



**TOWN OF MELBOURNE BEACH**

**PLANNING & ZONING BOARD  
MEETING**

**TUESDAY, JUNE 2, 2026**

**AGENDA PACKET**

# Town of Melbourne Beach

## PLANNING & ZONING BOARD MEETING

### TUESDAY, JUNE 2, 2026 @ 6:30 PM

### COMMUNITY CENTER – 509 OCEAN AVENUE

## PUBLIC NOTICE AGENDA

#### **Board Members:**

Chairperson April Evans  
 Vice Chairperson Dan Harper  
 Member Gabor Kishegyi  
 Member Todd Albert  
 Member Jason Judge

#### **Alternate Board Members:**

#### **Staff Members:**

Town Manager A. Marie Smith  
 Interim Town Clerk Cyd Jones  
 Building Official Jeff Parsons

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. APPROVAL OF MINUTES**
- 4. NEW BUSINESS**
  - A. Site Plan Approval for 2103 Redwood Ave. – addition – pages 3-25
- 5. PUBLIC HEARINGS**
- 6. OLD BUSINESS**
  - A. Site Plan Approval for 222 Sixth Ave. – addition – pages 26-64
  - B. Discussion on the proposed Chapter 9A: Landscaping and Trees ordinance – pages 65-83
- 7. PUBLIC COMMENT**

Please limit comments to items that are not on the agenda
- 8. REPORTS: TOWN MANAGER AND TOWN ATTORNEY**
- 9. ITEMS TO BE ADDED TO THE AGENDA FOR FUTURE MEETINGS**
- 10. ADJOURNMENT**

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, THE TOWN HEREBY ADVISES THE PUBLIC THAT: In order to appeal any decision made at this meeting, you will need a verbatim transcript of the proceedings. It will be your responsibility to ensure such a record is made. Such person must provide a method for recording the proceedings verbatim as the Town does not do so. In accordance with the Americans with Disability Act and Section 286.26, Florida Statutes, persons needing special accommodations for this meeting shall, at least 5 days prior to the meeting, contact the Office of the Town Clerk at (321) 724-5860 or Florida Relay System at 711.

## Planning and Zoning Meeting

**Section:** New Business  
**Meeting Date:** June 2, 2026  
**From:** Building Department  
**RE:** Site Plan Approval for 2103 Redwood Ave. – Addition

### Background Information:

The Town received plans for an addition at 2103 Redwood Ave.

### Recommendation:

Approve the site plan for 2103 Redwood Ave.

### Attachments:

- Town Planner Letter – Pages 4-6
- Development Application – Pages 7-10
- Original Plans and Survey – Pages 11-24
- Property Value Breakdown – Page 25

## Site Plan Review

### Applicable Codes:

**Town of Melbourne Beach Land Development Code  
Current Florida Building Code**

**Date:** June 2, 2026  
**Owner:** Victor Rondon  
**Owner Address:** 2103 Redwood Ave, Melbourne Beach FL 32951  
**Site Address:** 2103 Redwood, Melbourne Beach FL 32951  
**Parcel ID:** 28-38-08-51-J-4  
**Zoning:** 2RS - Single-Family

**Proposed Project:** Construct a 473 SF addition and 385 SF lanai at existing home  
**References:** Town of Melbourne Beach Code of Ordinances:  
 7A-32 Single-Family Residential District  
 7A-51.1, Site Plan Approval For Single-Family Residential Districts

**Request:** Site Plan Approval in Accordance with 7A-51.1  
**Staff Review:** The property lies in Zoning District 2RS

- 1) The project involves the construction of a 473 SF addition and 385 SF lanai to the existing home, with existing enclosed and open porch areas being converted to living area and a lanai, and the addition of approximately 153 SF of gross square footage. The project also includes interior remodeