)

Attest: _____

Business Address: 1950 Danr Dr. NE, Palm Bay, FL 32905

Phone No.: 321-723-3571

IMPORTANT:

Note: If the Contractor is a corporation, the legal name of the corporation shall be set forth above together with a signature of the officer or officers authorized to sign Contracts on behalf of the Corporation; if Contractor is a co-partnership, the true name of the firm shall be set forth above together with the signatures of all the partners; and if Contractor is an individual, his signature shall be placed above. If signature is by an agent other than an officer of a corporation or a member of a partnership, a power-of-attorney must be attached hereto. Signature of Contractor shall also be acknowledged before a Notary Public or other person authorized by law to execute such acknowledgment.

**TOWN OF MELBOURNE BEACH
BASIN 1 IMPROVEMENTS
BSE #11440.25
BID FORM- REVISED**

Note: Bids shall include sales tax and other applicable taxes and fees

ITEM	UNIT	ENGINEER'S QUANTITIES	CONTRACTOR'S QUANTITIES	UNIT PRICE	TOTAL PRICE
PHASE 1					
PART 1 - EARTHWORK, PAVING AND DRAINAGE					
MOBILIZATION	LS	1	1	\$ 168,000.00	\$ 168,000.00
MAINTENANCE OF TRAFFIC (MOT)	LS	1	1	\$ 75,000.00	\$ 75,000.00
TV CAMERA INSPECTION 36" drainage pipe between existing structure DS-104 and DS-144 and 24" drainage pipe along South Palm	LS	1	1	\$ 62,990.00	\$ 62,990.00
EXISTING PIPE REMOVE and DISPOSE - 8" POLYETHYLENE	LF	220	220	\$ 61.00	\$ 13,420.00
EXISTING PIPE REMOVE and DISPOSE - 12" POLYETHYLENE	LF	10	10	\$ 66.00	\$ 660.00
EXISTING PIPE REMOVE and DISPOSE - 15" POLYETHYLENE	LF	10	10	\$ 71.00	\$ 710.00
EXISTING PIPE REMOVE and DISPOSE - 18" POLYETHYLENE	LF	353	353	\$ 56.00	\$ 19,768.00
EXISTING PIPE REMOVE and DISPOSE - 8" CMP	LF	840	840	\$ 55.00	\$ 46,200.00
EXISTING PIPE REMOVE and DISPOSE - 12" CMP	LF	720	720	\$ 57.00	\$ 41,040.00
EXISTING PIPE REMOVE and DISPOSE - 24" PVC	LF	600	600	\$ 59.00	\$ 35,400.00
EXISTING PIPE REMOVE and DISPOSE - 12" RCP	LF	60	60	\$ 76.00	\$ 4,560.00
EXISTING DRAINAGE STRUCTURE REMOVE and DISPOSE PLUG (and ABANDON) 8" CMP (SHANNON AVE)	EA	22	22	\$ 1,850.00	\$ 40,700.00
12" RCP	EA	1	1	\$ 1,500.00	\$ 1,500.00
12" RCP	LF	64	64	\$ 95.00	\$ 6,080.00
15" RCP	LF	255	256	\$ 113.00	\$ 28,928.00
18" RCP	LF	2,466	2472	\$ 115.50	\$ 285,516.00
24" RCP	LF	475	480	\$ 167.50	\$ 80,400.00
TYPE D INLET	EA	22	22	\$ 8,500.00	\$ 187,000.00
CONNECT TO EXISTING DRAINAGE STRUCTURE	EA	7	7	\$ 2,000.00	\$ 14,000.00
FILL EXISTING SWALE (HARLAND AVE)	CY	46	46	\$ 420.00	\$ 19,320.00
CONCRETE FLUME (SOUTH PALM AVE AND MAGNOLIA AVE)	EA	1	1	\$ 7,500.00	\$ 7,500.00
MILL AND OVERLAY PAVEMENT	SY	920	920	\$ 70.00	\$ 64,400.00
DRIVEWAY RECONSTRUCTION - ASPHALT	EA	1	1	\$ 600.00	\$ 600.00
DRIVEWAY RECONSTRUCTION - CONCRETE	EA	24	24	\$ 1,800.00	\$ 43,200.00
DRIVEWAY RECONSTRUCTION - PAVER	EA	4	4	\$ 4,600.00	\$ 18,400.00
IRRIGATION SYSTEM RESTORATION	LS	1	1	\$ 12,500.00	\$ 12,500.00
MAIL BOX RESTORATION	LS	1	1	\$ 12,500.00	\$ 12,500.00
STORM WATER POLLUTION PREVENTION PLAN (SWPPP)	LS	1	1	\$ 8,750.00	\$ 8,750.00
SILT FENCE (if needed)	LS	1	1	\$ 2,500.00	\$ 2,500.00
UTILITY ADJUSTMENT - WATER SERVICES	LS	1	1	\$ 20,500.00	\$ 20,500.00
				\$	-
				\$	-
SUBTOTAL PHASE 1 PART 1					\$ 1,322,042.00
PART 2 - MISCELLANEOUS					
PERFORMANCE BOND & PAYMENT	LS	1	1	\$ 28,750.00	\$ 28,750.00
PHASE 1 - TOTAL PART 1 + PART 2 WITHOUT ALTERNATIVES					
					\$ 1,350,792.00

**TOWN OF MELBOURNE BEACH
BASIN 1 IMPROVEMENTS
BSE #11440.25
BID FORM- REVISED**

Note: Bids shall include sales tax and other applicable taxes and fees

ITEM	UNIT	ENGINEER'S QUANTITIES	CONTRACTOR'S QUANTITIES	UNIT PRICE	TOTAL PRICE
PART 3 - ALTERNATIVES					
Alternate #1 - FULL 36" RCP PIPE REPLACEMENT from EX DS-104 to EX DS-144	LF	340	340	\$ 1,692.50	\$ 575,450.00
Alternate #2 - 36" RCP PIPE REPLACEMENT ACROSS RIVERSIDE DRIVE (OPEN CUT, MILL & REPAVE 50 FT EITHER SIDE of CUT)	LF	44	44	\$ 1,072.50	\$ 47,190.00
Alternate #3 - 36" RCP PIPE REPLACEMENT in GREEN SPACE	LF	36	36	\$ 482.75	\$ 17,379.00
Alternate #4 - SLEEVE 36" RCP PIPE from EX DS-104 to EX DS-144	LF	340	340	\$ 605.25	\$ 205,785.00
PHASE 1 TOTAL with ALTERNATIVE #1					
					\$ 1,926,242.00
PHASE 1 TOTAL with ALTERNATIVE #2					
					\$ 1,397,982.00
PHASE 1 TOTAL with ALTERNATIVE #3					
					\$ 1,368,171.00
PHASE 1 TOTAL with ALTERNATIVE #4					
					\$ 1,556,577.00
PHASE 2					
PART 1 - EARTHWORK, PAVING AND DRAINAGE					
MOBILIZATION	LS	1	1	\$ 75,000.00	\$ 75,000.00
MAINTENANCE OF TRAFFIC (MOT)	LS	1	1	\$ 45,000.00	\$ 45,000.00
CONSTRUCT "S1" 8 FT WIDE SWALE	LF	14,500	14500	\$ 17.50	\$ 253,750.00
CONSTRUCT "S2" 4 FT WIDE SWALE	LF	550	550	\$ 19.50	\$ 10,725.00
CONSTRUCT "S3" 1.5 FT WIDE SWALE	LF	850	850	\$ 15.00	\$ 12,750.00
IRRIGATION SYSTEM RESTORATION	LS	1	1	\$ 82,000.00	\$ 82,000.00
MAIL BOX RESTORATION	LS	1	1	\$ 41,000.00	\$ 41,000.00
STORM WATER POLLUTION PREVENTION PLAN (SWPPP)	LS	1	1	\$ 25,000.00	\$ 25,000.00
SILT FENCE (if needed)	LS	1	1	\$ 2,500.00	\$ 2,500.00
UTILITY ADJUSTMENT - WATER SERVICES	LS	1	1	\$ 50,000.00	\$ 50,000.00
					\$ -
					\$ -
SUBTOTAL PHASE 2 PART 1					\$ 597,725.00
PART 2 - MISCELLANEOUS					
PERFORMANCE BOND & PAYMENT	LS	1	1	\$ 11,850.00	\$ 11,850.00
PHASE 2 TOTAL PART 1 + PART 2					
					\$ 609,575.00

NOTES:

1. Bids shall include sales tax and other applicable taxes and fees.
2. The Engineer's Estimated Quantities are provided for your convenience. Contractor should bid their own quantities. If there is a large discrepancy, please contact Engineer.
3. The award timeframe for Phase 2 related work is unknown at this time.



Ron DeSantis, Governor

Melanie S. Griffin, Secretary



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD

THE UNDERGROUND UTILITY & EXCAVATION CO HEREIN IS CERTIFIED UNDER THE
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

HUY, JOHN GLENN

JOBEAR CONTRACTING, INC.
1950 DANR DR NE
PALM BAY FL 32905

LICENSE NUMBER: CUC1224678

EXPIRATION DATE: AUGUST 31, 2026

Always verify licenses online at MyFloridaLicense.com

ISSUED: 06/05/2024

Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.





Ron DeSantis, Governor

Melanie S. Griffin, Secretary



**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

CONSTRUCTION INDUSTRY LICENSING BOARD

THE GENERAL CONTRACTOR HEREIN IS CERTIFIED UNDER THE
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

HUY, JOHN GLENN

JOBEAR CONTRACTING, INC.
1950 DANR DRIVE NORTHEAST
PALM BAY FL 32905

LICENSE NUMBER: CGC1529144

EXPIRATION DATE: AUGUST 31, 2026

Always verify licenses online at MyFloridaLicense.com

ISSUED: 06/05/2024

Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.





CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
07/15/2025

201

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER	CONTACT NAME: Erica Livengood
Closson Insurance Agency, LLC	PHONE (A/C, No, Ext): (407) 898-2211
1201 S. Orlando Avenue	FAX (A/C, No): (407) 898-1850
Suite 200	E-MAIL ADDRESS: ELivengood@clossoninsurance.com
Winter Park	INSURER(S) AFFORDING COVERAGE
FL 32789	INSURER A: American Casualty Insurance Co
INSURED	INSURER B: Continental Insurance Company
JOBEAR CONTRACTING, INC.	INSURER C: FFVA Mutual Insurance Co.
1950 DANR DR NE	INSURER D:
PALM BAY	INSURER E:
FL 32905	INSURER F:

COVERAGES

CERTIFICATE NUMBER: 6.26.25

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	Y		7015195386	06/26/2025	06/26/2026	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 15,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
A	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS ONLY	Y		7015196456	06/26/2025	06/26/2026	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ PIP-Basic \$ 10,000
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB DED <input checked="" type="checkbox"/> RETENTION \$ 10,000 OCCUR CLAIMS-MADE			7015196148	06/26/2025	06/26/2026	EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ 1,000,000 \$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N	N/A	WC840-0807717-2025A	06/26/2025	06/26/2026	<input checked="" type="checkbox"/> PER STATUTE E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Indian River County is included as Additional Insured regarding the General Liability as required by written contract on a primary and non-contributory basis including products and completed operations per policy forms. Indian River County is included as Additional Insured regarding the Auto Liability per policy forms. A Blanket Waiver of Subrogation applies to the General Liability, Workers Compensation and Auto Liability as required by contract per policy forms. The Umbrella is follow form to the underlying General Liability and Auto Liability and Employers Liability.

CERTIFICATE HOLDER

CANCELLATION

	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE

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Dennis Smith

dennis@jobearinc.com • P. O. Box 359, Grant FL 32949 • 321-543-1586

Personal Information

Date of birth: 3/30/64

Marital Status: Married

Experience

Jobear Inc. |

Job title Start date – End date

Supervisor – 1982 - 1998

Job responsibilities

Supervise site work projects, grading, road builder

Warden Construction |

Job title Start date – End date

Vice President - 1999 – 2011

Jobear Contracting, Inc. |

Job title Start date – End date

Vice President – Field Operation 2011 - Present

Skills

- Critical Thinking
- Organized
- Computer skills
- Project management
- Attention to detail.

John G. Huy

trey@jobearinc.com • 415 Roxy Ave., Melbourne, FL. 32901 • 321-543-2774

Personal Information

Date of birth: 8/22/79

Marital Status: Married

Education

Received B. S. Degree, Florida State University

Experience

Warden Construction |

Job title Start date – End date

Supervisor - 2002 – 2011

Supervision of site work projects, Underground Utilities, Road Construction

Jobear Contracting, Inc. |

Job title Start date – End date

President, COO – 2011 – Present

Holds:

State Excavation and Underground Utilities contractor License CUC 122 4678

State General Contractors License CGC 152 9144

Skills

- Critical Thinking
- Organized
- Computer skills
- Project management
- Attention to detail.
- Problem Solving

Shawn Osborn

shawn@jobearinc.com • 2828 Pennington Pl., Melbourne, FL 32935 • 585-200-1816

Personal Information

Date of Birth: 08/16/1969

Education

ROCHESTER INSTITUTE OF TECHNOLOGY

1993-1995 Mechanical Engineering Technology

SUNY DELHI

1989-1991 AOS Welding Technology

Experience

ROCHESTER WELDING SUPPLY

Inside Sales Representative 1991-1995

Worked with customers to provide accurate solutions

Operations Manager 1995-2001

Ran day to day operations, including managing employee's and deliveries

Managed DOT and FDA training for staff

GETINGE USA INC.

Implementation & Service Specialist 2001-2009

Lead database asset management systems implementations in hospitals

OSBORN LANDSCAPING

Owner/Operator 2010-2024

Design and Build Landscape Construction projects

JOB EAR CONTRACTING INC.

Estimator/Assistant PM 2024-Present

Collaborate and generate estimates for the civil construction industry

Skills

- Attention to detail
- Problem Solving
- Critical Thinking
- Organized
- Computer Hardware and Software

JOBEAR CONTRACTING, INC.
FINANCIAL STATEMENTS
WITH SUPPLEMENTARY INFORMATION

For the Year Ended December 31, 2024

JOBEAR CONTRACTING, INC.
FINANCIAL STATEMENTS
WITH SUPPLEMENTARY INFORMATION

For The Year Ended December 31, 2024

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**LEONARDO
& COMPANY**

Phone: (561)205-CPAs

Audit | Tax | Advisors

www.financialauditchpa.com

950 Peninsula Corporate Circle, Suite 2020 Boca Raton, FL 33487

To the Stockholder
Jobear Contracting, Inc.
Palm Bay, Florida

INDEPENDENT ACCOUNTANT'S REVIEW REPORT

We have reviewed the accompanying financial statements of Jobear Contracting, Inc. (a Corporation), which comprise the balance sheet as of December 31, 2024, and the related statements of income and retained earnings and cash flows for the year then ended, and the related notes to the financial statements. A review includes primarily applying analytical procedures to management's financial data and making inquiries of company management. A review is substantially less in scope than an audit, the objective of which is the expression of an opinion regarding the financial statements as a whole. Accordingly, we do not express such an opinion.

Management's Responsibility for the Financial Statements

Management is responsible for the preparation and fair presentation of these financial statements in accordance with accounting principles generally accepted in the United States of America; this includes the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of financial statements that are free from material misstatement whether due to fraud or error.

Accountant's Responsibility

Our responsibility is to conduct the review engagement in accordance with Statements on Standards for Accounting and Review Services promulgated by the Accounting and Review Services Committee of the AICPA. Those standards require us to perform procedures to obtain limited assurance as a basis for reporting whether we are aware of any material modifications that should be made to the financial statements for them to be in accordance with accounting principles generally accepted in the United States of America. We believe that the results of our procedures provide a reasonable basis for our conclusion.

We are required to be independent of Jobear Contracting, Inc. and to meet our other ethical responsibilities, in accordance with the relevant ethical requirements related to our review.

Accountant's Conclusion

Based on our review, we are not aware of any material modifications that should be made to the accompanying financial statements in order for them to be in accordance with accounting principles generally accepted in the United States of America.

Supplementary Information

The supplementary information included in Schedules I, II, III and IV is presented for purposes of additional analysis and is not a required part of the basic financial statements. Such information is the responsibility of management and was derived from, and relates directly to, the underlying accounting and other records used to prepare the financial statements. The supplementary information has been subjected to the review procedures applied in our review of the basic financial statements. We are not aware of any material modifications that should be made to the supplementary information. We have not audited the supplementary information and do not express an opinion on such information.

Leonardo & Company

Leonardo & Company
Certified Public Accountants
Boca Raton, Florida
January 31, 2025

JOBEBAR CONTRACTING, INC.
BALANCE SHEET
DECEMBER 31, 2024

ASSETS

Current assets:

Cash and cash equivalents	\$ 346,695
Contract receivables	966,280
Due from related parties	2,500
Costs and estimated earnings in excess of billings on uncompleted contracts	<u>54,262</u>
Total current assets	<u>1,369,737</u>

Property and equipment, net of accumulated depreciation of \$110,361	<u>133,650</u>
--	----------------

Total Assets	<u>\$ 1,503,387</u>
--------------	---------------------

LIABILITIES AND STOCKHOLDER'S EQUITY

Current liabilities:

Accounts payable and accrued expenses	\$ 187,664
Due to stockholder	17,225
Current portion of long-term debt	20,109
Billings in excess of costs and estimated earnings on uncompleted contracts	<u>397,936</u>
Total current liabilities	<u>622,934</u>

Long-term liabilities

Notes payable	<u>107,414</u>
Total liabilities	<u>730,348</u>

Stockholder's equity:

Common stock - par value \$1 per share; 10,000 shares authorized, 200 shares, issued and outstanding	200
Paid in capital	399,900
Retained earnings	<u>372,939</u>
Total stockholder's equity	<u>773,039</u>
Total Liabilities and Stockholder's Equity	<u>\$ 1,503,387</u>

See accompanying notes and independent accountant's review report.

JOBEBAR CONTRACTING, INC.
STATEMENT OF INCOME AND RETAINED EARNINGS
FOR THE YEAR ENDED DECEMBER 31, 2024

Contract revenues earned	\$ 3,215,402
Construction costs	<u>2,098,137</u>
Gross profit	1,117,265
General and administrative expenses	<u>688,452</u>
Income from operations	<u>428,813</u>
Net income	428,813
Retained earnings (deficit), beginning of year	<u>(55,874)</u>
Retained earnings, end of year	<u><u>\$ 372,939</u></u>

See accompanying notes and independent accountant's review report.

JOBEBAR CONTRACTING, INC.
STATEMENT OF CASH FLOWS
FOR THE YEAR ENDED DECEMBER 31, 2024

Cash flows from operating activities:	
Net income	\$ 428,813
Adjustments to reconcile net income to net cash provided by operating activities:	
Depreciation	25,349
Change in operating assets and liabilities:	
Contract receivables	(622,048)
Net costs and estimated earnings in excess of billings on uncompleted contracts	(22,373)
Due to stockholder	(30,000)
Net billings in excess of costs and estimated earnings on uncompleted contracts	359,141
Accounts payable and accrued expenses	<u>160,203</u>
Net cash provided by operating activities	<u>299,085</u>
Cash flows from investing activities:	
Purchase of vehicles	<u>(156,368)</u>
Net cash (used in) financing activities	<u>(156,368)</u>
Cash flows from financing activities:	
Payments on notes payable	(12,620)
Proceeds on notes payable	<u>137,512</u>
Net cash provided by financing activities	<u>124,892</u>
Net increase in cash and cash equivalents	<u>267,609</u>
Cash and cash equivalents:	
Beginning of year	<u>79,086</u>
End of year	<u>\$ 346,695</u>
Supplemental Disclosure of Cash Flow Information:	
Interest paid	<u>\$ 15,257</u>

See accompanying notes and independent accountant's review report.

JOBEBAR CONTRACTING, INC.
NOTES TO FINANCIAL STATEMENTS
DECEMBER 31, 2024

NOTE 1 - SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES

Organization and Nature of Business

Jobear Contracting, Inc. (the "Company") was incorporated on June 3, 2011 and operates as a construction general contractor with projects throughout Central Florida. Contracts and services performed by the Company are primarily for road and underground utility contracts. The work is performed primarily under cost-plus-fee contracts and fixed-price contracts. The length of the Company's contracts will vary, but will typically be less than a year. Therefore, assets and liabilities will be classified as current and non-current because the contract-related items in the balance sheet have realization and liquidation periods ending within one year. The receivables are protected under the Florida state lien laws. Management believes that its contract acceptance, billing and collection policies are adequate to minimize potential credit risk.

Revenue and Cost Recognition

Revenues from fixed price construction contracts are recognized under the percentage of completion method, measured by the percentage of cost incurred to date, to estimated total cost for each project. This method is used because management considers total cost to be the best available measure of progress on the contracts.

Contract costs include all direct material and labor costs and those indirect costs related to contract performance, such as indirect labor, supplies, tools, repairs and depreciation costs. General and administrative costs are charged to expense as incurred. Provisions for estimated losses on uncompleted contracts are made in the period in which such losses are determined. Changes in job performance, job conditions, and estimated profitability, including those arising from contract penalty provisions, and final contract settlements may result in revisions to costs and income and are recognized in the period in which the revisions are determined.

The asset, "Costs and estimated earnings in excess of billings on uncompleted contracts," represents revenues recognized in excess of amounts billed. The liability, "Billings in excess of costs and estimated earnings on uncompleted contracts," represents billings in excess of revenues recognized.

Financial Instruments and Concentration of Credit Risk

Financial instruments which potentially subject the Company to concentrations of credit risk are cash and cash equivalents and contract receivables. The Company believes it is not exposed to any significant credit risk on these assets.

Concentration of Credit Risk

The Company maintains its cash balances in one commercial bank. The accounts are insured by the Federal Deposit Insurance Corporation up to \$250,000 per depositor. At December 31, 2024, the Company did not have uninsured balances. The Company has not incurred losses related to these accounts. The Company believes it is not exposed to any significant credit risk on cash or cash equivalents.

Cash and Cash Equivalents

For purposes of the December 31, 2024, the balance sheet and the statement of cash flows for the year ended December 31, 2024, the Association considers all highly liquid investments purchased with original maturities of three months or less to be cash equivalents.

JOBEAR CONTRACTING, INC.
NOTES TO FINANCIAL STATEMENTS
DECEMBER 31, 2024

NOTE 1 - SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES (Continued)

Income Taxes

The Company, with the consent of its stockholder, elected to be taxed as an "S" Corporation under the Internal Revenue Code. All taxable income or loss flows through to the stockholder. Accordingly, no income tax expense or liability is recorded in the accompanying financial statements. As of December 31, 2024, the Company had no uncertain tax positions that qualify for either recognition or disclosure in the financial statements.

Accounting Estimates

The Management of the Company uses accounting estimates in determining revenues from contracts as accounted for by the percentage of completion method. Estimates are based on subjective as well as objective factors and, as a result, judgment is required to estimate certain amounts at the date of the financial statements.

Property and Equipment

Property and equipment are recorded at cost. Depreciation is provided using the straight-line method over the estimated useful lives of the assets. The lives range from three to seven years. Repairs and maintenance are expensed as incurred. When property and equipment are disposed of, the cost and related accumulated depreciation are removed from the accounts and any related gain or loss is included in the statement of income and retained earnings.

Contract Receivables

Contract receivables are recorded when invoices are issued and are presented in the balance sheet at face amount with no allowance for credit losses. An allowance for credit losses is not considered necessary because substantially all outstanding accounts are expected to be collected in the subsequent year.

NOTE 2 - CONTRACT RECEIVABLES

Contract receivables consisted of the following as of December 31, 2024:

Uncompleted contracts	\$ 542,413
Retainage	62,878
Completed contracts	<u>360,989</u>
	<u>\$ 966,280</u>

NOTE 3 - PROPERTY AND EQUIPMENT

Property and equipment consisted of the following as of December 31, 2024:

Vehicles	\$ 213,221
Equipment	<u>30,790</u>
	244,011
Less: accumulated depreciation	<u>(110,361)</u>
	<u>\$ 133,650</u>

Depreciation expense for the year ended December 31, 2024 was \$25,349.

JOBEAR CONTRACTING, INC.
NOTES TO FINANCIAL STATEMENTS
DECEMBER 31, 2024

NOTE 4 - COSTS AND ESTIMATED EARNINGS OF BILLINGS ON UNCOMPLETED CONTRACTS

Costs and estimated earnings of billings on uncompleted contracts as of December 31, 2024 consisted of the following:

Costs incurred on uncompleted contracts	\$ 1,098,441
Estimated earnings to date	<u>695,813</u>
	1,794,254
Less billings	<u>(2,137,928)</u>
	<u>\$ (343,674)</u>

Included in accompanying balance sheet
under the following captions:

Costs and estimated earnings more than billings on uncompleted contracts	\$ 54,262
Billings more than costs and estimated earnings on uncompleted contracts	<u>(397,936)</u>
	<u>\$ (343,674)</u>

NOTE 5 - BACKLOG

The following schedule summarizes changes in backlog on contracts during the year ended December 31, 2024. Backlog represents the amount of revenues the Company expects to realize from work to be performed on uncompleted contracts in progress at the end of the period and from signed contractual agreements on which work has not yet begun.

Backlog balance at December 31, 2023	\$ 175,835
Net contracts during current period	<u>5,627,230</u>
	5,803,065
Less: contract revenue earned during current period	<u>(3,215,402)</u>
Backlog balance at December 31, 2024	<u>\$ 2,587,663</u>

NOTE 6 - COMMITMENTS

Leases - The Company leases its office and shop building from the shareholder. It has a net, net, net lease and pays \$1,000 per month for such lease. It also rents equipment on an as needed basis from a related company. The payments on the office rent are on a month to month basis. Rent expense totaled \$12,000 for the year ended December 31, 2024

NOTE 7 - EQUITY

All of the stock of the Company is owned by the Director of the Corporation as follows:

John G. Huy	<u>200 shares</u>
Total shares	<u>200 shares</u>

JOBEBAR CONTRACTING, INC.
NOTES TO FINANCIAL STATEMENTS
DECEMBER 31, 2024

NOTE 8 - RELATED PARTIES

Through the course of business, the Company is owed monies from related parties which will be paid back currently. The amount owed to the Company as of December 31, 2024 is \$2,500.

The Company borrowed \$71,225 from the Stockholder during the year ended December 31, 2022. As of December 31, 2024, the Company has paid back \$54,000. The remaining money owed of \$17,225 will be repaid through the course of business.

NOTE 9 - NOTES PAYABLE

During March 2024, the Company obtained a note to purchase equipment for \$58,615. This note is payable in monthly principal and 9.42% per annum interest payments of \$1,219 over 60 months. The principal amount owed at December 31, 2024 is \$51,476. The note is collateralized by the equipment.

During February 2024, the Company obtained a note to purchase a vehicle for \$46,112. This note is payable in monthly principal and 14.29% per annum interest payments of \$939 over 72 months. The principal amount owed at December 31, 2024 is \$43,589. The note is collateralized by the vehicle.

During December 2024, the Company obtained a note to purchase a vehicle for \$32,785. This note is payable in monthly principal and 10.67% per annum interest payments of \$619 over 72 months. The principal amount owed at December 31, 2024 is \$32,458. The note is collateralized by the vehicle.

The five-year and thereafter payout for the notes payable is as follows:

2025	\$	20,109
2026		22,047
2027		25,028
2028		28,467
2029		19,905
2030 and thereafter		11,967
	\$	<u>127,523</u>

Interest expense totaled \$15,257 for the year ended December 31, 2024.

NOTE 10 - DATE OF MANAGEMENT'S REVIEW

In preparing the financial statements, the Company has evaluated events and transactions for potential recognition or disclosure through January 31, 2025, the date that the financial statements were available to be issued.

NOTE 11 - CONTINGENCY AND LITIGATION

At the report date, the Company has no unrecorded contingencies or pending or threatening litigation.

SUPPLEMENTARY INFORMATION

JOBEAR CONTRACTING, INC.
 SCHEDULE I - CONSTRUCTION COSTS
 FOR THE YEAR ENDED DECEMBER 31, 2024

Direct labor	\$ 418,252
Officers direct labor	52,000
Subcontractors	1,006,065
Equipment rental	298,165
Other	60,862
Materials	162,577
Allocation of overhead	100,216
	<u>\$ 2,098,137</u>

See independent accountant's review report.

JOBEAR CONTRACTING, INC.
 SCHEDULE II - GENERAL AND ADMINISTRATIVE EXPENSES
 FOR THE YEAR ENDED DECEMBER 31, 2024

Salaries	\$ 143,699
Salaries - officers	28,204
Accounting and legal	15,498
Consulting	3,575
Contribution	2,500
Depreciation	25,349
Dues and subscriptions	11,056
Gas and oil	62,762
Insurance	249,263
Interest	15,257
Licenses and fees	2,179
Office expenses	11,425
Payroll taxes	50,496
Plans and specs	1,138
Rent	12,000
Repairs and maintenance - building and equipment	117,888
Taxes - other	7,689
Telephone and utilities	16,328
Travel and entertainment	12,362
Less allocation of overhead	(100,216)
	<u>\$ 688,452</u>

See independent accountant's review report.

JOBEAR CONTRACTING, INC.
SCHEDULE III - CONTRACTS COMPLETED
FOR THE TWELVE MONTHS ENDED DECEMBER 31, 2024

CONTRACT	Before January 1, 2024			During the Year Ended December 31, 2024			Total		
	REVENUES EARNED	COST OF REVENUES	GROSS PROFIT (LOSS) ON JOBS	REVENUES EARNED	COST OF REVENUES	GROSS PROFIT (LOSS) ON JOBS	CONTRACT AMOUNT	COST OF REVENUES	GROSS PROFIT (LOSS) ON JOBS
Graves	\$ 251,681	\$ 158,640	\$ 93,041	\$ 4,706	\$ 2,971	\$ 1,735	\$ 256,387	\$ 161,611	\$ 94,776
Veterans Memorial Park	168,565	103,769	64,796	380,539	214,131	166,408	549,104	317,900	231,204
Hallstrom Parking	811,977	649,508	162,469	91,852	2,945	88,907	903,829	652,453	251,376
Other Completed Contracts	-	-	-	944,051	779,649	164,402	944,051	779,649	164,402
	<u>\$ 1,232,223</u>	<u>\$ 911,917</u>	<u>\$ 320,306</u>	<u>\$ 1,421,148</u>	<u>\$ 999,696</u>	<u>\$ 421,452</u>	<u>\$ 2,653,371</u>	<u>\$ 1,911,613</u>	<u>\$ 741,758</u>

See independent accountant's review report.

JOBEAR CONTRACTING, INC.
SCHEDULE IV - CONTRACTS IN PROGRESS
FOR THE TWELVE MONTHS ENDED DECEMBER 31, 2024

PROJECT	CONTRACT TOTALS			BEFORE JANUARY 1, 2024			FOR THE TWELVE MONTHS ENDED DECEMBER 31, 2024			AT DECEMBER 31, 2024			
	CONTRACT INCLUDING EXTRAS AND CHANGE ORDERS	ESTIMATED COST OF REVENUES	ESTIMATED GROSS PROFIT	REVENUES EARNED	COSTS OF REVENUES	GROSS PROFIT	REVENUES EARNED	COST OF REVENUES	GROSS PROFIT	BILLINGS TO 12/31/24	COSTS AND ESTIMATED EARNINGS IN EXCESS OF BILLINGS	BILLINGS IN EXCESS OF COSTS AND ESTIMATED EARNINGS	PERCENTAGE COMPLETED
Hosie Schumann	\$ 372,801	\$ 256,000	\$ 116,801	\$ -	\$ -	\$ -	\$ 291,310	\$ 200,041	\$ 91,269	\$ 292,895	\$ -	\$ 1,585	78%
Mile Elementary	1,363,712	800,000	563,712	-	-	-	634,851	372,425	262,426	817,268	-	182,417	47%
Gifford Customer Service	290,877	212,000	78,877	-	-	-	134,502	98,029	36,473	96,959	37,543	-	46%
University and Grant	1,082,200	623,000	459,200	-	-	-	453,953	261,331	192,622	589,356	-	115,403	42%
Gleason Park Recreation	190,600	152,000	38,600	-	-	-	35,159	28,039	7,120	113,690	-	78,531	18%
City Hall Seawall	353,411	200,321	153,090	-	-	-	244,479	138,576	105,903	227,760	16,719	-	69%
Roadway Resurfacing	1,000,565	851,000	149,565	-	-	-	-	-	-	-	-	-	0%
	<u>\$ 4,654,166</u>	<u>\$ 3,094,321</u>	<u>\$ 1,559,845</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 1,794,254</u>	<u>\$ 1,098,441</u>	<u>\$ 695,813</u>	<u>\$ 2,137,928</u>	<u>\$ 54,262</u>	<u>\$ 377,936</u>	

See independent accountant's review report.

Bid Bond**CONTRACTOR:***(Name, legal status and address)*

Jobear Contracting, Inc.
1950 Danr Drive NE
Palm Bay, FL 32905

SURETY:*(Name, legal status and principal place of business)*

United States Fire Insurance Company
305 Madison Avenue
Morristown, NJ 07960

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

OWNER:*(Name, legal status and address)*

Town of Melbourne Beach
507 Ocean Avenue
Melbourne Beach, FL 32951

BOND AMOUNT:

5% Five Percent of Amount Bid

PROJECT:*(Name, location or address, and Project number, if any)*

Town of Melbourne Beach – Basin 1 Improvements,

Brevard County, FL

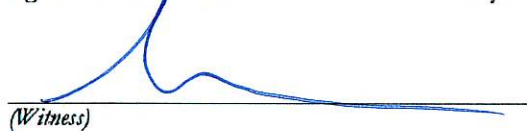
Project Number, if any: B.S.E. #11440.25

The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

Signed and sealed this 10th day of September, 2025


(Witness)

Jobear Contracting, Inc.

(Principal)

By:

(Title)

United States Fire Insurance Company

(Surety)

By:

(Title) Jeffrey W. Reich, Attorney-in-Fact &
FL Licensed Resident Agent
Inquiries: 407-786-7770


(Witness) Kelly Moulton



By arrangement with the American Institute of Architects, the National Association of Surety Bond Producers (NASBP) (www.nasbp.org) makes this form document available to its members, affiliates, and associates in Microsoft Word format for use in the regular course of surety business. NASBP vouches that the original text of this document conforms exactly to the text in AIA Document A310-2010, Bid Bond. Subsequent modifications may be made to the original text of this document by users, so careful review of its wording and consultation with an attorney are encouraged before its completion, execution or acceptance.

**POWER OF ATTORNEY
UNITED STATES FIRE INSURANCE COMPANY
PRINCIPAL OFFICE - MORRISTOWN, NEW JERSEY**

KNOW ALL MEN BY THESE PRESENTS: That United States Fire Insurance Company, a corporation duly organized and existing under the laws of the state of Delaware, has made, constituted and appointed, and does hereby make, constitute and appoint: **Jeffrey W. Reich**

each, its true and lawful Attorney(s)-In-Fact, with full power and authority hereby conferred in its name, place and stead, to execute, acknowledge and deliver: Any and all bonds and undertakings of surety and other documents that the ordinary course of surety business may require, and to bind United States Fire Insurance Company thereby as fully and to the same extent as if such bonds or undertakings had been duly executed and acknowledged by the regularly elected officers of United States Fire Insurance Company at its principal office, in amounts or penalties: **Unlimited**

This Power of Attorney limits the act of those named therein to the bonds and undertakings specifically named therein, and they have no authority to bind United States Fire Insurance Company except in the manner and to the extent therein stated.

Surety Bond No.: Bid Bond

Principal: Jobear Contracting, Inc.

Obligee: Town of Melbourne Beach

This Power of Attorney is granted pursuant to Article IV of the By-Laws of United States Fire Insurance Company as now in full force and effect, and consistent with Article III thereof, which Articles provide, in pertinent part:

Article IV, Execution of Instruments - Except as the Board of Directors may authorize by resolution, the Chairman of the Board, President, any Vice-President, any Assistant Vice President, the Secretary, or any Assistant Secretary shall have power on behalf of the Corporation:

(a) to execute, affix the corporate seal manually or by facsimile to, acknowledge, verify and deliver any contracts, obligations, instruments and documents whatsoever in connection with its business including, without limiting the foregoing, any bonds, guarantees, undertakings, recognizances, powers of attorney or revocations of any powers of attorney, stipulations, policies of insurance, deeds, leases, mortgages, releases, satisfactions and agency agreements;

(b) to appoint, in writing, one or more persons for any or all of the purposes mentioned in the preceding paragraph (a), including affixing the seal of the Corporation.

Article III, Officers, Section 3.11, Facsimile Signatures. The signature of any officer authorized by the Corporation to sign any bonds, guarantees, undertakings, recognizances, stipulations, powers of attorney or revocations of any powers of attorney and policies of insurance issued by the Corporation may be printed, facsimile, lithographed or otherwise produced. In addition, if and as authorized by the Board of Directors, dividend warrants or checks, or other numerous instruments similar to one another in form, may be signed by the facsimile signature or signatures, lithographed or otherwise produced, of such officer or officers of the Corporation as from time to time may be authorized to sign such instruments on behalf of the Corporation. The Corporation may continue to use for the purposes herein stated the facsimile signature of any person or persons who shall have been such officer or officers of the Corporation, notwithstanding the fact that he may have ceased to be such at the time when such instruments shall be issued.

IN WITNESS WHEREOF, United States Fire Insurance Company has caused these presents to be signed and attested by its appropriate officer and its corporate seal hereunto affixed this 18th day of November, 2024.

UNITED STATES FIRE INSURANCE COMPANY



Matthew E. Lubin
Matthew E. Lubin, President

State of New Jersey }
County of Morris }

On this 18th day of November, 2024, before me, a Notary public of the State of New Jersey, came the above named officer of United States Fire Insurance Company, to me personally known to be the individual and officer described herein, and acknowledged that he executed the foregoing instrument and affixed the seal of United States Fire Insurance Company thereto by the authority of his office.



Ethan Schwartz
Ethan Schwartz (Notary Public)

I, the undersigned officer of United States Fire Insurance Company, a Delaware corporation, do hereby certify that the original Power of Attorney of which the foregoing is a full, true and correct copy is still in force and effect and has not been revoked.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of United States Fire Insurance Company on the 10th day of September 2025



UNITED STATES FIRE INSURANCE COMPANY

Michael C. Fay
Michael C. Fay, Senior Vice President

CONTACT INFORMATION: Bond Verifications: surety@cfins.com / Claims: SuretyClaimsSupport@cfins.com

Town Commission Meeting

Section: New Business

Meeting Date: September 17, 2025

From: Town Attorney Ryan Knight

RE: Town Manager Employment Agreement Extension

Background Information:

Recommendation:

Attachments:

Town Commission Meeting

Section: New Business
Meeting Date: September 17, 2025
From: Town Attorney Ryan Knight
RE: Town Zoning Official Agreement

Background Information:

Recommendation:

Attachments:

Town Commission Meeting

Section: New Business

Meeting Date: September 17, 2025 Regular Town Commission Meeting

From: Commissioner Tim Reed

Re: Cyber & Data Security Presentation from IT Service Provider

Background Information:

Prudent to periodically review Cyber & Data Security Practices.

Recommendation:

Requesting that TM and/or Staff arrange for the Town IT Services provider(s) to present on their contracted services to the Town Commission & the Technology Advisory Board at a Workshop.

Specific topics to be addressed would include:

- Cyber Security protections they have in place to protect the Towns systems & data
- Data Backup protocols & locations for Towns data, and how often the Backups are tested.
- Patching protocols for towns systems, and how frequently patching is performed.
- What is their Incident Response Plan for Denial of Service, Ransomware, Etc. attacks?
- What state, federal, and law enforcement organizations do they associate with or are members of?
- Do they periodically undergo an Independent Security Assessment on themselves?

Intent is for the Town to be able to assess if adequate protections are in place, or if other alternatives/providers should be considered.

Attachments:

n/a



Town of Melbourne Beach
Finance Department

Memo

To: Mayor, Vice Mayor and Commissioners
From: Jennifer Kerr, Finance Manager
Date: September 5, 2025
Re: August Fiscal Year 2025

We are in the eleventh month of our fiscal year 2025. The target expenditure rates for August are 91.67%. All departments are doing well keeping their total expenditure budget within the target rate. Some budget lines are fully expended early in the budget year while other lines like salaries and health insurance are paid on a monthly basis. The total General Fund expenditure rate, year to date is 91.17%. The Departmental expenditure rate breakdown is as follows:

Legislative:	86.79%
Executive:	92.61%
Finance:	93.22%
Legal:	89.32%
Planning:	14.80%
General Services:	91.20%
Law Enforcement:	94.52%
Fire:	80.33%
Code:	52.35 %
Public Works:	85.45%
Grounds Keeping:	61.62%

Capital Expenditure Rate:	70.08%	Budget: \$190,917.60	Actual Spent: \$133,796.16
Operating Expense Rate:	92.14%	Budget: \$4,161,385.13	Actual Spent: \$3,834,289.21
General Fund Rate:	91.17%	Budget: \$4,352,302.73	Actual Spent: \$3,968,085.37

The total General Fund budgeted amount has increased due to a transfer in of \$17,352.36 from Fund 175 for a portion of the Deputy Clerk's salary. This transfer was approved by the Commission in the February 2025 regular Town Commission meeting.

Operating Account Balance as of 08/31/25: \$3,163,048.47
Reserve Account Balance as of 08/31/25: \$2,474,612.77
Florida Prime Account Balance as of 08/31/25: \$ 531,372.52

Discussion Items:

Line items that are over budgeted amounts and previously addressed in past months are not discussed in this report.

The Town received Parking Revenue for August FY2025 in the amount of \$18,084.00
Parking revenue for August FY2024 was \$13,957.45.



Town of Melbourne Beach
Finance Department

-
- A Fiscal Year (FY) parking revenue comparison is attached.

A copy of the Attorney's monthly invoice is provided with the Finance Report.

FEMA Obligated Funds:

Hurricane IRMA: \$586,392.00

Hurricane Milton: \$39,106.04

Hurricane Milton: \$4,112.50

When the Town receives any obligated FEMA funds the amounts will be deducted from the above amounts. Any new funds that are obligated by FEMA will be added to the above amounts.

REVENUE AND EXPENDITURE FOR TOWN OF MELBOURNE BEACH

Balance As Of 08/31/2025

Fund: 001 GENERAL FUND							
Account Category: Revenues	Description	Original Budget	Amended	Encumbrance	Available	% Used	
001-00-311.00.00	AD VALOREM TAXES	2,830,233.00	2,830,233.00	0.00	(1,825.53)	100.06	
001-00-312.41.00	LOCAL OPTION COUNTY GAS TAX	136,000.00	136,000.00	0.00	37,652.19	72.31	
001-00-314.10.00	UTILITY SERVICES TAX FPL	285,000.00	285,000.00	0.00	13,048.26	95.42	
001-00-314.30.00	UTILITY SERVICES TAX WATER	60,000.00	60,000.00	0.00	9,555.53	84.07	
001-00-314.40.00	UTILITY SERVICES TAX GAS	0.00	0.00	0.00	(650.98)	100.00	
001-00-314.40.10	UTILTIY GAS TAX AMERIGAS	7,000.00	7,000.00	0.00	(549.98)	107.86	
001-00-314.40.20	UTILITY GAS TAX SUBURBAN	1,000.00	1,000.00	0.00	(239.72)	123.97	
001-00-314.40.30	UTILTIY GAS TAX FERRELL	3,000.00	3,000.00	0.00	(725.03)	124.17	
001-00-314.40.40	UTILITY GAS TAX SAM'S GAS	300.00	300.00	0.00	(546.89)	282.30	
001-00-315.00.00	COMMUNICATIONS SERVICE TAX	145,000.00	145,000.00	0.00	16,554.44	88.58	
001-00-316.00.00	OCCP. LIC	16,000.00	16,000.00	0.00	2,813.93	82.41	
001-00-323.10.00	FRANCHISE FEES FPL	216,000.00	216,000.00	0.00	42,734.60	80.22	
001-00-323.70.00	FRANCHISE FEES SOLID WASTE	50,000.00	50,000.00	0.00	(26,744.22)	153.49	
001-00-323.70.10	SOLID WASTE COMMERCIAL	16,000.00	16,000.00	0.00	(6,223.66)	138.90	
001-00-329.20.00	BONFIRE PERMIT	900.00	900.00	0.00	(700.00)	177.78	
001-00-329.50.00	LOW SPEED VEHICLE REGISTRATION	2,000.00	2,000.00	0.00	(400.00)	120.00	
001-00-329.50.10	LOW SPEED VEHICLE PERMIT FEE	13,000.00	13,000.00	0.00	10,950.00	15.77	
001-00-331.12.00	FEMA	0.00	0.00	0.00	(43,500.00)	100.00	
001-00-334.40.00	FMIT SAFETY GRANT	5,000.00	5,000.00	0.00	(1,000.00)	120.00	
001-00-335.12.00	STATE REVENUE SHARING PROCEEDS	106,000.00	106,000.00	0.00	2,495.46	97.65	
001-00-335.15.00	ALCOHOLIC BEVERAGE LICENSES	44,000.00	44,000.00	0.00	38,217.62	13.14	
001-00-335.18.00	HALF CENT SALES TAX LOCAL GOV	230,000.00	230,000.00	0.00	58,066.20	74.75	
001-00-342.20.00	SAFETY INSPECT FEE VAC RENTAL	1,650.00	1,650.00	0.00	(450.00)	127.27	
001-00-342.20.10	SAFETY RENEWAL-VAC RENTALS	2,500.00	2,500.00	0.00	(2,235.00)	189.40	
001-00-345.10.00	VAC RENTAL APP FEE-INITIAL	5,500.00	5,500.00	0.00	(2,350.00)	142.73	
001-00-345.10.10	VAC RENEWAL FEE - RENTALS	4,550.00	4,550.00	0.00	(8,065.00)	277.25	
001-00-349.00.29	LIEN SEARCH REQUEST	1,260.00	1,260.00	0.00	(1,890.00)	250.00	
001-00-361.10.00	INTEREST ON INVESTMENTS	23,000.00	23,000.00	0.00	(42,026.90)	282.73	

	Description	Original Budget	Amended	Encumbrance	Available	% Used
001-00-369.00.00	MISCELLANEOUS REVENUE	3,200.00	3,200.00	0.00	(10,986.95)	443.34
001-00-369.00.49	INSURANCE RECOVERY	100.00	100.00	0.00	100.00	0.00
001-00-381.00.00	TRANSFERS IN	3,800.00	3,800.00	0.00	(13,552.36)	456.64
						98.40
Department: 21 LAW ENFORCEME						
001-21-312.52.00	INSURANCE PREMIUM TAX	52,500.00	52,500.00	0.00	(4,672.27)	108.90
001-21-337.20.00	SCHOOL RESOURCE OFFICER	72,000.00	72,000.00	0.00	0.00	100.00
001-21-337.90.01	OTHER GRANTS	5,000.00	5,000.00	0.00	5,000.00	0.00
001-21-347.90.01	SPECIAL EVENTS	1,000.00	1,000.00	0.00	1,000.00	0.00
001-21-351.00.00	FINES - LAW ENFORCEMENT	5,000.00	5,000.00	0.00	(7,123.02)	242.46
001-21-351.13.00	PARKING TICKETS	500.00	500.00	0.00	500.00	0.00
001-21-351.13.10	ACCIDENT REPORT	200.00	200.00	0.00	(66.33)	133.17
001-21-369.00.00	MISCELLANEOUS REVENUE	0.00	0.00	0.00	(7.00)	100.00
						103.94
Department: 22 FIRE CONTROL						
001-22-322.30.00	FIRE PROTECTIVE SERVICES	4,500.00	4,500.00	0.00	1,800.00	60.00
001-22-364.20.00	DISPOSAL OF ASSETS - OTHER	100.00	100.00	0.00	100.00	0.00
001-22-369.55.10	SHARED TRAINING	300.00	300.00	0.00	300.00	0.00
						55.10
Department: 29 CODE ENFORCEM						
001-29-359.00.00	OTHER FINES AND FORFEITURES	300.00	300.00	0.00	300.00	0.00
Department: 41 PUBLIC WORKS						
001-41-364.10.00	DISPOSAL OF ASSETS - VEHICLES	100.00	100.00	0.00	100.00	0.00
Overall Revenue Rate:						98.51
Account Category: Expenditures						
Department: 00						
001-00-581.00.00	TRANSFER OUT	638,918.92	638,918.92	0.00	0.00	100.00
						100.00

Department: 11 LEGISLATIVE		Description	Original Budget	Amended	Encumbrance	Available	% Used
001-11-500.11.00		EXECUTIVE SALARIES	16,200.00	16,200.00	0.00	4,833.48	70.16
001-11-500.12.00		REGULAR SALARIES	66,274.00	83,626.36	0.00	4,323.30	94.83
001-11-500.21.00		FICA TAXES - EMPLOYER PORTION	6,309.00	6,309.00	0.00	(380.10)	106.02
001-11-500.22.20		RETIREMENT TOWN EMPLOYEES	9,033.00	9,033.00	0.00	(1,859.01)	120.58
001-11-500.23.01		HEALTH INSURANCE	6,561.00	6,561.00	0.00	(2,481.00)	137.81
001-11-500.23.02		LIFE INSURANCE	70.00	70.00	0.00	(31.34)	144.77
001-11-500.25.00		UNEMPLOYMENT COMPENSATION	99.00	99.00	0.00	15.06	84.79
001-11-510.31.00		PROFESSIONAL SERVICES	18,300.00	18,300.00	0.00	8,138.01	55.53
001-11-510.40.00		TRAVEL & MEETINGS	4,465.00	4,465.00	0.00	588.25	86.83
001-11-510.40.10		TRAVEL & MEETINGS - STAFF	1,900.00	1,900.00	0.00	(1,229.29)	164.70
001-11-510.47.00		PRINTING	6,995.72	6,995.72	0.00	2,286.99	67.31
001-11-510.48.00		PROMOTIONAL ACTIVITIES	400.00	400.00	0.00	150.91	62.27
001-11-510.48.40		LEGAL NOTICES	5,000.00	5,000.00	0.00	2,165.22	56.70
001-11-510.49.50		ELECTION EXPENSE	2,000.00	2,000.00	0.00	1,618.47	19.08
001-11-510.54.00		DUES & SUBSCRIPTIONS	830.00	830.00	0.00	(2,571.51)	409.82
001-11-510.54.10		TRAINING & SCHOOLS	3,540.00	3,540.00	0.00	2,030.00	42.66
001-11-543.00.00		LICENSES & FEES	40,436.00	40,436.00	0.00	9,578.95	76.31
							86.79
Department: 12 EXECUTIVE							
001-12-500.12.00		REGULAR SALARIES	159,118.00	159,118.00	0.00	22,742.62	85.71
001-12-500.21.00		FICA TAXES - EMPLOYER PORTION	12,173.00	12,173.00	0.00	884.34	92.74
001-12-500.22.01		RETIREMENT - ICMA	21,592.00	21,592.00	0.00	6,886.83	68.10
001-12-500.22.20		RETIREMENT TOWN EMPLOYEES	5,445.00	5,445.00	0.00	1,527.79	71.94
001-12-500.23.01		HEALTH INSURANCE	16,212.00	16,212.00	0.00	(8,324.98)	151.35
001-12-500.23.02		LIFE INSURANCE	916.00	916.00	0.00	170.29	81.41
001-12-500.25.00		UNEMPLOYMENT COMPENSATION	191.00	191.00	0.00	44.25	76.83
001-12-510.31.00		PROFESSIONAL SERVICES	0.00	0.00	18,000.00	(30,000.00)	100.00
001-12-510.40.00		TRAVEL & MEETINGS	2,200.00	2,200.00	0.00	1,051.34	52.21
001-12-510.49.99		MISCELLANEOUS	400.00	400.00	0.00	400.00	0.00
001-12-510.52.50		GAS & OIL	2,400.00	2,400.00	0.00	200.00	91.67
001-12-510.54.00		DUES & SUBSCRIPTIONS	3,430.00	3,430.00	0.00	2,178.67	36.48

	Description	Original Budget	Amended	Encumbrance	Available	% Used
001-12-510.54.10	TRAINING & SCHOOLS	1,000.00	1,000.00	0.00	860.96	13.90
						92.61
Department: 13 FINANCE						
001-13-500.12.00	REGULAR SALARIES	119,630.00	119,630.00	0.00	11,690.26	90.23
001-13-500.21.00	FICA TAXES - EMPLOYER PORTION	9,152.00	9,152.00	0.00	1,276.33	86.05
001-13-500.22.20	RETIREMENT TOWN EMPLOYEES	16,306.00	16,306.00	0.00	1,443.37	91.15
001-13-500.23.01	HEALTH INSURANCE	25,604.00	25,604.00	0.00	(6,136.66)	123.97
001-13-500.23.02	LIFE INSURANCE	136.00	136.00	0.00	0.88	99.35
001-13-500.25.00	UNEMPLOYMENT COMPENSATION	155.00	155.00	0.00	40.63	73.79
001-13-510.32.00	AUDITING SERVICES	37,500.00	37,500.00	0.00	3,488.00	90.70
001-13-510.32.90	BANKING FEES	10,540.00	10,540.00	0.00	2,138.37	79.71
001-13-510.40.00	TRAVEL & MEETINGS	1,550.00	1,550.00	0.00	475.00	69.35
001-13-510.47.00	PRINTING	216.00	216.00	0.00	179.80	16.76
001-13-510.54.00	DUES & SUBSCRIPTIONS	60.00	60.00	0.00	60.00	0.00
001-13-510.54.10	TRAINING & SCHOOLS	900.00	900.00	0.00	900.00	0.00
001-13-543.00.00	LICENSES & FEES	7,785.00	7,785.00	0.00	0.00	100.00
						93.22
Department: 14 LEGAL COUNSEL						
001-14-510.31.00	PROFESSIONAL SERVICES	106,000.00	106,000.00	0.00	4,778.65	95.49
001-14-510.31.01	CODE ENFORCEMENT ATTORNEY	19,200.00	19,200.00	0.00	8,588.83	55.27
						89.32
Department: 15 PLANNING						
001-15-510.31.00	PROFESSIONAL SERVICES	35,000.00	35,000.00	0.00	29,818.75	14.80
						14.80
Department: 16 HURRICANE EXPE						
001-16-520.51.00	OFFICE SUPPLIES	0.00	0.00	0.00	(915.70)	100.00
001-16-520.52.05	PROTECTIVE GEAR	0.00	0.00	0.00	(513.18)	100.00
001-16-520.52.20	TOOLS & HARDWARE	0.00	0.00	0.00	(90.00)	100.00
001-16-530.46.35	PIER MAINTENANCE	0.00	0.00	0.00	(4,744.52)	100.00
001-16-530.46.40	GROUNDS MAINTENANCE	0.00	0.00	0.00	(2,647.81)	100.00
001-16-534.00.00	SOLID WASTE SERVICES	0.00	0.00	0.00	(43,500.00)	100.00

Department: 19 GENERAL SERVICE	Description	Original Budget	Amended	Encumbrance	Available	% Used
001-19-500.24.00	WORKERS COMPENSATION	400.00	400.00	0.00	0.00	100.00
001-19-510.31.00	PROFESSIONAL SERVICES	3,920.00	3,920.00	0.00	65.00	98.34
001-19-510.31.11	SECURITY	411.00	411.00	0.00	411.00	0.00
001-19-510.34.10	JANITORIAL SERVICES	15,500.00	15,500.00	0.00	(1,029.00)	106.64
001-19-510.35.00	PRE-EMPLOYMENT EXP	0.00	0.00	0.00	(196.00)	100.00
001-19-510.41.00	TELEPHONE	24,876.00	24,876.00	0.00	6,653.04	73.26
001-19-510.41.10	COMMUNICATION SERVICES	39,658.00	39,658.00	0.00	(8,872.25)	122.37
001-19-510.43.00	STREET LIGHTS	51,000.00	51,000.00	0.00	8,193.82	83.93
001-19-510.43.10	ELECTRICITY	28,000.00	28,000.00	0.00	2,489.52	91.11
001-19-510.43.20	WATER & SEWER	4,000.00	4,000.00	0.00	256.85	93.58
001-19-510.43.50	WASTE TAX SERVICE	2,500.00	2,500.00	0.00	(1,414.44)	156.58
001-19-510.45.00	GENERAL LIABILITY INSURANCE	91,903.00	91,903.00	0.00	7,881.00	91.42
001-19-510.45.01	FLOOD INSURANCE	6,655.00	6,655.00	0.00	(431.00)	106.48
001-19-510.45.02	PROPERTY INSURANCE	124,200.00	124,200.00	0.00	(14,958.00)	112.04
001-19-510.45.03	AUTO INSURANCE	11,238.00	11,238.00	0.00	240.00	97.86
001-19-510.46.10	OFFICE EQUIPMENT MAINTENANCE	3,588.00	3,588.00	0.00	(282.06)	107.86
001-19-510.46.15	EQUIPMENT MAINTENANCE	20,000.00	20,000.00	0.00	19,244.23	3.78
001-19-510.46.30	HEALTHY ENVIRONMENT BLDG MAINTENA	0.00	0.00	0.00	(3,420.00)	100.00
001-19-510.46.36	PEST CONTROL	3,720.00	3,720.00	0.00	310.00	91.67
001-19-510.47.00	PRINTING	0.00	0.00	0.00	(17.65)	100.00
001-19-510.49.98	CONTINGENCY	9,004.28	9,004.28	0.00	9,004.28	0.00
001-19-510.51.00	OFFICE SUPPLIES	3,500.00	3,500.00	0.00	(995.26)	128.44
001-19-510.51.10	POSTAGE	1,500.00	1,500.00	0.00	110.31	92.65
001-19-510.52.10	JANITORIAL SUPPLIES	6,000.00	6,000.00	0.00	2,615.06	56.42
001-19-510.54.00	DUES & SUBSCRIPTIONS	400.00	400.00	0.00	4.97	98.76
001-19-510.64.01	CAPITAL OUTLAY	30,000.00	30,000.00	0.00	21,111.10	29.63
001-19-543.00.00	LICENSES & FEES	22,277.00	22,277.00	0.00	(1,933.74)	108.68
001-19-581.00.00	TRANSFER OUT	7,500.00	7,500.00	0.00	0.00	100.00
						91.20

Department: 21 LAW ENFORCEMENT		Description	Original Budget	Amended	Encumbrance	Available	% Used
001-21-500.12.00		REGULAR SALARIES	739,793.00	739,793.00	0.00	78,640.74	89.37
001-21-500.12.50		HOLIDAY PAY	29,634.00	29,634.00	0.00	(7,741.18)	126.12
001-21-500.14.00		SALARIES OVERTIME	5,000.00	5,000.00	0.00	(6,632.65)	232.65
001-21-500.14.16		HURRICANE PAY	32,328.00	32,328.00	0.00	11,693.36	63.83
001-21-500.15.00		EDUCATION INCENTIVE PAY	7,150.00	7,150.00	0.00	(469.29)	106.56
001-21-500.15.01		FIRST RESPONDER	6,000.00	6,000.00	0.00	42.86	99.29
001-21-500.21.00		FICA TAXES - EMPLOYER PORTION	62,723.00	62,723.00	0.00	7,503.92	88.04
001-21-500.22.02		POLICE PENSION	167,850.00	167,850.00	0.00	(30,322.27)	118.07
001-21-500.22.20		RETIREMENT TOWN EMPLOYEES	5,443.00	5,443.00	0.00	2,829.67	48.01
001-21-500.23.01		HEALTH INSURANCE	116,155.00	116,155.00	0.00	2,428.03	97.91
001-21-500.23.02		LIFE INSURANCE	2,766.00	2,766.00	0.00	(12.50)	100.45
001-21-500.23.10		STATUTORY AD&D	1,163.00	1,163.00	0.00	1,163.00	0.00
001-21-500.24.00		WORKERS COMPENSATION	9,398.00	9,398.00	0.00	0.00	100.00
001-21-500.25.00		UNEMPLOYMENT COMPENSATION	984.00	984.00	0.00	193.64	80.32
001-21-520.31.00		PROFESSIONAL SERVICES	725.00	725.00	0.00	575.00	20.69
001-21-520.34.40		DISPATCHING SERVICES	19,510.00	19,510.00	0.00	(290.00)	101.49
001-21-520.35.00		PRE-EMPLOYMENT EXPENSE	1,200.00	1,200.00	0.00	707.05	41.08
001-21-520.40.00		TRAVEL & MEETINGS	1,892.00	1,892.00	0.00	(605.75)	132.02
001-21-520.41.10		COMMUNICATION SERVICES	6,972.00	6,972.00	0.00	(1,212.01)	117.38
001-21-520.46.10		OFFICE EQUIPMENT MAINTENANCE	200.00	200.00	0.00	(112.98)	156.49
001-21-520.46.15		EQUIPMENT	11,260.00	11,260.00	0.00	2,371.30	78.94
001-21-520.46.16		RADAR CALIBRATION	550.00	550.00	0.00	149.50	72.82
001-21-520.46.20		VEHICLE MAINTENANCE	17,000.00	17,000.00	0.00	1,550.97	90.88
001-21-520.48.00		PROMOTIONAL ACTIVITIES	800.00	800.00	0.00	(333.39)	141.67
001-21-520.48.50		CRIME PREVENTION	500.00	500.00	0.00	500.00	0.00
001-21-520.51.10		POSTAGE	0.00	0.00	0.00	(124.72)	100.00
001-21-520.52.00		UNIFORMS	8,500.00	8,500.00	0.00	3,372.30	60.33
001-21-520.52.05		PROTECTIVE GEAR	13,531.00	13,531.00	0.00	6,555.58	51.55
001-21-520.52.50		GAS & OIL	20,000.00	20,000.00	0.00	741.68	96.29
001-21-520.52.70		MEDICAL	1,014.00	1,014.00	0.00	576.14	43.18
001-21-520.52.90		OPERATING SUPPLIES	2,400.00	2,400.00	0.00	630.15	73.74
001-21-520.54.00		DUES & SUBSCRIPTIONS	695.00	695.00	0.00	10.00	98.56

	Description	Original Budget	Amended	Encumbrance	Available	% Used
001-21-520.54.10	TRAINING & SCHOOLS	2,900.00	2,900.00	0.00	123.95	95.73
001-21-520.64.01	Capital Outlay	30,121.00	30,121.00	0.00	0.00	100.00
001-21-543.00.00	LICENSES & FEES	45,580.00	45,580.00	0.00	643.30	98.59
						94.52
Department: 22 FIRE CONTROL						
001-22-500.12.00	REGULAR SALARIES	101,038.00	101,038.00	0.00	7,196.30	92.88
001-22-500.14.16	HURRICANE PAY	1,890.00	1,890.00	0.00	(311.65)	116.49
001-22-500.14.50	STIPEND PAYROLL	38,000.00	38,000.00	0.00	20,861.00	45.10
001-22-500.21.00	FICA TAXES - EMPLOYER PORTION	10,636.00	10,636.00	0.00	1,789.02	83.18
001-22-500.22.01	RETIREMENT - ICMA	9,753.00	9,753.00	0.00	286.62	97.06
001-22-500.22.20	RETIREMENT TOWN EMPLOYEES	4,019.00	4,019.00	0.00	1,654.01	58.85
001-22-500.23.01	HEALTH INSURANCE	36,795.00	36,795.00	0.00	17,108.17	53.50
001-22-500.23.02	LIFE INSURANCE	136.00	136.00	0.00	23.40	82.79
001-22-500.23.10	STATUTORY AD&D	380.00	380.00	0.00	380.00	0.00
001-22-500.24.00	WORKERS COMPENSATION	9,000.00	9,000.00	0.00	0.00	100.00
001-22-500.25.00	UNEMPLOYMENT COMPENSATION	161.00	161.00	0.00	68.76	57.29
001-22-520.31.00	PROFESSIONAL SERVICES	1,000.00	1,000.00	0.00	1,000.00	0.00
001-22-520.34.40	DISPATCHING SERVICES	5,670.00	5,670.00	0.00	1,470.00	74.07
001-22-520.35.00	PRE-EMPLOYMENT EXPENSE	744.00	744.00	0.00	613.00	17.61
001-22-520.36.00	ANNUAL PHYSICALS	2,500.00	2,500.00	0.00	2,000.00	20.00
001-22-520.40.00	TRAVEL & MEETINGS	1,000.00	1,000.00	0.00	387.07	61.29
001-22-520.41.10	COMMUNICATION SERVICES	1,944.00	1,944.00	0.00	(58.32)	103.00
001-22-520.46.15	EQUIPMENT	10,000.00	10,000.00	0.00	6,920.35	30.80
001-22-520.46.20	VEHICLE MAINTENANCE	28,000.00	28,000.00	0.00	8,871.98	68.31
001-22-520.46.30	BUILDING MAINTENANCE	2,000.00	2,000.00	0.00	339.00	83.05
001-22-520.51.00	OFFICE SUPPLIES	600.00	600.00	0.00	268.73	55.21
001-22-520.52.00	UNIFORMS	5,000.00	5,000.00	0.00	2,983.87	40.32
001-22-520.52.02	S.C.B.A.	4,000.00	4,000.00	0.00	1,238.36	69.04
001-22-520.52.05	PROTECTIVE GEAR	3,200.00	3,200.00	0.00	1,726.25	46.05
001-22-520.52.10	JANITORIAL SUPPLIES	1,000.00	1,000.00	0.00	603.11	39.69
001-22-520.52.20	TOOLS & HARDWARE	3,000.00	3,000.00	0.00	1,919.75	36.01

	Description	Original Budget	Amended	Encumbrance	Available	% Used
001-22-520.52.50	GAS & OIL	3,200.00	3,200.00	0.00	1,660.50	48.11
001-22-520.52.70	MEDICAL	1,400.00	1,400.00	0.00	1,400.00	0.00
001-22-520.54.00	DUES & SUBSCRIPTIONS	610.00	610.00	0.00	26.00	95.74
001-22-520.54.10	TRAINING & SCHOOLS	5,525.00	5,525.00	0.00	1,730.00	68.69
001-22-520.54.12	TRAINING MATERIALS	2,000.00	2,000.00	0.00	(286.81)	114.34
001-22-520.64.01	Capital Outlay	82,369.00	82,369.00	0.00	2,909.98	96.47
001-22-543.00.00	LICENSES & FEES	24,983.00	24,983.00	0.00	(888.93)	103.56
001-22-581.00.00	TRANSFER OUT	35,000.00	35,000.00	0.00	0.00	100.00
						80.33
Department: 29 CODE ENFORCEMENT						
001-29-500.12.00	REGULAR SALARIES	39,520.00	39,520.00	0.00	15,466.85	60.86
001-29-500.21.00	FICA TAXES - EMPLOYER PORTION	3,023.00	3,023.00	0.00	831.02	72.51
001-29-500.22.20	RETIREMENT TOWN EMPLOYEES	5,363.00	5,363.00	0.00	1,951.89	63.60
001-29-500.23.01	HEALTH INSURANCE	9,777.36	9,777.36	0.00	4,888.68	50.00
001-29-500.23.02	LIFE INSURANCE	45.04	45.04	0.00	22.52	50.00
001-29-500.23.10	STATUTORY AD&D	42.00	42.00	0.00	42.00	0.00
001-29-500.24.00	WORKERS COMPENSATION	300.00	300.00	0.00	0.00	100.00
001-29-500.25.00	UNEMPLOYMENT COMPENSATION	126.00	126.00	0.00	100.25	20.44
001-29-520.40.00	TRAVEL & MEETINGS	125.00	125.00	0.00	96.72	22.62
001-29-520.46.20	VEHICLE MAINTENANCE	150.00	150.00	0.00	150.00	0.00
001-29-520.48.55	FIRE PREVENTION	4,900.00	4,900.00	0.00	300.00	93.88
001-29-520.51.00	OFFICE SUPPLIES	0.00	0.00	0.00	(426.25)	100.00
001-29-520.51.10	POSTAGE	450.00	450.00	0.00	(588.89)	230.86
001-29-520.51.20	RECORDING COSTS	250.00	250.00	0.00	250.00	0.00
001-29-520.52.00	UNIFORMS	300.00	300.00	0.00	300.00	0.00
001-29-520.54.00	DUES & SUBSCRIPTIONS	150.00	150.00	0.00	150.00	0.00
001-29-520.54.10	TRAINING & SCHOOLS	300.00	300.00	0.00	300.00	0.00
001-29-520.64.01	Capital Outlay	40,177.60	40,177.60	0.00	26,677.60	33.60
001-29-543.00.00	LICENSES & FEES	1,000.00	1,000.00	0.00	0.00	100.00
						52.35

Department: 41 PUBLIC WORKS	Description	Original Budget	Amended	Encumbrance	Available	% Used
001-41-500.12.00	REGULAR SALARIES	230,932.00	230,932.00	0.00	19,420.27	91.59
001-41-500.14.00	SALARIES OVERTIME	1,500.00	1,500.00	0.00	770.38	48.64
001-41-500.14.16	HURRICANE PAY	0.00	0.00	0.00	(1,740.35)	100.00
001-41-500.21.00	FICA TAXES - EMPLOYER PORTION	17,666.30	17,666.30	0.00	1,133.55	93.58
001-41-500.22.20	RETIREMENT TOWN EMPLOYEES	31,476.03	31,476.03	0.00	2,231.54	92.91
001-41-500.23.01	HEALTH INSURANCE	38,510.00	38,510.00	0.00	301.04	99.22
001-41-500.23.02	LIFE INSURANCE	534.00	534.00	0.00	245.75	53.98
001-41-500.23.10	STATUTORY AD&D	83.00	83.00	0.00	83.00	0.00
001-41-500.24.00	WORKERS COMPENSATION	19,796.00	19,796.00	0.00	0.00	100.00
001-41-500.25.00	UNEMPLOYMENT COMPENSATION	277.12	277.12	0.00	48.74	82.41
001-41-530.43.15	ELECTRICAL WORK	8,000.00	8,000.00	0.00	7,725.00	3.44
001-41-530.43.50	DUMP SERVICE	160.00	160.00	0.00	160.00	0.00
001-41-530.46.12	MAINTENANCE SUPPLIES	1,500.00	1,500.00	0.00	972.57	35.16
001-41-530.46.15	EQUIPMENT MAINTENANCE	5,000.00	5,000.00	0.00	4,975.22	0.50
001-41-530.46.20	VEHICLE MAINTENANCE	13,000.00	13,000.00	0.00	1,417.20	89.10
001-41-530.46.30	BUILDING MAINTENANCE	13,000.00	13,000.00	0.00	7,184.21	44.74
001-41-530.46.31	MAINTENANCE OLD TOWN HALL	500.00	500.00	0.00	(1,688.37)	437.67
001-41-530.46.32	RYCKMAN HOUSE	300.00	300.00	0.00	291.02	2.99
001-41-530.46.33	OLD POST OFFICE REPAIRS	300.00	300.00	0.00	300.00	0.00
001-41-530.46.35	PIER MAINTENANCE	300.00	300.00	0.00	24.38	91.87
001-41-530.46.40	GROUNDS MAINTENANCE	6,500.00	6,500.00	0.00	2,491.75	61.67
001-41-530.46.43	TREE EXPENSE	2,709.00	2,709.00	0.00	1,209.00	55.37
001-41-530.52.00	UNIFORMS	1,875.00	1,875.00	0.00	1,493.96	20.32
001-41-530.52.05	PROTECTIVE GEAR	1,000.00	1,000.00	0.00	(396.52)	139.65
001-41-530.52.20	TOOLS & HARDWARE	5,500.00	5,500.00	0.00	(94.85)	101.72
001-41-530.52.25	TOOL RENTALS	1,000.00	1,000.00	0.00	1,000.00	0.00
001-41-530.52.50	GAS & OIL	7,500.00	7,500.00	0.00	3,873.67	48.35
001-41-530.53.10	STREET REPAIR	9,000.00	9,000.00	0.00	7,281.68	19.09
001-41-530.53.20	STREET SIGNS	3,800.00	3,800.00	0.00	(2,787.70)	173.36
001-41-530.54.10	TRAINING & SCHOOLS	500.00	500.00	0.00	71.25	85.75

	Description	Original Budget	Amended	Encumbrance	Available	% Used
001-41-530.64.01	CAPITAL OUTLAY	4,000.00	4,000.00	0.00	4,000.00	0.00
						85.45
Department: 42 GROUNDS KEEPIN						
001-42-530.34.91	LANDSCAPING	15,000.00	15,000.00	0.00	10,570.81	29.53
001-42-530.46.15	EQUIPMENT MAINTENANCE	3,700.00	3,700.00	0.00	1,267.99	65.73
001-42-530.46.40	GROUNDS MAINTENANCE	15,000.00	15,000.00	0.00	(503.66)	103.36
001-42-530.52.05	PROTECTIVE GEAR	200.00	200.00	0.00	21.74	89.13
001-42-530.52.20	TOOLS & HARDWARE	1,200.00	1,200.00	0.00	118.61	90.12
001-42-530.52.50	GAS & OIL	1,200.00	1,200.00	0.00	(163.11)	113.59
001-42-530.64.01	CAPITAL OUTLAY	4,250.00	4,250.00	0.00	4,250.00	0.00
						61.62

Overall Expenditure Rate:

91.17

Fund: 104 ENVIRONMENTAL ADVIS

Account Category: Revenues

Department: 00

104-00-271.00.99	CARRY FORWARD	12,841.27	12,841.27	0.00	12,841.27	0.00
104-00-366.47.00	DONATIONS	0.00	0.00	0.00	(63.92)	100.00
104-00-381.00.00	TRANSFERS IN	3,000.00	3,000.00	0.00	0.00	100.00
						19.34

Account Category: Expenditures

Department: 72 PARKS & RECREA

104-72-570.46.40	GROUNDS MAINTENANCE	500.00	500.00	0.00	500.00	0.00
104-72-570.46.43	TREE EXPENSE	500.00	500.00	0.00	500.00	0.00
104-72-570.49.90	ADOPT AN AREA	500.00	500.00	0.00	396.78	20.64
104-72-570.51.00	OFFICE SUPPLIES	350.00	350.00	0.00	350.00	0.00
104-72-570.52.00	UNIFORMS	80.00	80.00	0.00	80.00	0.00
104-72-570.64.01	CAPITAL OUTLAY	1,200.00	1,200.00	0.00	1,200.00	0.00
104-72-570.83.01	SUNSHINE JIM	1,500.00	1,500.00	0.00	114.50	92.37

	Description	Original Budget	Amended	Encumbrance	Available	% Used
104-72-570.90.01	SPECIAL EVENTS	0.00	0.00	0.00	(653.10)	100.00
					2,488.18	46.26
Fund: 107 PARKS BOARD						
Account Category: Revenues						
Department: 00						
107-00-366.19.00	KID'S BUSINESS FAIR DONATIONS	6,500.00	6,500.00	0.00	1,130.00	82.62
107-00-381.00.00	TRANSFERS IN	2,304.64	2,304.64	0.00	0.00	100.00
						87.17
Account Category: Expenditures						
Department: 72 PARKS & RECREATION						
107-72-570.48.60	EASTER EGG HUNT	430.00	430.00	0.00	(705.96)	264.18
107-72-570.48.90	RECREATION PROGRAMS	2,000.00	2,000.00	0.00	671.77	66.41
107-72-570.48.91	KID'S BUSINESS FAIR	6,000.00	6,000.00	0.00	1,927.34	67.88
						77.54
Fund: 125 BUILDING DEPT						
Account Category: Revenues						
Department: 24 PROTECTIVE INSP						
125-24-322.00.00	BUILDING PERMITS	187,150.00	187,150.00	0.00	(7,534.30)	104.03
125-24-322.00.01	PERMIT SEARCH REQUEST	0.00	0.00	0.00	(300.00)	100.00
125-24-322.10.00	ZONING PLAN REVIEW	5,000.00	5,000.00	0.00	4,550.00	9.00
125-24-322.10.10	SITE PLAN REVIEW P&Z	7,020.00	7,020.00	0.00	3,322.50	52.67
125-24-322.20.00	BUILDING PLAN REVIEW	6,500.00	6,500.00	0.00	5,450.00	16.15
125-24-322.31.00	BOA ADVERTISING COSTS	450.00	450.00	0.00	(179.44)	139.88
125-24-329.00.00	OTHER LICENSES, FEES & PERMITS	11,500.00	11,500.00	0.00	(5,014.82)	143.61
125-24-329.00.10	BOA VARIANCE FEES	5,000.00	5,000.00	0.00	3,350.00	33.00
125-24-353.00.00	POLLUTION CONTROL	0.00	0.00	0.00	(500.00)	100.00
125-24-354.00.00	LOCAL ORDINANCE VIOLATION	6,000.00	6,000.00	0.00	(12,109.57)	301.83
125-24-369.00.00	MISCELLANEOUS REVENUE	100.00	100.00	0.00	100.00	0.00

	Description	Original Budget	Amended	Encumbrance	Available	% Used
125-24-381.00.00	TRANSFERS IN	22,000.00	22,000.00	0.00	0.00	100.00
						103.54
Account Category: Expenditures						
125-24-500.12.00	REGULAR SALARIES	165,324.00	165,324.00	0.00	5,769.08	96.51
125-24-500.14.00	SALARIES OVERTIME	500.00	500.00	0.00	(115.38)	123.08
125-24-500.14.16	HURRICANE PAY	0.00	0.00	0.00	(1,471.25)	100.00
125-24-500.21.00	FICA TAXES - EMPLOYER PORTION	12,685.54	12,685.54	0.00	403.74	96.82
125-24-500.22.20	RETIREMENT TOWN EMPLOYEES	22,601.81	22,601.81	0.00	448.79	98.01
125-24-500.23.01	HEALTH INSURANCE	12,050.52	12,050.52	0.00	(1,387.00)	111.51
125-24-500.23.02	LIFE INSURANCE	112.00	112.00	0.00	8.40	92.50
125-24-500.23.10	STATUTORY AD&D	42.00	42.00	0.00	42.00	0.00
125-24-500.25.00	UNEMPLOYMENT COMPENSATION	198.39	198.39	0.00	27.77	86.00
125-24-520.31.00	PROFESSIONAL SERVICES	27,167.92	27,167.92	0.00	27,167.92	0.00
125-24-520.40.00	TRAVEL & MEETINGS	0.00	0.00	0.00	(1,323.66)	100.00
125-24-520.41.10	COMMUNICATION SERVICES	390.00	390.00	0.00	(650.44)	266.78
125-24-520.46.20	VEHICLE MAINTENANCE	500.00	500.00	0.00	(1,879.61)	475.92
125-24-520.51.00	OFFICE SUPPLIES	75.00	75.00	0.00	(138.36)	284.48
125-24-520.51.10	POSTAGE	25.00	25.00	0.00	(4.04)	116.16
125-24-520.52.00	UNIFORMS	150.00	150.00	0.00	141.94	5.37
125-24-520.52.20	TOOLS & HARDWARE	100.00	100.00	0.00	100.00	0.00
125-24-520.52.50	GAS & OIL	350.00	350.00	0.00	(301.74)	186.21
125-24-520.54.00	DUES & SUBSCRIPTIONS	1,500.00	1,500.00	0.00	1,415.00	5.67
125-24-543.00.00	LICENSES & FEES	3,824.00	3,824.00	0.00	223.00	94.17
						88.50
Fund: 172 OCEAN PARK PARKING						
Account Category: Revenues						
Department: 00						
172-00-271.00.99	CARRY FORWARD	92,614.95	92,614.95	0.00	92,614.95	0.00
						0.00

Department: 75 TOWN PARKS		Description	Original Budget	Amended	Encumbrance	Available	% Used
172-75-342.10.00		PARKING TICKET REVENUE	7,500.00	7,500.00	0.00	900.00	88.00
172-75-344.50.00		PARKING METER REVENUE	82,000.00	82,000.00	0.00	(39,186.37)	147.79
							142.78
Account Category: Expenditures							
172-75-500.12.00		REGULAR SALARIES	50,000.00	50,000.00	0.00	15,192.24	69.62
172-75-500.12.50		HOLIDAY PAY	2,308.00	2,308.00	0.00	577.23	74.99
172-75-500.14.00		SALARIES OVERTIME	0.00	0.00	0.00	(594.97)	100.00
172-75-500.14.16		HURRICANE PAY	1,730.00	1,730.00	0.00	1,730.00	0.00
172-75-500.15.01		FIRST RESPONDER	600.00	600.00	0.00	175.00	70.83
172-75-500.21.00		FICA TAXES - EMPLOYER PORTION	3,825.00	3,825.00	0.00	970.23	74.63
172-75-500.23.01		HEALTH INSURANCE	7,164.00	7,164.00	0.00	7,164.00	0.00
172-75-500.23.02		LIFE INSURANCE	264.00	264.00	0.00	264.00	0.00
172-75-500.23.10		STATUTORY AD&D	106.00	106.00	0.00	106.00	0.00
172-75-500.24.00		WORKERS COMPENSATION	854.00	854.00	0.00	165.00	80.68
172-75-500.25.00		UNEMPLOYMENT COMPENSATION	67.00	67.00	0.00	28.64	57.25
172-75-543.00.00		LICENSES & FEES	0.00	0.00	0.00	(300.00)	100.00
172-75-575.31.02		LIFEGUARD CONTRACT	0.00	0.00	0.00	(18,617.00)	100.00
172-75-575.32.90		BANKING FEES	5,000.00	5,000.00	0.00	903.58	81.93
172-75-575.34.10		JANITORIAL CLEANING	1,800.00	1,800.00	0.00	(730.00)	140.56
172-75-575.34.91		LANDSCAPING	800.00	800.00	0.00	800.00	0.00
172-75-575.41.10		COMMUNICATIONS FEE	4,300.00	4,300.00	0.00	(2,467.18)	157.38
172-75-575.43.10		ELECTRICITY	2,400.00	2,400.00	0.00	275.10	88.54
172-75-575.43.20		WATER & SEWER	1,200.00	1,200.00	0.00	(256.10)	121.34
172-75-575.46.12		MAINTENANCE SUPPLIES	3,000.00	3,000.00	0.00	(1,479.07)	149.30
172-75-575.46.31		BUILDING MAINT RESTROOMS	950.00	950.00	0.00	412.13	56.62
172-75-575.46.40		GROUNDS MAINTENANCE	500.00	500.00	0.00	(2,150.30)	530.06
172-75-575.52.10		JANITORIAL SUPPLIES	350.00	350.00	0.00	(839.86)	339.96
172-75-575.52.25		TOOL RENTAL	356.00	356.00	0.00	356.00	0.00
172-75-575.53.15		PARKING LOT REPAIRS	300.00	300.00	0.00	(4,690.00)	1,663.33
172-75-575.53.20		SIGNS	300.00	300.00	0.00	243.02	18.99
172-75-575.63.03		VOLLEYBALL COURT	500.00	500.00	0.00	(10.29)	102.06

	Description	Original Budget	Amended	Encumbrance	Available	% Used
172-75-575.63.05	BOCCE BALL COURT	300.00	300.00	0.00	300.00	0.00
172-75-764.10.00	Filing Fee Clerk-Parking Ticke	0.00	0.00	0.00	(10.00)	100.00
						102.79
Fund: 175 RYCKMAN CROSSOVER						
Account Category: Revenues						
Department: 00						
175-00-271.00.99	CARRY FORWARD	51,729.86	51,729.86	0.00	51,729.86	0.00
175-00-381.00.00	TRANSFERS IN	29,569.04	29,569.04	0.00	0.00	100.00
						36.37
Department: 75 TOWN PARKS						
175-75-342.10.00	PARKING TICKET REVENUE	7,000.00	7,000.00	0.00	2,800.00	60.00
175-75-344.50.00	PARKING METER REVENUE	80,000.00	80,000.00	0.00	19,113.90	76.11
175-75-344.50.10	PARK PASS REVENUE	2,900.00	2,900.00	0.00	(2,000.00)	168.97
175-75-347.41.00	FOUNDER'S DAY	8,000.00	8,000.00	0.00	1,537.50	80.78
175-75-347.50.00	FACILITY RENTALS	5,000.00	5,000.00	0.00	(4,934.12)	198.68
175-75-347.90.01	SPECIAL EVENTS	0.00	0.00	0.00	(2,555.00)	100.00
						86.43
Account Category: Expenditures						
175-75-575.32.90	BANKING FEES	2,800.00	2,800.00	0.00	69.05	97.53
175-75-575.41.15	IPS COMMUNICATION FEE	2,400.00	2,400.00	0.00	(1,316.65)	154.86
175-75-575.43.15	ELECTRICAL WORK/PARTS	0.00	0.00	0.00	(361.58)	100.00
175-75-575.46.30	BUILDING MAINTENANCE	0.00	0.00	0.00	(463.83)	100.00
175-75-575.47.00	PRINTING	1,500.00	1,500.00	0.00	300.26	79.98
175-75-575.48.10	FOUNDERS DAY	8,000.00	8,000.00	0.00	307.92	96.15
175-75-575.48.50	MOVIES IN THE PARK	1,350.00	1,350.00	0.00	296.35	78.05
175-75-575.48.51	FOURTH OF JULY	1,000.00	1,000.00	0.00	500.00	50.00
175-75-575.48.52	FALL FESTIVAL	4,000.00	4,000.00	0.00	2,053.24	48.67
175-75-575.48.53	CHRISTMAS DECORATIONS	4,500.00	4,500.00	0.00	(1,267.02)	128.16
175-75-575.49.98	CONTINGENCY	29,569.04	29,569.04	0.00	29,569.04	0.00
175-75-575.50.00	RECREATION PROGRAMS	9,350.00	9,350.00	0.00	2,800.00	70.05

	Description	Original Budget	Amended	Encumbrance	Available	% Used
175-75-575.63.01	TENNIS COURT	250.00	250.00	0.00	(145.88)	158.35
175-75-575.63.02	BASKETBALL COURT	200.00	200.00	0.00	179.43	10.29
175-75-575.63.06	PLAYGROUND EQUIPMENT	5,000.00	5,000.00	0.00	4,401.00	11.98
175-75-575.64.01	CAPITAL OUTLAY	0.00	0.00	0.00	(184.40)	100.00
175-75-575.73.00	CULTURAL SERVICES	500.00	500.00	0.00	500.00	0.00
175-75-581.00.00	TRANSFER OUT	44,500.00	21,852.36	0.00	0.00	100.00
						59.64
Fund: 351 LAND & ROAD IMPROVE						
Account Category: Revenues						
Department: 00						
351-00-271.00.99	CARRY FORWARD	44,181.27	44,181.27	0.00	44,181.27	0.00
351-00-381.00.00	TRANSFERS IN	40,000.00	40,000.00	0.00	40,000.00	0.00
						0.00
Account Category: Expenditures						
351-00-581.00.00	TRANSFER OUT	29,569.04	29,569.04	0.00	0.00	100.00
						100.00
Department: 41 PUBLIC WORKS						
351-41-570.34.91	LANDSCAPING	3,000.00	3,000.00	0.00	3,000.00	0.00
351-41-570.46.40	GROUNDS MAINTENANCE	2,500.00	2,500.00	0.00	2,500.00	0.00
351-41-570.53.20	STREET SIGNS	430.96	430.96	0.00	0.00	100.00
351-41-570.64.01	CAPITAL OUTLAY	17,500.00	17,500.00	0.00	16,000.00	8.57
						8.24

Parking Revenue FY Comparison

FY24	Nov-23	Dec-24	Jan-24	Feb-24	Mar-24	Apr-24	May-24	Jun-24	Jul-24	Aug-24	TOTAL
Ocean	3,669.99	2,544.37	2,412.50	3,359.78	10,650.19	10,584.79	11,999.21	11,707.57	13,209.28	7,281.57	81,742.79
Ryckman	4,085.40	5,833.19	5,111.66	6,927.64	10,600.74	9,782.44	9,917.90	8,116.48	8,718.81	6,675.88	81,386.61
Total	7,755.39	8,377.56	7,524.16	10,287.42	21,250.93	20,367.23	21,917.11	19,824.05	21,928.09	13,957.45	163,129.40

FY25	Nov-24	Dec-24	Jan-25	Feb-25	Mar-25	Apr-25	May-25	Jun-25	Jul-25	Aug-25	TOTAL
Ocean	2,900.74	2,869.44	3,091.02	7,803.67	16,387.80	16,124.74	13,865.65	16,475.07	19,141.32	12,551.44	116,954.52
Ryckman	5,728.84	5,775.62	4,575.43	5,134.66	6,425.29	5,687.30	4,593.15	5,476.05	7,175.77	5,532.56	58,202.15
Total	8,629.58	8,645.06	7,666.45	12,938.33	22,813.09	21,812.04	18,458.80	21,951.12	26,317.09	18,084.00	175,156.67



SHEPARD, SMITH, HAND & BRACKINS, P.A.
ATTORNEYS & COUNSELORS AT LAW

INVOICE

Shepard, Smith, Hand & Brackins, P.A.
2300 Maitland Center Parkway, Suite 100
Maitland, FL 32751

Invoice #: 25767
Date: 08-31-2025

Town of Melbourne Beach
507 Ocean Avenue
Melbourne Beach, FL 32951

Matter Number: 240209 - Town of Melbourne Beach - Elected Officials
Matter Name: Elected Officials

Services

Date	Atty	Description	Quantity	Rate	Total
08-01-25	RGK	Email Correspondence: Email from Commissioner Reed Re Special Meeting Request: Commission to Vote On Specific FY26 Budget Items	0.10	200.00	\$20.00
08-01-25	RGK	Phone conference with Commissioner Barlow Re Executive Search RFP	0.30	200.00	\$60.00
08-04-25	RGK	Email Correspondence: Emails from Mayor Dennington and Jennifer Kerr RE: Finance Records Check and Cc Disbursement Reports - 1 week followup PRR-2025-128: Confirmation	0.10	200.00	\$20.00
08-04-25	RGK	Email Correspondence: Email from Tim Reed Re Setback Variance # VV2025-0001	0.10	200.00	\$20.00
08-05-25	RGK	Email Correspondence: Email to all Commissioners Re Meeting with Jim Dinneen (MGT)	0.20	200.00	\$40.00
08-05-25	RGK	Email Correspondence: Emails with Robert Baldwin RE: Meeting with Jim Dinneen (MGT)	0.10	200.00	\$20.00
08-05-25	RGK	Email Correspondence: Emails with Commissioner Butler RE: Meeting with Jim Dinneen (MGT)	0.10	200.00	\$20.00
08-05-25	RGK	Email Correspondence: Emails with Commissioner Barlow RE: Meeting with Jim Dinneen (MGT)	0.10	200.00	\$20.00

08-05-25	RGK	Phone conference with Commissioner Barlow Re MGT and meeting, and STRS	0.70	200.00	\$140.00
08-06-25	RGK	Email Correspondence: Emails with Mayor Dennington RE: Meeting with Jim Dinneen (MGT)	0.20	200.00	\$40.00
08-06-25	RGK	Email Correspondence: Emails with Commissioner Reed RE: Meeting with Jim Dinneen (MGT)	0.10	200.00	\$20.00
08-06-25	RGK	Email Correspondence: Email from Mayor Dennington Re Possible Phishing/Cyber issue, Error, PRR or other? : Bid Proposal Invitation :OMNI STRUCTURAL INC	0.10	200.00	\$20.00
08-07-25	RGK	Review and analyze Chapter 112, Fla. Stat., Re ethics inquiry of police uniform on personal social media from Mayor	0.60	200.00	\$120.00
08-07-25	RGK	Email Correspondence: Email to Mayor Dennington Re Outstanding Public Records Requests	0.60	200.00	\$120.00
08-12-25	RGK	Email Correspondence: Emails with Commissioner Reed RE: Status on Magistrate items for 206 4th Ave & 1109 Atlantic St	0.30	200.00	\$60.00
08-12-25	RGK	Phone conference with Mayor Dennington Re JLAC and, permit records, and fire data	0.50	200.00	\$100.00
08-13-25	RGK	Email Correspondence: Email to all Commissioners Re Monique Miller JLAC Request	0.30	200.00	\$60.00
08-14-25	RGK	Email Correspondence: Emails with Commissioner Butler RE: Monique Miller JLAC Request	0.10	200.00	\$20.00
08-19-25	RGK	Phone conference with Mayor Dennington Re public records request, candidate qualifications, and 8/19 budget meeting	0.70	200.00	\$140.00
08-20-25	RGK	Phone conference with Commissioner Barlow Re special and regular meeting agenda items	0.70	200.00	\$140.00
08-21-25	RGK	Email Correspondence: Email to all Commissioners Re Interim Town Manager	0.30	200.00	\$60.00
08-21-25	RGK	Email Correspondence: Email to all Commissioners Re SB 268 - Mayor and Commissioner Public Records Exemption	0.20	200.00	\$40.00
08-22-25	RGK	Email Correspondence: Emails with Commissioner Butler RE: SB 268 - Mayor and Commissioner Public Records Exemption	0.10	200.00	\$20.00
08-22-25	RGK	Email Correspondence: Emails with Mayor Dennington RE: SB 268 - Mayor and Commissioner Public Records Exemption	0.10	200.00	\$20.00
08-22-25	RGK	Email Correspondence: Email to Mayor Dennington Re MUST SIGN TODAY - 2024 Premium Tax Distribution	0.10	200.00	\$20.00
08-25-25	RGK	Email Correspondence: Email from Mayor Dennington Re: 8-22-2025 Updated Budget	0.10	200.00	\$20.00

08-25-25	RGK	Phone conference with Commissioner Butler Re restricted funds for parking	0.10	200.00	\$20.00
08-25-25	RGK	Phone conference with Dawn Barlow Re interim town manager, job posting, and upcoming budget meetings	0.70	200.00	\$140.00
08-26-25	RGK	Email Correspondence: Emails with Mayor Dennington RE: PRR-2025-??? Re: Dennington Social Media, Text, etc New Public Records Request	0.30	200.00	\$60.00
08-26-25	RGK	Email Correspondence: Emails with Mayor Dennington RE: PRR-2025-129 and PRR-2025-130 - Fire Data, PRR shaming, and prior requests, recall the Email I sent July 14, and followups thereafter were totally ignored	0.40	200.00	\$80.00
08-28-25	RGK	Email Correspondence: Email from Mayor Dennington Re: PRR-2025-129 and PRR-2025-130 - Fire Data, PRR shaming, and prior requests, recall the Email I sent July 14, and followups thereafter were totally ignored	0.10	200.00	\$20.00

Services Subtotal: \$1,700.00

Subtotal	\$1,700.00
Total	\$1,700.00
Payment	\$0.00
Balance Owing	\$1,700.00

Trust Account Balance \$0.00

Operating Retainer Account Balance \$0.00

Total Matter Balance \$1,700.00

Tax ID #32-0242557

Payable upon receipt. Please remit payment to: Shepard, Smith, Hand & Brackins, P.A.. To pay by credit card, debit card or eCheck please use the link below.

<https://secure.lawpay.com/pages/shepardfirm/operating>



SHEPARD, SMITH, HAND & BRACKINS, P.A.
ATTORNEYS & COUNSELORS AT LAW

INVOICE

Shepard, Smith, Hand & Brackins, P.A.
2300 Maitland Center Parkway, Suite 100
Maitland, FL 32751

Invoice #: 25768
Date: 08-31-2025

Town of Melbourne Beach
507 Ocean Avenue
Melbourne Beach, FL 32951

Matter Number: 240013 - Town of Melbourne Beach - General
Matter Name: General

Services

Date	Atty	Description	Quantity	Rate	Total
08-01-25	RGK	Email Correspondence: Emails with Anne Lewis RE: Town of Melbourne Beach - Executive Search RFP	0.10	200.00	\$20.00
08-04-25	RGK	Email Correspondence: Emails from TM and Mayor Dennington Re FLC package & Followup still missing Budget info since July 15	0.20	200.00	\$40.00
08-04-25	RGK	Email Correspondence: Emails with Shanna Bottoms RE: Short Term Rental in commercial district	0.30	200.00	\$60.00
08-04-25	RGK	Email Correspondence: Emails with TM RE: Setback Variance # VV2025-0001	0.10	200.00	\$20.00
08-04-25	RGK	Meet with staff and attend Commission special meeting Re Executive Search RFP	3.80	200.00	\$760.00
08-05-25	RGK	Email Correspondence: Email to James Dinneen Re Melbourne Beach RFP - MGT	0.20	200.00	\$40.00
08-05-25	RGK	Phone conference with Jim Dinneen Re MGT agreement and Town award of RFP	0.70	200.00	\$140.00
08-05-25	RGK	Email Correspondence: Emails with Shanna Bottoms RE: Short Term Rental in commercial district	0.20	200.00	\$40.00

08-05-25	RGK	Email Correspondence: Emails with TM, Amber Brown, Jennifer Kerr FW: [EXTERNAL]Melbourne Beach RFP - MGT	0.20	200.00	\$40.00
08-05-25	RGK	Email Correspondence: Emails with Michele Morawski RE: [EXTERNAL]Melbourne Beach RFP - MGT	0.20	200.00	\$40.00
08-06-25	RGK	Email Correspondence: Emails with Planning and Zoning Board Members RE: Senate Bill 180	0.20	200.00	\$40.00
08-06-25	RGK	Email Correspondence: Emails with TM RE: Setback Variance # VV2025-0001	0.10	200.00	\$20.00
08-06-25	RGK	Email Correspondence: Emails with TM RE: HaleyWard	0.10	200.00	\$20.00
08-06-25	RGK	Email Correspondence: Email to David Baggett RE: Town of Melbourne Beach CCNA Agreement	0.10	200.00	\$20.00
08-06-25	RGK	Review and revise MGT agreement with Town	1.30	200.00	\$260.00
08-06-25	AJH	Confer w/ RK re: Town matters, records requests	0.20	225.00	\$45.00
08-06-25	RGK	Email Correspondence: Email to TM, Amber Brown and Jennifer Kerr Re Meeting Schedule with Jim Dinneen	0.20	200.00	\$40.00
08-06-25	RGK	Email Correspondence: Emails with Judy Schmittgens RE: Melbourne Beach Town Manager recruitment MSA	0.20	200.00	\$40.00
08-06-25	RGK	Email Correspondence: Email to Jim Dinneen Re Melbourne Beach - Meeting with Commissioners and Department Heads	0.20	200.00	\$40.00
08-06-25	RGK	Email Correspondence: Email to Jim Dinneen FW: Meeting with Jim Dinneen (MGT)	0.10	200.00	\$20.00
08-06-25	RGK	Phone conference with Mayor Dennington Re code enforcement removal of shrubs and potential pending litigation	0.40	200.00	\$80.00
08-07-25	RGK	Email Correspondence: Email from Mayor Dennington Re Newest info - 400 Magnolia - Fw: Hedge Row	0.10	200.00	\$20.00
08-07-25	RGK	Email Correspondence: Email from Mayor Dennington Fw: June '23 approval of code endorsement compliance	0.10	200.00	\$20.00
08-07-25	RGK	Email Correspondence: Email from Mayor Dennington Fw: 400 Magnolia Ave - Notice of Violation	0.10	200.00	\$20.00
08-07-25	RGK	Email Correspondence: Email to TM FW: Newest info - 400 Magnolia - Fw: Hedge Row	0.10	200.00	\$20.00
08-07-25	RGK	Analyze code enforcement notice of violation, emails correspondences, with FDOT, Town Code of Ordinances, and communications with homeowner Re 400 Magnolia	1.10	200.00	\$220.00
08-07-25	RGK	Phone conference with Paul Bailey Re 400 Magnolia	0.40	200.00	\$80.00

08-07-25	RGK	Email Correspondence: Emails with Anne Lewis RE: Town of Melbourne Beach - Executive Search RFP	0.20	200.00	\$40.00
08-07-25	RGK	Email Correspondence: Email to Paul Bailey Re 400 Magnolia Avenue	0.20	200.00	\$40.00
08-07-25	RGK	Email Correspondence: Email correspondences Re Legal/Potentially Confidential/Privileged - Potentially Lawsuit - 400 Magnolia: Hedge Row	0.40	200.00	\$80.00
08-07-25	RGK	Email Correspondence: Email from Paul Bailey Re: 400 Magnolia Avenue	0.10	200.00	\$20.00
08-08-25	RGK	Email Correspondence: Emails with Jennifer Kerr, Amber Brown and TM RE: Meeting Schedule with Jim Dinneen	0.10	200.00	\$20.00
08-08-25	RGK	Review code enforcement file, Code of Ordinances, and 1985 Standard Unsafe Building Code Re abatement of 409 Third Avenue	1.80	200.00	\$360.00
08-08-25	RGK	Phone conference with Shanna Bottoms Re 400 Magnolia	0.30	200.00	\$60.00
08-08-25	RGK	Phone conference with Commissioner Reed Re 418 Riverview building permit	0.30	200.00	\$60.00
08-08-25	RGK	Email Correspondence: Email to all Commissioners RE: Legal/Potentially Confidential/Privileged - Potentially Lawsuit - 400 Magnolia: Hedge Row	0.30	200.00	\$60.00
08-08-25	RGK	Phone conference with Commissioner Baldwin Re 400 Magnolia	0.20	200.00	\$40.00
08-08-25	RGK	Email Correspondence: Email from Shanna Bottoms with Amended Notice of Violation and correspondences with owner Re 207 Flamingo Code Enforcement	0.20	200.00	\$40.00
08-08-25	RGK	Phone conference with Shanna Bottoms Re 207 Flamingo	0.10	200.00	\$20.00
08-08-25	RGK	Review Code of Ordinances and case law Re setback variance and expiration of variance (#2025-0001)	0.70	200.00	\$140.00
08-08-25	RGK	Email Correspondence: Emails with Bob Schaefer RE: Setback Variance # VV2025-0001	0.20	200.00	\$40.00
08-11-25	RGK	Phone conference with Shanna Bottoms Re 207 Flamingo presentation	0.20	200.00	\$40.00
08-11-25	RGK	Email Correspondence: Email from Shanna Bottoms with attachment RE: Meeting Today/Hearing Report for 207 Flamingo Code Enforcement	0.20	200.00	\$40.00
08-11-25	RGK	Email Correspondence: Email to Shanna Bottoms, TM, Jennifer Kerr, and Roberto Moreno RE: 409 Third Ave	0.80	200.00	\$160.00
08-11-25	RGK	Email Correspondence: Email to all Commissioners RE: Meeting with Jim Dinneen (MGT)	0.10	200.00	\$20.00

08-11-25	RGK	Email Correspondence: Email to Jim Dinneen RE: Melbourne Beach - Meeting with Commissioners and Department Heads (Updated)	0.10	200.00	\$20.00
08-11-25	RGK	Email Correspondence: Email from Judy Schmittgens RE: [EXTERNAL]RE: Melbourne Beach Town Manager recruitment MSA with revisions	0.10	200.00	\$20.00
08-12-25	RGK	Email Correspondence: Emails with Jennifer Kerr and Jim Dinneen RE: Melbourne Beach - Meeting with Commissioners and Department Heads	0.10	200.00	\$20.00
08-12-25	RGK	Email Correspondence: Email to Shanna Bottoms FW: Status on Magistrate items for 206 4th Ave & 1109 Atlantic St	0.10	200.00	\$20.00
08-12-25	RGK	Email Correspondence: Emails with Judy Schmittgens RE: [EXTERNAL]RE: Melbourne Beach Town Manager recruitment MSA - Fully Executed Agreement	0.10	200.00	\$20.00
08-13-25	RGK	Phone conference with Jim Dinneen Re meeting schedule and documentation requested for job posting	0.80	200.00	\$160.00
08-13-25	RGK	Email Correspondence: Email to TM, Jennifer Kerr, and Amber Brown RE: Meeting Schedule with Jim Dinneen (Final-Updated)	0.10	200.00	\$20.00
08-13-25	RGK	Email Correspondence: Email to all Commissioners Re Meetings with Jim Dinneen Tomorrow	0.20	200.00	\$40.00
08-13-25	RGK	Email Correspondence: Emails with Jim Dinneen Re Melbourne Beach Documents and Requested Information	0.30	200.00	\$60.00
08-13-25	RGK	Draft correspondence to 1200 Orange Street Re Variance	0.50	200.00	\$100.00
08-13-25	RGK	Email Correspondence: Emails with Michele Morawski RE: [EXTERNAL]RE: Melbourne Beach Town Manager recruitment MSA - Fully Executed Agreement	0.10	200.00	\$20.00
08-13-25	RGK	Review and analyze statutory provisions related to JLAC and Auditor General; review correspondence Re JLAC request for audit; analyze JLAC rules and procedures governing audits and responses to JLAC audits	1.20	200.00	\$240.00
08-14-25	RGK	Email Correspondence: Emails with Julie Johnson RE: A1A Right of Way violation- Hedges Melbourne Beach	0.20	200.00	\$40.00
08-15-25	RGK	Phone conference with Bob Schafer Re 1200 Orange Street Variance	0.30	200.00	\$60.00
08-15-25	RGK	Research and review grant application and procedures in other municipalities; draft proposed grant application policy with Commission approval of grant applications and awards	2.10	200.00	\$420.00
08-15-25	RGK	Review FDLE Investigative Report Re Key Fobs	0.30	200.00	\$60.00
08-15-25	RGK	Email Correspondence: Email to Mayor Dennington Re FDLE Investigative Report - Key Fobs	0.10	200.00	\$20.00

08-15-25	RGK	Review and revise Old Town Hall Agreement with County; Review meeting minutes Re G&G Roofing proposal and authorization for roof repairs for revisions to Agreement	0.90	200.00	\$180.00
08-18-25	RGK	Draft ballot information and referendum language to submit to Brevard County Supervisor of Elections	1.20	200.00	\$240.00
08-18-25	RGK	Prepare for 8/20 regular meeting by review of agenda items and attachments	1.50	200.00	\$300.00
08-19-25	RGK	Phone conference with Jim Dinneen Re status of search and information needed	0.70	200.00	\$140.00
08-19-25	RGK	Research and analyze case law and AGOs Re candidate qualifications and residency factors for qualified electors	0.70	200.00	\$140.00
08-19-25	RGK	Meet with staff and attend special meeting	5.50	200.00	\$1,100.00
08-20-25	RGK	Phone conference with Bonnie Jensen Re police pension question	0.20	200.00	\$40.00
08-20-25	RGK	Meet with staff before and attendance at regular meeting	7.00	200.00	\$1,400.00
08-21-25	RGK	Phone conference with Chief Zander Re Interim Town Manager	0.10	200.00	\$20.00
08-21-25	RGK	Email Correspondence: Emails with Jim Dinneen Re Town Manager Job Description	0.10	200.00	\$20.00
08-22-25	RGK	Email Correspondence: Emails with Mayor Dennington RE: Interim Town Manager	0.20	200.00	\$40.00
08-22-25	RGK	Phone conference with Joel Stein Re Sign Ordinance	0.30	200.00	\$60.00
08-22-25	RGK	Draft Interim Town Manager Job Opening	0.60	200.00	\$120.00
08-22-25	RGK	Email Correspondence: Email to Jennifer Kerr, Amber Brown, and Elizabeth Mascaro Re Job Posting - Interim Town Manager	0.10	200.00	\$20.00
08-25-25	RGK	Phone conference with Jim Dinneen Re Update and brochure language	0.60	200.00	\$120.00
08-25-25	RGK	Review and revise Town Brochure for Town Manager position	0.30	200.00	\$60.00
08-25-25	RGK	Phone conference with TM Re Ocean Avenue and Rickman parking funds	0.30	200.00	\$60.00
08-25-25	RGK	Email Correspondence: Emails with Jim Dinneen RE: Brochure Language	0.10	200.00	\$20.00
08-25-25	RGK	Email Correspondence: Email to Amber Brown and Elizabeth Mascaro Re Photos of Town	0.10	200.00	\$20.00
08-25-25	RGK	Email Correspondence: Email to Commissioners Re Interim Town Manager Position	0.20	200.00	\$40.00

08-25-25	RGK	Email Correspondence: Email from Jennnifer Kerr FW: Interim Town Manager Submission	0.10	200.00	\$20.00
08-25-25	RGK	Email Correspondence: Email from Jennifer Kerr FW: Melbourne Beach Interim CM Submission	0.10	200.00	\$20.00
08-26-25	RGK	Meeting with Mayor and Chief Brown Re Fire data and fire reports	1.50	200.00	\$300.00
08-26-25	RGK	Attendance at Technology Advisory Board meeting	2.60	200.00	\$520.00
08-26-25	RGK	Email Correspondence: Email to Board Members RE: Agenda for the August 26th Technology Advisory Board Meeting	0.20	200.00	\$40.00
08-26-25	RGK	Prepare for 8/26 initial Technology Advisory Board meeting by review of Sunshine Law presentation, agenda, and resolution 2025-05	0.70	200.00	\$140.00
08-26-25	RGK	Email Correspondence: Email from Jennifer Kerr FW: Applicant for Interim Town Manager (Florida City Jobs)	0.10	200.00	\$20.00
08-27-25	RGK	Email Correspondence: Email from Mayor Dennington Re: Fraud and Abuse - Data hiding, Data Alteration - Melbourne Beach Fire Dept/Chief and Clerk- Budgetary Abuse, Fraud, Waste - 2025-129, and 2025-130.	0.10	200.00	\$20.00
08-27-25	RGK	Email Correspondence: Emails with Amber Brown and Mayor Dennington RE: 2023 Campaign Treasurer Report Letters	0.20	200.00	\$40.00
08-27-25	RGK	Email Correspondence: Email from Jennifer Kerr FW: Application for Interim Town Manager	0.20	200.00	\$40.00
08-27-25	RGK	Email Correspondence: Emails with Gail Gowdy RE: Agenda for the August 26th Technology Advisory Board Meeting	0.10	200.00	\$20.00
08-28-25	RGK	Phone conference with Jim Dinneen Re brochure language	0.20	200.00	\$40.00
08-28-25	RGK	Email Correspondence: Email to Commissioners Re Town Manager - proposed brochure language	0.20	200.00	\$40.00
08-28-25	RGK	Email Correspondence: Email to all Board Members RE: Agenda for the August 26th Technology Advisory Board Meeting	0.10	200.00	\$20.00
08-29-25	RGK	Review 2023 and 2024 meeting agenda items and minutes Re Place Planning agreement and renewal	2.20	200.00	\$440.00
08-29-25	RGK	Review of Place Planning & Design, Inc. Agreement Re professional planner services	0.30	200.00	\$60.00
08-29-25	RGK	Email Correspondence: Email from Jennifer Kerr FW: Submission for Melbourne Beach Town Manager	0.10	200.00	\$20.00
Services Subtotal: \$10,765.00					

Expenses

08-11-25	ER	RGK Travel Mileage: Melbourne Bch 8/4/25	1.00	116.20	\$116.20
08-25-25	ER	RGK Travel Mileage: 8/19/25 & 8/20/25 Melbourne	1.00	232.40	\$232.40

Expenses Subtotal: \$348.60

Subtotal	\$11,113.60
Total	\$11,113.60
Payment	\$0.00
Balance Owing	\$11,113.60

Trust Account Balance \$0.00

Operating Retainer Account Balance \$0.00

Total Matter Balance \$11,113.60

Tax ID #32-0242557

Payable upon receipt. Please remit payment to: Shepard, Smith, Hand & Brackins, P.A.. To pay by credit card, debit card or eCheck please use the link below.

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Shepard, Smith, Hand & Brackins, P.A.
2300 Maitland Center Parkway, Suite 100
Maitland, FL 32751

Invoice #: 25769
Date: 08-31-2025

Town of Melbourne Beach
507 Ocean Avenue
Melbourne Beach, FL 32951

Matter Number:240214 - Town of Melbourne Beach - Town Clerk
Matter Name:Town Clerk

Services

Date	Atty	Description	Quantity	Rate	Total
08-01-25	RGK	Phone conference with Amber Brown Re special meetings in August	0.20	200.00	\$40.00
08-06-25	RGK	Phone conference with Amber Brown Re Treasurer Reporting	0.40	200.00	\$80.00
08-18-25	RGK	Phone conference with Amber Brown Re Ballot Language	0.20	200.00	\$40.00
08-20-25	RGK	Email Correspondence: Emails with Amber Brown RE: Records Request - Employee Performance Reviews	0.10	200.00	\$20.00
08-20-25	RGK	Email Correspondence: Emails with Amber Brown RE: Commissioner Pay	0.20	200.00	\$40.00
08-21-25	RGK	Email Correspondence: Email to Amber Brown Re Agenda Materials	0.10	200.00	\$20.00
08-26-25	RGK	Email Correspondence: Email from Amber Brown RE: SB 268 - Mayor and Commissioner Public Records Exemption	0.10	200.00	\$20.00
08-27-25	RGK	Email Correspondence: Emails with Amber Brown RE: Records Request - Employee Performance Reviews	0.10	200.00	\$20.00
08-28-25	RGK	Phone conference with Amber Brown Re treasurer report dates, Technology Advisory Board, and brochure language	0.30	200.00	\$60.00

08-29-25	RGK	Phone conference with Amber Brown Re confirmation of treasurer reporting dates pursuant to Fla. Stat. 106.07	0.10	200.00	\$20.00
08-29-25	RGK	Email Correspondence: Email to Amber Brown Re Treasurer Reporting Dates	0.20	200.00	\$40.00

Services Subtotal: \$400.00

Subtotal	\$400.00
Total	\$400.00
Payment	\$0.00
Balance Owing	\$400.00

Trust Account Balance \$0.00

Operating Retainer Account Balance \$0.00

Total Matter Balance \$400.00

Tax ID #32-0242557

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Shepard, Smith, Hand & Brackins, P.A.
2300 Maitland Center Parkway, Suite 100
Maitland, FL 32751

Invoice #: 25770
Date: 08-31-2025

Town of Melbourne Beach
507 Ocean Avenue
Melbourne Beach, FL 32951

Matter Number: 240215 - Town of Melbourne Beach - Town Manager
Matter Name: Town Manager

Services

Date	Atty	Description	Quantity	Rate	Total
08-01-25	RGK	Phone conference with TM and Chief Brown Re fire records PRR-2025-128, 129, and 130	0.30	200.00	\$60.00
08-04-25	RGK	Email Correspondence: Email from TM FW: Commissioners shirts ??	0.10	200.00	\$20.00
08-05-25	RGK	Phone conference with TM Re MGT meetings with staff and Commissioners	0.30	200.00	\$60.00
08-08-25	RGK	Phone conference with TM Re 400 Magnolia	0.30	200.00	\$60.00
08-12-25	RGK	Phone conference with TM Re Town Hall roof replacement and scope of work	0.40	200.00	\$80.00
08-12-25	RGK	Phone conference with Elizabeth Mascaro Re Code Enforcement hearing on 8/13	0.10	200.00	\$20.00
08-13-25	RGK	Phone conference with TM Re JLAC letter	0.30	200.00	\$60.00
08-13-25	RGK	Email Correspondence: Emails with TM RE: Setback Variance # VV2025-0001	0.10	200.00	\$20.00
08-15-25	RGK	Email Correspondence: Emails with TM RE: ***TIME SENSITIVE*** Historic Williams House - Town of Melbourne Beach	0.20	200.00	\$40.00

08-19-25	RGK	Phone conference with TM Re 8/19 special meeting and budget issues	0.60	200.00	\$120.00
08-22-25	RGK	Phone conference with TM Re police pension payment and acknowledgement, executed ordinances, and upcoming budget meetings	0.50	200.00	\$100.00
08-26-25	RGK	Phone conference with TM Re outstanding budget items from 8/25 budget meeting	0.30	200.00	\$60.00
08-27-25	RGK	Phone conference with TM Re JLAC, Technology Advisory Board, and Intermin Town Manager	1.30	200.00	\$260.00
					Services Subtotal: \$960.00

Subtotal	\$960.00
Total	\$960.00
Payment	\$0.00
Balance Owing	\$960.00

Trust Account Balance \$0.00

Operating Retainer Account Balance \$0.00

Total Matter Balance \$960.00

Tax ID #32-0242557

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2300 Maitland Center Parkway, Suite 100
Maitland, FL 32751

Invoice #: 25771
Date: 08-31-2025

Town of Melbourne Beach
507 Ocean Avenue
Melbourne Beach, FL 32951

Matter Number: 250056 - Town of Melbourne Beach - Funoe LLC PRR Lawsuit
Matter Name: Funoe LLC PRR Lawsuit

Services

Date	Atty	Description	Quantity	Rate	Total
08-04-25	RGK	Email Correspondence: Emails with Ariana Tellone RE: FUNOE, LLC v. TOWN OF MELBOURNE BEACH - Case No: 05-2025-CA-023102 - Our File No.: 7777.00006	0.10	200.00	\$20.00
08-05-25	RGK	Email Correspondence: Emails with Ariana Tellon and Valerie Mackey RE: FUNOE, LLC v. TOWN OF MELBOURNE BEACH - Case No: 05-2025-CA-023102 - Our File No.: 7777.00006	0.20	200.00	\$40.00
08-28-25	RGK	Review Plaintiff's reply to Town's Response to Writ of Mandamus; research reasonable attorneys' fees awarded for PRR lawsuits and case law regarding same	1.30	200.00	\$260.00
08-29-25	RGK	Email Correspondence: Emails with Nathan Meloon RE: Proposed Pre Final Hearing Order	0.20	200.00	\$40.00

Services Subtotal: \$360.00

Subtotal	\$360.00
Total	\$360.00
Payment	\$0.00
Balance Owing	\$360.00

Trust Account Balance \$0.00

Operating Retainer Account Balance \$0.00

Total Matter Balance \$360.00

Tax ID #32-0242557
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2300 Maitland Center Parkway, Suite 100
Maitland, FL 32751

Invoice #: 25772
Date: 08-31-2025

Town of Melbourne Beach
507 Ocean Avenue
Melbourne Beach, FL 32951

Matter Number: 240208 - Town of Melbourne Beach - Building
Matter Name: Building

Services

Date	Atty	Description	Quantity	Rate	Total
08-04-25	RGK	Email Correspondence: Email from Commissioner Reed Re Concern regarding construction occurring at 418 Riverview Ln.	0.10	200.00	\$20.00
08-12-25	RGK	Phone conference with Roberto Moreno Re 418 Riverview	0.20	200.00	\$40.00
08-12-25	RGK	Email Correspondence: Emails with Roberto Moreno RE: 418 Riverview Lane	0.30	200.00	\$60.00
08-19-25	RGK	Email Correspondence: Email from Roberto Moreno RE: docs and records on 418 Riverview???	0.10	200.00	\$20.00

Services Subtotal: \$140.00

Subtotal	\$140.00
Total	\$140.00
Payment	\$0.00
Balance Owning	\$140.00

Trust Account Balance \$0.00

Operating Retainer Account Balance \$0.00

Total Matter Balance \$140.00

Tax ID #32-0242557

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INVOICE

Shepard, Smith, Hand & Brackins, P.A.
2300 Maitland Center Parkway, Suite 100
Maitland, FL 32751

Invoice #: 25773
Date: 08-31-2025

Town of Melbourne Beach
507 Ocean Avenue
Melbourne Beach, FL 32951

Matter Number: 240211 - Town of Melbourne Beach - Fire
Matter Name: Fire

Services

Date	Atty	Description	Quantity	Rate	Total
08-12-25	RGK	Email Correspondence: Emails with Chief Brown RE: FW: FFCA FLASH: House Bill 551 - What Every Fire Chief and Fire Marshal Needs to Know!	0.30	200.00	\$60.00
08-13-25	RGK	Phone conference with Chief Brown Re Fire Presentation	0.30	200.00	\$60.00
08-27-25	RGK	Phone conference with Chief Brown Re outstanding PRRs for fire reports and data	0.20	200.00	\$40.00

Services Subtotal: \$160.00

Subtotal	\$160.00
Total	\$160.00
Payment	\$0.00
Balance Owning	\$160.00

Trust Account Balance \$0.00

Operating Retainer Account Balance \$0.00

Total Matter Balance \$160.00

Tax ID #32-0242557

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2300 Maitland Center Parkway, Suite 100
Maitland, FL 32751

Invoice #: 25774
Date: 08-31-2025

Town of Melbourne Beach
507 Ocean Avenue
Melbourne Beach, FL 32951

Matter Number: 240212 - Town of Melbourne Beach - Police
Matter Name: Police

Services

Date	Atty	Description	Quantity	Rate	Total
08-15-25	RGK	Email Correspondence: Emails with Chief Zander RE: FDLE Report on Keyfob investigation	0.20	200.00	\$40.00

Services Subtotal: \$40.00

Subtotal	\$40.00
Total	\$40.00
Payment	\$0.00
Balance Owing	\$40.00

Trust Account Balance \$0.00

Operating Retainer Account Balance \$0.00

Total Matter Balance \$40.00

Tax ID #32-0242557

Payable upon receipt. Please remit payment to: Shepard, Smith, Hand & Brackins, P.A.. To pay by credit card, debit card or eCheck please use the link below.

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ATTORNEYS & COUNSELORS AT LAW

INVOICE

Shepard, Smith, Hand & Brackins, P.A.
2300 Maitland Center Parkway, Suite 100
Maitland, FL 32751

Invoice #: 25775
Date: 08-31-2025

Town of Melbourne Beach
507 Ocean Avenue
Melbourne Beach, FL 32951

Matter Number: 240210 - Town of Melbourne Beach - Finance
Matter Name: Finance

Services

Date	Atty	Description	Quantity	Rate	Total
08-29-25	RGK	Email Correspondence: Emails with Jennifer Kerr RE: Place Planning Contracts	0.20	200.00	\$40.00

Services Subtotal: \$40.00

Subtotal	\$40.00
Total	\$40.00
Payment	\$0.00
Balance Owing	\$40.00

Trust Account Balance \$0.00

Operating Retainer Account Balance \$0.00

Total Matter Balance \$40.00

Tax ID #32-0242557

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Town Commission Meeting

Section: New Business

Meeting Date: September 17, 2025

From: Bruce Larson, Technology Advisory Board Chairperson

Subject: September 2025 Monthly Technology Advisory Board Report

1. Summary of Activities:

The Melbourne Beach Technology Advisory Board (TAB) convened its inaugural meeting on August 26th, electing a Chairperson, Vice Chairperson, and Secretary. During the meeting, we received briefings and advice from the Town Attorney regarding our responsibilities as a Town Board, reviewed our initial taskings from the Commission and established internal work processes for the TAB. We also agreed to draft a Board Charter to propose to the Commission and discussed adding additional projects for the Board to undertake. Both topics are covered in the recommendations section below.

The TAB elected the following persons to fill the leadership functions of the Board:
Chairperson, Bruce Larson; Vice-Chairperson, Jennifer Lervold; Secretary, Steve Rodrigo.

The TAB reconvened on September 4th to finalize the charter draft, and we plan to meet bi-weekly to maintain momentum and bring initial recommendations to the Commission as soon as possible.

2. Key Findings and Recommendations

- a. The TAB has developed a Board Charter for review and approval by the Commission. The charter document goes deeper than the Commission resolution forming the TAB and adds clarity around the output and value that the Commission should expect from the TAB. The charter makes one deviation from the Commission Resolution. We are recommending two-year terms for TAB members as we envision some projects taking longer than one year and we wanted to maintain continuity and momentum on our efforts. Please see attached our draft document for your review and approval.
- b. The TAB discussed our initial project taskings from the Commission and assigned TAB members to lead each effort

- i. Review of the vacation rental monitoring solution from Deckard Technologies. Marc Lower is the project lead for this initiative.
- ii. Assess the NIST Framework for Improving Critical Infrastructure Cybersecurity and provide recommendations to the Commission regarding the appropriate scope for adoption of the framework to align with the town's needs and size. Corinne Rodrigo is the project lead for this initiative.
- iii. The TAB would like to request that the Commission add a new project to our list: assessing the town's document digitization effort and the new town website. Both projects are still ongoing and not delivering maximum value to the residents. This TAB project aims to evaluate the town's document digitization and website projects to identify opportunities for expediting their completion and enhancing stakeholder value. If approved by the Commission, Jennifer Lervold will lead this initiative.
- iv. Reviewing Artificial Intelligence (AI) solutions to support Town Operations. The TAB discussed this topic and decided to postpone the subject for further review in the future. We firmly believe that there's an opportunity to utilize AI tools in the context of Town Operations, but we want to first gain a better understanding of the town's technology baseline to effectively focus our investigation on the best early opportunities to leverage AI tools.

3. Progress on Goals

- a. N/A

4. Planned Activities

- a. The project leads for each initiative will coordinate directly with the Town Manager to schedule time for reviewing the project scope and making necessary requests for access to Town resources to support the TAB projects.

5. Conclusion - The TAB members are excited to bring value to Melbourne Beach.

Attachments:

Technology Advisory Board Charter document for review and approval by the Commission.

Town of Melbourne Beach

Technology Advisory Board Charter

1. **Purpose.** The Technology Advisory Tech Board (the “Tech Board”) is established to provide objective, informed, and forward-looking guidance to the Town Commission on the effective use of technology and automation systems that support Melbourne Beach. The Tech Board’s mission is to ensure that technology solutions deliver cost-effective measurable improvements in efficiency, accuracy, productivity, security, sustainability, and value to the residents and stakeholders of the Town.
2. **Authority.** The Tech Board serves in an advisory capacity to the Town Commission and does not have executive or spending authority. To provide insightful recommendations, the Board may request technology systems inventories, documentation, system configurations, data schema, reports, and staff input as necessary to fulfill its purpose. Requests for support from town staff or access to town resources, systems or data shall be reasonable and made to the Town Manager.
3. **Guiding Principles.** The work of the Tech Board will be guided by the following principles:
 - 3.1. Deliberations and recommendations will be transparent and public.
 - 3.2. The Tech Board will encourage practical, sustainable, and appropriate solutions that align with the Town’s size and resources.
 - 3.3. Recommendations will consider both short and long-term financial implications.
 - 3.4. Recommendations will prioritize continuous improvement, quality of service, and value delivery for town residents and stakeholders.
 - 3.5. Recommendations will seek to reduce or eliminate non-value-added administrative activities where applicable.
 - 3.6. The Tech Board’s work, products, and recommendations will adhere to best practices for critical infrastructure protection, industrial security, and regulatory requirements.
4. **Membership.** The Tech Board shall consist of five (5) members plus two (2) alternate members appointed by the Town Commission. Members should collectively represent expertise in

technology, data systems, process improvement, systems engineering, cybersecurity, and public administration. Members shall serve staggered two-year terms, with eligibility for reappointment as determined by the Town Commission.

5. **Scope of Responsibility.** The Tech Board will assess, review, and offer recommendations on technology-related matters as tasked by the Town Commission or Town Manager covering the following categories:

- 5.1. Current System and Software Optimization.

- 5.1.1. Assess the implementation, configuration, and utilization of current technology solutions including hardware and software that support Town operations.

- 5.1.2. Recommend opportunities to enhance the utilization, training, configuration, and integration of the Town's existing technology systems to improve efficiency, accuracy, sustainability, or reduce risks.

- 5.2. New or Alternative Technology Solutions.

- 5.2.1. Research and recommend new or alternative technology solutions to improve Town operations and deliver increased value to stakeholders such as residents, employees, neighboring Townships and Counties.

- 5.2.2. Recommendations shall include cost-benefit analyses, risk assessments considerations of long-term sustainability, and security impacts.

- 5.3. Data Protection and Cybersecurity Risk Management.

- 5.3.1. Asses the cybersecurity, confidentiality, integrity, availability, accuracy, and regulatory compliance of Town technology solutions and associated work processes.

- 5.3.2. Recommend technology or process improvements to meet integrity, accessibility, regulatory compliance, and standards.

- 5.4. Operational Efficiency and Service Delivery.

- 5.4.1. Assess current systems and their usage to provide accurate, reliable, and timely information to support decision-makers and stakeholders.

- 5.4.2. Recommend technology and/or process improvements for enhancing functionality and value to stakeholders.

5.5. Future Readiness

5.5.1. Advise the Commission on emerging technology trends which may impact municipal operations, governance, and stakeholder value.

5.5.2. Provide guidance on lifecycle management to include accessibility, scalability, disposition, and appropriate disposal of Town systems and components.

6. Meetings

6.1. The Tech Board shall convene at least once a month, with more frequent meetings as necessary.

6.2. Meetings shall be duly notified and open to the public in accordance with Florida Sunshine Law.

6.3. Meetings shall adhere to the guidelines outlined in Robert's Rules of Order and Town Code, policies, and procedures.

7. Deliverables. The Tech Board shall produce or recommend the following:

7.1. Monthly status reports shall be presented to the Commission covering progress on existing tasks and making recommendations about additional opportunities to engage the Tech Board.

7.2. Annual Technology Assessment Report – An evaluation of current systems, along with their challenges and opportunities for improvement, is presented in alignment with annual budget planning processes.

7.3. Briefs as required providing specific recommendations for technology adoption, replacement, or optimization. If financial or resource requirements are involved, briefs will include associated business cases with clear resource requirements and expected returns on investment.



TOWN OF MELBOURNE BEACH

BREVARD COUNTY'S OLDEST BEACH COMMUNITY ESTABLISHED 1883

Building Department Report

AUGUST 2025

- permits issued 37
- Construction value of the \$ permits totaled \$597,736.29
- Total permit fees \$11,556.99
- Inspections completed 97
- Plans reviewed 37
- Site plan review for P&Z 1
- New home 0
- Stop work order 0

Monthly Permit List

09/02/2021

1/5

Com Building

Permit #	Applicant	Address	Fee Total	Const. Value
PCB25-0006	WHALE EYE WOODWORKS, LLC	1413 ATLANTIC ST	\$154.00	\$2200.00
Work Description: 10 x 16 deck replacement - repair				
PCB25-0004	WHALE EYE WOODWORKS, LLC	1415 ATLANTIC ST	\$154.00	\$2200.00
Work Description: 10 x016 deck replacement				
Total Permits For Type:				2
Total Fees For Type:				\$308.00
Total Const. Value For Type:				\$4400.00

Electrical

Permit #	Applicant	Address	Fee Total	Const. Value
PE25-0044	Hughes, Chris	212 CHERRY DR	\$101.74	\$3258.00
Work Description: Replacing MLO. Installing new wire from new MLO to existing air handler				
PE25-0046	LERVOLD, MICHAEL LERVOLD, JENNIFER	214 ELM AVE	\$79.00	\$1587.54
Work Description: run one 150amp and two 20amp circuits from exterior panel to patio ceiling for 5 outlets, 2 new fans, one existing fan, one switch and one circuit for future use. Enclose patio ceiling with 1"x6" tongue and groove				
PE25-0043	Sherry, Nicholas	516 HIBISCUS TRL	\$79.00	\$1033.80
Work Description: Provide and install 240 volt 50 amp EV Charger and circuitry next to panel				
PE25-0040	Barreto, Alejandro Bellini	201 OCEAN AVE	\$79.00	\$2000.00
Work Description: electrical hood installation				
PE25-0041	Harlow, Jonathan	205 SURF RD	\$79.00	\$1000.00
Work Description: Add Emergency light, smoke detectors and CO2 detectors				
PE25-0037	SUNVENA SOLAR LLC	304 THIRD AVE	\$466.38	\$25500.00
Work Description: Installation of (2) Tesla powerwall 3 & (1) Tesla powerwall 3 expansion unit				
Total Permits For Type:				6
Total Fees For Type:				\$884.12
Total Const. Value For Type:				\$34379.34

Fence

Permit #	Applicant	Address	Fee Total	Const. Value
PF25-0027	Carrie's Fence of Palm Bay	526 SUNSET BLVD.	\$104.80	\$3360.00
Work Description: Installing 29' of 6' tall horizontal wood fence with (2) 5' wide walk gates				

Total Permits For Type: **1**⁷²
Total Fees For Type: **\$104.80**
Total Const. Value For Type: **\$3360.00**

Generator

Permit #	Applicant	Address	Fee Total	Const. Value
PG25-0003	STINGRAY ELECTRIC	604 ALDEN PL	\$193.96	\$6304.00
Work Description: 26KW generator installed				

Total Permits For Type: **1**
Total Fees For Type: **\$193.96**
Total Const. Value For Type: **\$6304.00**

Marine - Seawall

Permit #	Applicant	Address	Fee Total	Const. Value
PMS25-0003	SHORELINE MARINE CONTRACTORS LLC	206 RIVERSIDE DR	\$973.75	\$75000.00
Work Description: Install a new 123LF vinyl seawall placed directly in front of the existing wall and 18-24" higher than existing				

Total Permits For Type: **1**
Total Fees For Type: **\$973.75**
Total Const. Value For Type: **\$75000.00**

Mechanical

Permit #	Applicant	Address	Fee Total	Const. Value
PM25-0074	Andrew F Procell	311 THIRD AVE	\$396.31	\$18663.55
Work Description: Exact HVAC changeout no duct work				
PM25-0084	LYONS, TRAVIS	227 FIFTH AVE	\$316.01	\$10831.00
Work Description: CHANGE OUT SIZE FOR SOZE 3.5 TON 14.5 SEER AT GOODMAN STRAIGHT COOL SYSTEM				
PM25-0087	David Mastrodonardo	512 ANDREWS DR	\$249.85	\$8125.00
Work Description: Replace existing A/C system				
PM25-0081	Michael B Kabran	2005 ATLANTIC ST 425	\$302.12	\$9825.00
Work Description: replace 1) 2 ton cu and 10 2.5 ton cu only to match existing AHS, exact size c/o, no duct work				
PM25-0083	North, Kenneth	605 MANGO DR	\$275.86	\$8971.00
Work Description: Replacing HVAC unit like for like				
PM25-0082	Ray, James Clayton	2002 NEPTUNE DR	\$411.49	\$20145.70
Work Description: Exact replacement of residential HVAC duct system				
PM25-0085	WHITLOCK, GARY	2006 ROSEWOOD DR	\$364.70	\$15580.00
Work Description: Change out Carrier AC 5 ton 16.50 seer system				

Total Permits For Type: **7**
Total Fees For Type: **\$2316.34**

Total Const. Value For Type: \$92141.25⁷³

Miscellaneous

Permit #	Applicant	Address	Fee Total	Const. Value
PMC25-0011	ALPHA FOUNDATION SPECIALISTS LLC	420 SECOND AVE	\$276.16	\$8980.94
Work Description: installing 4 push piers for foundation repair/stabilization				

Total Permits For Type: 1
Total Fees For Type: \$276.16
Total Const. Value For Type: \$8980.94

Paver, Concrete, & Deck

Permit #	Applicant	Address	Fee Total	Const. Value
PCD25-0020	OSHEA, CHRISTINE	514 POINSETTIA RD	\$148.16	\$4800.00
Work Description: Create a paver driveway				

Total Permits For Type: 1
Total Fees For Type: \$148.16
Total Const. Value For Type: \$4800.00

Plumbing

Permit #	Applicant	Address	Fee Total	Const. Value
PP25-0018	Hanmer, Christopher	209 FIRST AVE	\$79.00	\$2295.00
Work Description: 50 gallon electric water heater for same change out				
PP25-0015	DOUG HERRELL	310 SECOND AVE	\$209.10	\$6800.00
Work Description: Run new water lines in attic to existing fixtures. New 40 gallon tall electric water heater. Replace their existing water heater				
PP25-0019	SEAN P ROBERTS	1700 ATLANTIC ST	\$198.40	\$6450.00
Work Description: Provide labor and materials to replace existing hot & cold water lines with Uponor pes A pipe for 2 full bathrooms, 1 kitchen and 2 water heaters and tie into existing water line outside. will cut drywall as needed and will run existing main water line at best possible location				
PP25-0017	PAVLOCK, ALICE FAYE	419 OCEAN AVE	\$79.00	\$600.00
Work Description: replace water heater				
PP25-0016	Hanmer, Christopher	419 OCEAN AVE 305	\$79.00	\$1715.00
Work Description: 19 gallon electric water heater same for same changeout				

Total Permits For Type: 5
Total Fees For Type: \$644.50
Total Const. Value For Type: \$17860.00

Pool

Permit #	Applicant	Address	Fee Total	Const. Value
PPL25-0007	PRECISION LUXURY AQUATICS	403 POINSETTIA RD	\$1021.93	\$79700.00

Total Permits For Type: 1
Total Fees For Type: \$1021.93
Total Const. Value For Type: \$79700.00

Pool Resurface

Permit #	Applicant	Address	Fee Total	Const. Value
PPR25-0009	POOL DOCTOR OF BREVARD INC	439 SANDY KEY	\$590.40	\$37600.00
Work Description: resurface pool, new tile, pavers on deck				

Total Permits For Type: 1
Total Fees For Type: \$590.40
Total Const. Value For Type: \$37600.00

Reroof

Permit #	Applicant	Address	Fee Total	Const. Value
PPR25-0065	Florida Native Roofing Inc	509 ANDREWS DR	\$621.56	\$40640.00
Work Description: 26g Standing Seam & Flat Reroof				
PPR25-0064	SUPERIOR ONE ROOFING LLC	2007 OAK ST	\$346.20	\$13775.00
Work Description: shingle roof replacement, synthetic underlayment & ridge vents				
PPR25-0063	DC ROOFING	505 RIVERSIDE CIR	\$732.44	\$51457.00
Work Description: Metal RE-roof				

Total Permits For Type: 3
Total Fees For Type: \$1700.20
Total Const. Value For Type: \$105872.00

Window, Door, and Shutter Permit

Permit #	Applicant	Address	Fee Total	Const. Value
PWS25-0089	Armorvue of Orlando LLC	1710 ATLANTIC ST 5B	\$270.54	\$8798.00
Work Description: replace 1 door like for like				
PWS25-0063	Roll Tite Shutters East, Inc.	210 FIFTH AVE	\$418.34	\$20814.00
Work Description: installation of hurricane shutters; enclosing lanai supernova accordions and 2 windows with Bahama shutters				
PWS25-0083	JACKSONS CONTRACTING LLC	507 HARLAND AVE	\$174.03	\$5649.76
Work Description: remove sliding glass door replace with a French door. double bedroom window replace. replace a bathroom window				
PWS25-0088	All Pro Garage Doors Inc	414 MAGNOLIA AVE	\$79.00	\$2500.00
Work Description: install garage door				
PWS25-0086	LOWE'S HOME CENTERS, LLC	419 OCEAN AVE	\$186.80	\$6069.00
Work Description: Replacement SGD & 1 window				

PWS25-0084	CASTILLO REMODELZONE	419 OCEAN AVE 201	\$364.28	\$15540.00
Work Description: Replacement of windows and doors				
PWS25-0082	ECOVIEW WINDOW OF BREVARD LLC	300 RIVERSIDE DR	\$901.68	\$67968.00
Work Description: 2 Entry Doors, 3 sgd, 3 dh, 20 fixed, i mullion, 5shwindow replacements; size for size & IMP				

Total Permits For Type:	7
Total Fees For Type:	\$2394.67
Total Const. Value For Type:	\$127338.76

Grand Total Fees:	\$11,556.99
Grand Total Permits:	37.00
Grand Total Const. Value:	\$597736.29

Inspection Totals

09/02/2023 276
1/2

BTR FIRE	5
Column & Tie Beam	2
Dry In	1
Drywall	2
Electrical	5
Electrical	1
Electrical - Rough	1
Equipotential	1
Final	11
Final Building	7
Final Electrical	1
Final Fence	1
Final Mechanical	7
Final Miscellaneous	1
Final Paver, Concrete, & Deck	2
Final Plumbing	5
Final Pool	1
Final Pool Enclosure	2
Final Pool Resurface	1
Final Roof	1

Inspection Totals

09/02/2025 277
2/2

Final Tree	2
Final window, Door, & Shutter	13
Fire Inspection	1
Fire Reinspection	1
Footer	1
Framing	1
Framing	1
In Progress	4
In-Progress	3
Insulation	1
Plumbing Underground	1
Roof Sheathing	1
Rough Electrical	2
Rough Plumbing	3
Screw	2
Sheathing	1
up lift	1

Total # of Inspections: 97

Public Works Activities August 2025

Activity:

Pressure washed pier pavilion
 Repaired/replaced handrail Old Town Hall
 Completed submitted all RFP's -shower repair, roof OTH,windows upstairs
 Cleaned large trash mess beer cans, fish scales etc. pier pavilion
 Removed large oak tree limb hanging over Ryckman Pavillion
 Created and build out trail for butterfly garden Bicentennial Park - Parks Board
 Removed roadkill Oak St.
 Trimmed palm trees along east section Ocean Ave.
 Leveled sand area at the beach entrance from boardwalk to beach - making access user friendly
 Responded to Pelican Key investigate road depression - cone placed forward to Brevard County Sewer
 Attended Town Commission Meeting 8/19
 Replaced Battery on unit 395
 Repaired pothole Oak and Orange - road patch material
 Placed fill from our stock at 6th ave. boat ramp - ground settles by wall due to water intrusion at seawall bottom
 Updated 2025 Street Inventory - visual exam of streets to maintain condition status on inventory sheet
 Set up Community Center X 2 for meetings
 Ordered and received sandbags for Hurricane prep
 Responded to report of wasp on tennis courts - discovered in winch eliminated said wasp
 Prepared area front of Community Center for additional parking spots
 Removed very large pile of tree cuttings from roadway 3 rd.
 Daily rounds of parks remove fallen branches, empty trash receptacles as needed, report any irregularities to Director
 trimmed sea grapes along north side of Ocean Park
 Replaced outside light bulbs around Town Hall as needed
 Attended Staff meeting to confirm hurricane preparation status
 Began review and study of Basin 1 project plans to understand be prepared for daily checks of project once started



Town of Melbourne Beach



Fire Department

MONTHLY REPORT – September 2025

Incident Response

From August 9th through September 5th, the Melbourne Beach Volunteer Fire Department responded to 15 calls for service. The average number of responding volunteer personnel per paged out call for the time period listed above was 9.

Breakdown:

- 6 Fire/Rescue 911 Calls (paged out)
 - Incident #'s: 97, 98, 100, 102, 103, 104
- 2 Walk-in medical (EMS) incidents
 - Incident #'s: 90, 91
- 2 Public Service Assist – Assist with beach life ring station upgrades
 - Incident #'s: 94, 96
- 5 Fire & Life Safety Inspections
 - Incident #'s: 92, 93, 95, 99, 101

Notable Incidents

- None

Aid Given or Received

- None

Department Membership

- 32 Total Members
 - Paid Staff:
 - 1 Fire Chief (*Full-Time*)
 - 2 Maintenance Technicians (*Per-diem*)
 - Volunteer Staff:
 - 18 Certified Volunteer Firefighters
 - 9 Support Services Volunteers
 - 0 Probationary Volunteer Members
 - 4 Administrative Volunteers
 - 1 Safety Officer
 - 2 Logistics Staff
 - 1 Volunteer Fire Chaplain

Volunteer Recruitment

The Melbourne Beach Volunteer Fire Department is continuously recruiting local men and women who have a desire to serve their community. No experience is needed and all training will be provided. For more information, visit MakeMeAFirefighter.org or stop by the Melbourne Beach Fire Station (507 Ocean Avenue).

Recruitment efforts this month included: Participation in the Make Me A Firefighter Campaign as well as deployment of recruitment banners around town.

Notable Events & Updates

Grants Update (Ongoing Update)

- There have been no updates or awards for any FEMA grants over the past month, which includes the FEMA AFG grant submitted in December, and the FEMA SAFER grant submitted in July. Award announcements for the SAFER grant were originally expected to start around August 18th, 2025, and were expected to be awarded on a continuous basis thereafter until all available funds have been awarded, but no later than September 30, 2025.

New Fire Engine Acquisition (Ongoing Update)

- The Town's new fire engine, ordered in 2022, will be delivered to our fire station this month (September 2025).
- Chief Brown, along with Fire Marshal Dave Micka (mechanical engineer) and Volunteer Deputy Chief John Miller (electrical engineer) traveled up to the Pierce fire apparatus factory from August 18th -21st to meet with their engineers for final inspections and acceptance testing of our new fire engine.
- A community push-in ceremony is being planned for October 4th at 5pm to allow the community to come out and celebrate the new fire engine that will be protecting their community.
- Chief Brown continues to investigate possible solutions and vendors to assist with the sale of our existing 2004 Pierce Enforcer fire engine.

Law Enforcement Training (Ongoing Update)

- Chief Brown taught a second 3 hour course to additional officers of the Melbourne Beach Police Department covering the topics of bleeding control, CPR, basic triage, scene size-up, and initial operations for law enforcement arriving at fire incidents.

New Recruit Orientation Class (Ongoing Update)

- The Fire Department completed a new volunteer recruit 30-day orientation class on August 28th. Of the 10 eligible applicants, 4 completed the program and are being considered for membership with the Department. One of the applicants resides within the Town of Melbourne Beach.

P-25 Phase 2 Pager Programming (Ongoing Update)

- The Department has been working with Brevard Emergency Management, Communications International to re-implement physical voice pagers for our volunteer firefighters as the primary paging method to notify them when response is needed for an emergency incident. 2 pagers have been programmed and are currently in the testing phase. Chief Brown is planning on reaching out to the Technology Advisory Board for assistance with the integration process of existing cloud based paging software and app to the new 800mhz voice pagers.

Fire Rescue International Expo *NEW*****

- Chief Brown attended the Fire Rescue International expo, hosted by the International Association of Fire Chiefs, over in Orlando. The expo was a great opportunity to learn about emerging technology as well as to network with fire service vendors. Chief Brown was able to meet two separate vendors that can assist with the sale of our used fire apparatus, as well as meet with a potential future NERIS software vendor.

Community Question & Answer Session (Ongoing Update)

- Chief Brown hosted a second community question and answer session to assist in educating our residents about the challenges the fire department is facing and possible solutions for the future. An additional community forum is being considered for October.

Community CPR Program *NEW*****

- Chief Brown taught a community CPR program for residents who requested a class. The Department's Community CPR course is a great opportunity for residents who do not need CPR certification to quickly learn the critical steps needed to save a life.

191hr Volunteer Firefighter Certification Program (Ongoing Update)

- The Department continues hosting (and teaching) a State recognized hybrid 191hr Volunteer Firefighter Certification Program. In total, 8 students remain in the program, which is expected to finish sometime around November 2025.

Meetings & Conferences (Ongoing Update)

- Chief Brown attended the following meetings:
 - Space Coast Fire Chiefs EMS Committee Meeting.
 - Drown Zero leadership and planning meeting.
 - Multiple meetings with Town residents about Fire Department proposals.
 - Town manager search firm meeting.

Fire Apparatus Maintenance (Ongoing Update)

- Our primary engine (58) was taken over to Sanford for its annual inspection, maintenance, and pump testing. All work has been completed and it is now back in service.

Melbourne Beach VFD

Melbourne Beach, FL

This report was generated on 9/11/2025 9:06:58 PM



283

Incident Address and Type for Date Range (Landscape)

Incident Status(s): All Incident Statuses | Start Date: 08/09/2025 | End Date: 09/05/2025

INCIDENT #	DATE	LOCATION TYPE	ADDRESS	INCIDENT TYPE	ALARM	CLEARED SCENE
2025-90	08/11/2025		507 Ocean AVE , Melbourne Beach, FL, 32951	EMS call, excluding vehicle accident with injury	08/11/2025 16:51	08/11/2025 17:03
2025-91	08/12/2025		507 Ocean AVE , Melbourne Beach, FL, 32951	EMS call, excluding vehicle accident with injury	08/12/2025 13:23	08/12/2025 13:52
2025-92	08/13/2025		2100 Oak ST , Melbourne Beach, FL, 32951	Public service	08/13/2025 08:21	08/13/2025 08:53
2025-93	08/13/2025		201 Ocean AVE , Melbourne Beach, FL, 32951	Special type of incident, other	08/13/2025 09:38	08/13/2025 11:09
2025-94	08/14/2025		190 Ocean AVE , Melbourne Beach, FL, 32951	Public service assistance, other	08/14/2025 09:58	08/14/2025 13:59
2025-95	08/14/2025		608 Mango DR , Melbourne Beach, FL, 32951	Special type of incident, other	08/14/2025 13:56	08/14/2025 15:16
2025-96	08/15/2025		190 Ocean AVE , Melbourne Beach, FL, 32951	Public service assistance, other	08/15/2025 09:08	08/15/2025 10:06
2025-97	08/20/2025		410 Atlantic Street , Melbourne Beach, FL, 32951	Brush or brush-and-grass mixture fire	08/20/2025 15:08	08/20/2025 17:03
2025-98	08/21/2025		410 4th AVE , Melbourne Beach, FL, 32951	Electrical wiring/equipment problem, other	08/21/2025 19:04	08/21/2025 19:52
2025-99	08/22/2025		224 5th AVE , Melbourne Beach, FL, 32951	Special type of incident, other	08/22/2025 10:36	08/22/2025 11:02
2025-100	08/25/2025		1106 Atlantic ST , Melbourne Beach, FL, 32951	Smoke scare, odor of smoke	08/25/2025 15:32	08/25/2025 15:44
2025-101	08/27/2025		401 2nd AVE , Melbourne Beach, FL, 32951	Special type of incident, other	08/27/2025 10:33	08/27/2025 12:07
2025-102	08/28/2025		433 Riverview LN , Melbourne Beach, FL, 32951	Medical assist, assist EMS crew	08/28/2025 12:40	08/28/2025 12:56
2025-103	08/29/2025		321 Ocean AVE , Melbourne Beach, FL, 32951	Power line down	08/29/2025 17:55	08/29/2025 18:54
2025-104	09/04/2025		538 Sunset BLVD , Melbourne Beach, FL, 32951	Arcing, shorted electrical equipment	09/04/2025 21:39	09/04/2025 22:41

Location Type is only filled in when it is marked Intersection, Directions, or National Grid on Basic Info 3.



Melbourne Beach VFD

Melbourne Beach, FL

This report was generated on 9/11/2025 9:05:17 PM



Personnel Count per Incident for Date Range

Start Date: 08/09/2025 | End Date: 09/05/2025

INCIDENT				NUMBER OF PEOPLE		
NUMBER	DATE	INCIDENT TYPE	FDID	ON APPARATUS	NOT ON APPARATUS	TOTAL
2025-90	8/11/2025 16:51:39	321 - EMS call, excluding vehicle accident with injury	19112	1	1	2
2025-91	8/12/2025 13:23:35	321 - EMS call, excluding vehicle accident with injury	19112	1	1	2
2025-92	8/13/2025 08:21:03	553 - Public service	19112	1	0	1
2025-93	8/13/2025 09:38:43	900 - Special type of incident, other	19112	1	0	1
2025-94	8/14/2025 09:58:32	550 - Public service assistance, other	19112	1	0	1
2025-95	8/14/2025 13:56:49	900 - Special type of incident, other	19112	1	0	1
2025-96	8/15/2025 09:08:56	550 - Public service assistance, other	19112	1	0	1
** 2025-97	8/20/2025 15:08:40	142 - Brush or brush-and-grass mixture fire	19112	6	2	8
** 2025-98	8/21/2025 19:04:19	440 - Electrical wiring/equipment problem, other	19112	8	3	11
2025-99	8/22/2025 10:36:23	900 - Special type of incident, other	19112	1	0	1
** 2025-100	8/25/2025 15:32:07	651 - Smoke scare, odor of smoke	19112	9	0	9
2025-101	8/27/2025 10:33:39	900 - Special type of incident, other	19112	1	0	1
** 2025-102	8/28/2025 12:40:34	311 - Medical assist, assist EMS crew	19112	5	1	6
** 2025-103	8/29/2025 17:55:17	444 - Power line down	19112	6	3	9
** 2025-104	9/4/2025 21:39:19	445 - Arcing, shorted electrical equipment	19112	6	2	8

TOTAL # OF INCIDENTS: 15

AVERAGES:

3.3

0.9

4.1

Total # of incidents
paged out for
volunteer response: 6

** Incidents paged out by dispatch:
(for volunteer response)

6.7

1.8

8.5

Only REVIEWED incidents included

Note: Items highlighted in green are fire prevention activities (Fire Inspections, Presentations, Fire Drills, etc.)

*** Mutual Aid Provided

**** Mutual Aid Received



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Doc Id: 358

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Melbourne Beach VFD

Melbourne Beach, FL

This report was generated on 9/11/2025 9:04:23 PM



Personnel Count per Incident for Date Range

Start Date: 07/05/2025 | End Date: 08/08/2025

INCIDENT				NUMBER OF PEOPLE		
NUMBER	DATE	INCIDENT TYPE	FDID	ON APPARATUS	NOT ON APPARATUS	TOTAL
2025-77	7/8/2025 10:27:51	510 - Person in distress, other	19112	1	1	2
2025-78	7/8/2025 14:00:00	900 - Special type of incident, other	19112	1	0	1
2025-79	7/14/2025 10:30:25	900 - Special type of incident, other	19112	1	0	1
2025-80	7/17/2025 13:30:42	900 - Special type of incident, other	19112	1	0	1
** 2025-81	7/18/2025 21:14:44	324 - Motor vehicle accident with no injuries.	19112	9	2	11
** 2025-82	7/21/2025 15:23:24	322 - Motor vehicle accident with injuries	19112	4	2	6
** 2025-83	7/26/2025 20:22:51	150 - Outside rubbish fire, other	19112	4	1	5
2025-84	7/29/2025 10:28:24	900 - Special type of incident, other	19112	1	0	1
2025-85	7/29/2025 11:18:29	900 - Special type of incident, other	19112	1	0	1
** 2025-86	7/30/2025 12:56:46	324 - Motor vehicle accident with no injuries.	19112	4	1	5
** 2025-87	8/5/2025 10:09:41	353 - Removal of victim(s) from stalled elevator	19112	2	2	4
2025-88	8/7/2025 13:40:15	400 - Hazardous condition, other	19112	3	0	3
2025-89	8/8/2025 18:52:39	571 - Cover assignment, standby, moveup	19112	4	10	14

TOTAL # OF INCIDENTS: 13

AVERAGES:

2.8

1.5

4.2

Total # of incidents
paged out for
volunteer response: 5

** Incidents paged out by dispatch:
(for volunteer response)

4.6

1.6

6.2

Only REVIEWED incidents included

Note: Items highlighted in green are fire prevention activities (Fire Inspections, Presentations, Fire Drills, etc.)

*** Mutual Aid Provided

**** Mutual Aid Received



emergencyreporting.com

Doc Id: 358

Page # 1 of 1

Melbourne Beach VFD

Melbourne Beach, FL

This report was generated on 9/11/2025 9:06:11 PM



286

Incident Address and Type for Date Range (Landscape)

Incident Status(s): All Incident Statuses | Start Date: 07/05/2025 | End Date: 08/08/2025

INCIDENT #	DATE	LOCATION TYPE	ADDRESS	INCIDENT TYPE	ALARM	CLEARED SCENE
2025-77	07/08/2025		505 Ocean AVE , Melbourne Beach, FL, 32951	Person in distress, other	07/08/2025 10:27	07/08/2025 10:36
2025-78	07/08/2025		203 2nd AVE , Melbourne Beach, FL, 32951	Special type of incident, other	07/08/2025 14:00	07/08/2025 14:00
2025-79	07/14/2025		203 2nd AVE , Melbourne Beach, FL, 32951	Special type of incident, other	07/14/2025 10:30	07/14/2025 10:55
2025-80	07/17/2025		211 Cherry DR , Melbourne Beach, FL, 32951	Special type of incident, other	07/17/2025 13:30	07/17/2025 14:45
2025-81	07/18/2025	Intersection	Atlantic ST / Fifth ave, Melbourne Beach, FL, 32951	Motor vehicle accident with no injuries.	07/18/2025 21:14	07/18/2025 21:33
2025-82	07/21/2025	Intersection	Oak ST / Acica Blvd, Melbourne Beach, FL, 32951	Motor vehicle accident with injuries	07/21/2025 15:23	07/21/2025 15:52
2025-83	07/26/2025	Intersection	Atlantic St / Second Avenue, Melbourne Beach, FL, 32951	Outside rubbish fire, other	07/26/2025 20:22	07/26/2025 20:59
2025-84	07/29/2025		312 2nd AVE , Melbourne Beach, FL, 32951	Special type of incident, other	07/29/2025 10:28	07/29/2025 10:37
2025-85	07/29/2025		312 2nd AVE , Melbourne Beach, FL, 32951	Special type of incident, other	07/29/2025 11:18	07/29/2025 11:57
2025-86	07/30/2025	Intersection	Oak ST / Atlantic St, Melbourne Beach, FL, 32951	Motor vehicle accident with no injuries.	07/30/2025 12:56	07/30/2025 14:16
2025-87	08/05/2025		1005 Atlantic ST , Melbourne Beach, FL, 32951	Removal of victim(s) from stalled elevator	08/05/2025 10:09	08/05/2025 10:28
2025-88	08/07/2025		432 Riverview LN , Melbourne Beach, FL, 32951	Hazardous condition, other	08/07/2025 13:40	08/07/2025 14:08
2025-89	08/08/2025		519 Ocean AVE , Melbourne Beach, FL, 32951	Cover assignment, standby, moveup	08/08/2025 18:52	08/08/2025 21:17

Location Type is only filled in when it is marked Intersection, Directions, or National Grid on Basic Info 3.





Melbourne Beach Police Department

Chief Zander's Monthly Report

Commission Meeting September 17, 2025



This report covers the month of August 2025.

Operations:

Over the past month, the department handled 1,191 calls for service.

Activity:

- 53 Citations/ 133 Written Warnings
- 264 Traffic Stops
- 179 Traffic Enforcement Details
- 2 Traffic Complaint
- 20 Parking Citations
- Speed Compliance percentages over the past month:
 - Atlantic Ave. 79% with 67,105 vehicles recorded
 - Oak St. 93% with 76,349 vehicles recorded
 - Riverside Dr. 89% with 108,653 vehicles recorded

PD News

- Department training: Crime Scene and First Aid
- Attended SCTPO Vision Zero Meeting
- Attended Brevard County Police of Chiefs Luncheon
- Attended Brevard Police Testing Quarterly Meeting
- Sgt. Sadler Graduated the 4 week FDLE Leadership Academy
- Attended Back to School Event at Ryckman Park. Handed out 25 Helmets.
- Attended Beachside Police Chief Lunch
- Volunteer Coordinator Peter M. Employee Spotlight for month of August
- Provided Security at 5 Commission Meetings/Workshops
- The Police Department Volunteers completed:
 - 53 total hours of volunteer service for the month and 703 total hours for the year.
 - Helping out with Front Desk Coverage/Admin and helping with special events, ATV/beach patrol, house checks.

- Zero Vacancies

CRIME Update:.

- 120 House Checks
- 27 Suspicious incident/Person/vehicles reports investigated
- 7 arrests- Burglary, Traffic, DV
 - 3 STR complaints for the month.
 - 08/14/2025: 1745 hrs- 211 Cherry Drive- Officer Responded for a vehicle blocking the sidewalk. Contact was made and the person gladly moved the vehicle and apologized. No other action taken.
 - 8/23/2025 1759 hours, 608 Mango Drive - Anonymous caller reported loud music and yelling. The officer spoke to the renters, who agreed to turn down the music. No further action taken.
 - 8/23/2025 2110 hours, 302 Fifth Avenue - Assist DCF. DCF was looking for an individual who was not at the residence. More than likely wrong address. No actions taken.
- 7 Assist other Law enforcement agencies.
- 2 Disturbances

Looking Forward:

- Department Training- Defensive Tactics/Use of Force Training, Taser Training
- Employee Spotlight will be Sgt. Jason Sadler
- Administrative Assistant 1 year anniversary Sept. 15th

Town of Melbourne Beach

Town Clerk Monthly Report September 2025

Public Records Requests – Per the Commission's request, attached are reports of completed requests in the month of August and open requests at the end of August.

- Received in August – 20
- Received in 2025 – 150
- Completed in August – 22
- Completed in 2025 - 153
- Open/Pending – 8 (These requests are pending response from another department, pending response from the requestor, new requests, or large requests that are taking significant time to complete)

*Records requests from Commissioners are not always included.

Records Management Project/ Scanning Project – MCCi is working on reviewing their fourth box. For each box, they are comparing each individual page for each document to the digitized version to verify if they are the same. As they go, they are making adjustments to the digital files as needed. Most items so far appear to be in order, but they have made a few corrections regarding page order and have reinserted some loose pages back into the appropriate 3-ring binders. After they have finished the fourth box, we will have a meeting to review the records. Then, once the entire review project is complete, they will redeliver the updated digital versions.

Audio Visual Equipment – We have switched the streaming system. There are 3 items that we are working with the company to adjust. The first item is that the volume is maxed out on our side, but I have received a request to increase the volume. The second item is regarding the audio being out of sync with the video. The third item is regarding the closed captions having a fixed font size. Currently, when you first start talking, the words are very large and get smaller the more you talk.

Town Meetings –

Prepared agendas, packets, and minutes, and attended the following meetings:

- 5 Town Commission meetings
- 2 Planning and Zoning meetings
- 1 Technology Advisory Board meeting

Created the agenda and prepared for the following meetings:

- 2 Environmental Advisory Board meetings
- 1 Historical Preservation and Awareness Board meeting
- 1 History Center Board meeting
- 1 Parks Board meeting

Open Requests Report for August 2025			
Request #	Request Date	Name	
PRR-2025-79	6/6/2025 10:28 AM	Kari Ross	Chapter 8 of town social media policy states that any commissioner shall be required to preserve all posts, direct messages, etc pertaining to any issue that may come before the commission or referendum. I would like all social media content by Alison Dennington on her "private" Facebook page, her Mayor of Melbourne beach Facebook page, Nextdoor page, and any and all other social media pages, whether public or private, not mentioned herein. These include direct messages, private messages, tweets, retweets, etc, from her election as mayor to present. Thank you!
PRR-2025-94	6/12/2025 2:35 PM	Alison Dennington	All social media content by Joyce Barton while in office or as a candidate
PRR-2025-105	6/24/2025 5:25 PM	Sherri Quarrie	Mayor Dennington posts and replies on the Nextdoor Melbourne Beach Forum on Local Government. Forum described as a place to share and get info on local issues and local government.
PRR-2025-113	7/3/2025 1:03 PM	Alison Dennington	the emails of her distribution list (includes replies) AND on ea j email - the recipients on each email showing.
PRR-2025-129	7/27/2025 10:06 PM	Alison Dennington, Mayor	All records related to "Emergency Reporting" software vendor and its later purchaser aka ESO including info or records related to any licenses, number of licenses, licensed users, all software contracts, agreements, addendums, software manuals or guides/instructional materials, contacts and communications with representatives from 2021 to date. And All incident reports for each year by year from 2021 to date as reported to the state.
PRR-2025-130	7/27/2025 10:16 PM	Alison Dennington, Mayor	All records and reports from "Emergency Reporting" software (now ESO) or other reports of on some other system such as word, csv, excel or other by year for years 2021, 2022, 2023, 2024 and to date (2025) showing or documenting training provided/given, training received, hours worked or logged for administrative work, inspections, or for incidents of any kind responded to, and any and all payments of any kind made to any staff, employees, contractors, or volunteers including but not limited to stipends, overtime, reimbursements, or other payments of any kind. All NFRIS reports by year for 2021, 2022, 2023, 2024 and 2025. All FFRIS reports of any kind for the same years of 2021, 2022, 2023, 2024, and 2025. If you have any questions or if needed to limit the scope of this request if possible please do not hesitate to contact me.
PRR-2025-143	8/18/2025 10:55 AM	Joe Balber	Code violations records from 6/15/2025-8/15/2025. See attachment for the full details.

PRR-2025-146	8/20/2025 3:42 PM	Jan Pence	<p>Please provide ANY and ALL texts, social media or other forms of communications where Mayor Al Dennington has said anything about Fire Chief Gavin Brown. Please be sure to include town FB or posts that she sent to specific people or organizations nationwide and specific emails she sent directly to Chief Brown.</p> <p>Timeframe: 6/15/2025 - current.</p> <p>Thank you.</p>
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Processed Requests Report 2025-08-01 to 2025-09-01

Request #	Name	Description	Date Of Request	Date Complete
PRR-2025-144	Abbas Khan	<p>Civic IQ Inc is initiating a request under Florida's Public Records Law for all purchasing records from 01/01/2022 to date for all the departments under your jurisdiction.</p> <p>We seek access to electronic records that can be provided without the necessity for hardcopy duplication, scanning, or any physical handling of documents.</p> <p>We are interested in the following details for purchases from your record-keeping system for the given period. This data can be quickly exported in a purchase order or vendor history report from the accounting system by your finance team:</p> <ul style="list-style-type: none"> · Vendor Number or Vendor ID · Vendor Name · Identifier for each purchase, such as purchase order number (PO#) or, alternatively, an invoice or check number · Purchase Date · Line item details or description of each purchase · Line item quantity · Line item price 	8/18/2025 1:33 PM	8/25/2025 2:35 PM
PRR-2025-85	Alison Dennington	All social media content by Tom Davis since employment with the Town	6/12/2025 2:32 PM	8/18/2025 10:05 AM
PRR-2025-86	Alison Dennington	All social media content by Amber Brown since employment with the Town	6/12/2025 2:32 PM	8/12/2025 10:58 AM
PRR-2025-121	Sherri Quarrie	All emails from Mayor Dennington to Chief Gavin and anyone else about Ryckman Park event on July 19th called Hot Topics and Cold Treats	7/19/2025 11:02 AM	8/4/2025 12:02 PM
PRR-2025-145	Lauren Hardman	Copy of personal emails from Mayor Dennington sent to Chief Brown in the last month regarding the agenda item about the fire incident report. It should be for the 8/20 Commission meeting.	8/19/2025 1:11 PM	8/20/2025 3:07 PM
PRR-2025-78	Brittany Rulli	Copy of the Fire Department file DOL 3/19/2024. See attached for the full details.	6/5/2025 5:52 PM	8/5/2025 4:46 PM
PRR-2025-133	Anonymous	Can I have the code enforcement cases (Open and closed) for last month? If you have them in Excel Format I will really appreciate it.	8/4/2025 10:24 AM	8/12/2025 2:03 PM

		<p>I'm writing on behalf of Buildzoom to request for a report of all building permits processed by your department from Mar 17, 2025 to present.</p> <p>Attached to this email you will find the completed form on your site with details on the types of permits we need, as well as the minimum associated information required to fulfill this request. Any additional information you store alongside your building permits is greatly appreciated.</p> <p>Please include any fields that your permitting system tracks. This includes but is not limited to:</p> <p>Permit number, applied/issued dates, work address, permit type, permit status, description of the work being done, contractor and architect details and job valuation.</p> <p>Please note:</p>		
PRR-2025-139	Janine Rugas	The preferred file type is CSV, the same format you provided in our previous request.	8/13/2025 4:11 PM	8/15/2025 9:49 AM
PRR-2025-132	Kari Ross	All email Communication by al dennington regarding t shirts	8/4/2025 9:25 AM	8/4/2025 1:13 PM
PRR-2025-142	Jan Pence	Printed copy of Resolution 2025-03	8/18/2025 10:33 AM	8/18/2025 2:35 PM
PRR-2025-147	Chris Muir	Looking for information on how much parking revenue was collected at Ryckman Park in 2024.	8/21/2025 2:32 PM	8/25/2025 2:36 PM
PRR-2025-134	Anna Butler	Archives 2025-116	8/6/2025 2:12 PM	8/6/2025 4:40 PM
PRR-2025-135	Steve Walters	Please provide me with a list of the current volunteers names and the amount each was paid for the last 12 months from the \$100,000 dollars the Town provides. The finance clerk should have that information on file.	8/7/2025 10:32 AM	8/12/2025 3:18 PM
PRR-2025-122	Jan Pence	<p>Please share ANY and ALL communications that Mayor Dennington sent by email regarding the Truth and Accuracy Ice Cream Social on July 19, 2025. Anything and everything that pertains to the social at all.</p> <p>Please also share ANY and ALL communications that Steve Walters sent by email regarding the Truth and Accuracy Ice Cream Social on July 19, 2025. Please include anything and everything that pertains to the social.</p> <p>Thanks so much! Blessings, Jan</p>	7/20/2025 1:01 PM	8/4/2025 12:28 PM
PRR-2025-84	Alison Dennington	All social media content by Matthew Smith since employment with the Town	6/12/2025 2:31 PM	8/6/2025 2:16 PM

PRR-2025-136	Aaron Lockhart	Please send any and all utility amounts owed, liens, open permits, code violations, building violations including but not limited to any and all other information pertaining to 2701 S Hwy A1A, Melbourne Beach, FL 32951. ***In addition, any and all possible liens or violations which could be recorded in the next 3 months. Thank you in advance, your time is greatly appreciated.	8/11/2025 2:59 PM	8/12/2025 11:00 AM
PRR-2025-141	Joe Balber	Building permit records from 6/15/2025-8/15/2025. See attached document for the full details.	8/18/2025 9:54 AM	8/25/2025 2:34 PM
PRR-2025-83	Alison Dennington	All social media content by Elizabeth Mascaro since her employment with the Town	6/12/2025 2:31 PM	8/19/2025 1:59 PM
PRR-2025-140	Jan Pence	Copy of FDLE report findings regarding complaints made by Alison Dennington.	8/15/2025 9:57 AM	8/15/2025 2:15 PM
PRR-2025-131	Courteney Human	Publication for the RFP/RFB and RFQ for the recent roof replacement project Cancellation of the contracts Emails from the Town Attorney to G&G regarding canceling the contracts	7/31/2025 3:22 PM	8/20/2025 2:58 PM
PRR-2025-114	Josy Infante	Could you please send me the following records, any and all that you may have For all permit requests for: *pool / spa *Screen enclosures *Solar Installations *Mechanical HVAC May 23, 2025-July 23, 2025	7/3/2025 1:07 PM	8/4/2025 12:28 PM
PRR-2025-128	Alison Dennington, Mayor	All check disbursement reports for years by year, for each year of 2020, 2021, 2022, 2024, 2024, and 2025 to date. All credit card disbursement reports for the same by year, for years 2020, 2021, 2022, 2023, 2024, and 2025.	7/27/2025 10:00 PM	8/4/2025 8:51 AM

ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO
Weekly email updates on the Deckhard software, STR numbers, and updates on doing the internal policies	4/16/2025	Weekly	8/20/2025	Mayor Dennington	Town Manager
DATE	DIRECTIONS/NOTES				
8/20/2025	Close the item, but continue to provide weekly updates.				
7/16/2025	The Code Enforcement Officer will start sending the updates.				
4/16/2025	The Commission agreed to have the Town Manager provide weekly email updates.				
ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO
Create a policy for owner occupied short term rentals	1/27/2025	9/17/2025		Commissioner Reed	Fire Chief & Town Attorney
DATE	DIRECTIONS/NOTES				
8/20/2025	Town Attorney - Working on the fire inspection aspect.				
7/16/2025	Next month				
6/18/2025	Town Attorney – Proposed language next month				
4/16/2025	The Town Attorney will need to draft an ordinance as owner occupied short term rentals was taken out of the ordinance				
3/19/2025	The Town Attorney will draft the resolution				
2/19/2025	Commission discussed creating a Resolution to provide for inspections of owner occupied short term rentals.				
1/27/2025	Commissioner Reed – Create a policy for owner occupied short term rental fire inspections.				
ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO
Explore the feasibility of pursuing the StormReady designation from the National Weather Service	3/19/2025	9/17/2025		Commissioner Reed	Town Manager & Staff

DATE	DIRECTIONS/NOTES				
8/20/2025	Public Works Director – Waiting to hear back to schedule the first meeting.				
7/16/2025	Public Works Director – Application was submitted, and scheduling the first inspection of several will begin in August. Commissioner Reed requested the email response sent to the Public Works Director. Provide information on the inspection schedule.				
6/18/2025	Public Works Director – Just finished getting the last bit of data from the Police and Fire departments. The next step will be to apply and then schedule the inspection.				
4/16/2025	Town Manager – The last thing needed for compliance was a second messaging system, and that was just confirmed. The next step is for them to come and do an inspection.				
3/19/2025	The Commission voted to task the Town Manager and Staff to explore the feasibility of having the Town pursue the StormReady designation from the National Weather Service				
ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO
Develop a plan and proposal for paid parking at the 6 th Ave boat ramp	12/18/2024	9/17/2025		Commissioner Reed	Town Manager
DATE	DIRECTIONS/NOTES				
8/20/2025	The sign is enforceable; there will be an ordinance update to amend the fine amount.				
7/16/2025	A sign was installed. Need an ordinance for the parking enforcement.				
6/18/2025	Public Works Director – A new sign was delivered today. Next step will be to approve the new sign.				
4/16/2025	Town Manager – The sign company did some mock ups, but there were too many words. Looking into similar language with fewer words.				
3/19/2025	The Commission discussed having signage say only stickered vehicles can be left unattended, and all others are subject to ticket or tow.				
2/19/2025	Commissioner Reed – Evaluate putting signage for no unattended vehicles without a Town parking permit.				
12/18/2024	Commissioner Reed - Develop the plan and proposal for the 6 th Ave paid parking and bring it back in February.				
ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO

Research companies and costs to perform a toxic workplace survey specific to municipalities	3/19/2025	9/17/2025		Vice Mayor Barlow	Town Manager
DATE	DIRECTIONS/NOTES				
8/20/2025	Town Manager - The Town met with the company twice, working on the questions; hopefully, it will be out at the beginning of next month.				
7/16/2025	Town Manager – One company is clearly the right choice for the price. Commission requested information on the company.				
6/18/2025	Town Manager – Working with 2 companies who will provide a selection of questions to be asked.				
3/19/2025	The Commission voted to task the Town Manager with researching companies and costs to perform a toxic workplace survey specific to municipalities.				
ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO
Review 7A-52 sign ordinance	3/19/2025	9/17/2025		Vice Mayor Barlow	Town Attorney
DATE	DIRECTIONS/NOTES				
8/20/2025	This is going to PNZ.				
7/16/2025	Next month				
6/18/2025	Town Attorney – 90% done, will have it next month.				
3/19/2025	The Commission voted to task the Town Attorney with reviewing 7A-52 sign ordinance and draft proposed language edits.				
ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO
Town building maintenance inspection checklist and calendar	4/16/2025	9/17/2025		Commissioner Reed	Public Works Director
DATE	DIRECTIONS/NOTES				
8/20/2025	Provide a schedule of frequency.				

7/16/2025	Public Works Director – Included the checklists in his monthly report. Will provide a summary for how often each checklist is done.				
4/16/2025	The Commission tasked staff to compile a checklist for town building maintenance inspections and calendar				
ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO
Lease a large pump for emergency flood protection	5/21/2025	After the engineer contracts are done		Commissioner Reed	Staff
DATE	DIRECTIONS/NOTES				
8/20/2025	On hold for the engineer contracts. Public Works has a meeting with a provider to demo one.				
7/16/2025	Waiting until the CCNA contracts are done.				
5/21/2025	The Commission agreed to add the discussion on leasing a large pump to provide emergency flood protection to the task list.				
ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO
Implementation plan for Resolution 2025-09 Cybersecurity procedures	5/21/2025	9/17/2025		Commissioner Baldwin	Staff
DATE	DIRECTIONS/NOTES				
8/20/2025	On the Technology Advisory Board agenda.				
7/16/2025	Assign to the Technology Advisory Board.				
6/18/2025	The Commission discussed the ability to use the Technology Advisory Board. Town Attorney spoke about the Board needing 3 members before it can do anything.				
5/21/2025	The Commission agreed to add a task list item for staff to create a plan to implement Resolution 2025-09 Cybersecurity procedures A-E.				
ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO
Report detailing all lawsuits	8/20/2025	Monthly		Commissioner Bulter	Town Attorney

DATE	<i>DIRECTIONS/NOTES</i>				
8/20/2025	The Commission agreed to task the Town Attorney with providing a monthly report at each RTCM detailing the nature of all active lawsuits filed against the Town. Include a description, who filed it, the status as far as where it is in the process, and the financial responsibility each suit has incurred within legal parameters.				
ITEM	<i>OPENED</i>	<i>DUE DATE</i>	<i>CLOSED</i>	<i>REQUESTOR</i>	<i>ASSIGNED TO</i>
Reports detailing public records requests	8/20/2025	9/17/2025		Commissioner Butler	Town Clerk
DATE	<i>DIRECTIONS/NOTES</i>				
8/20/2025	The Commission agreed to task the Town Clerk with looking at what reports can be provided from the current systems to track the volume and frequency and amount of public records requests and come back with recommendations.				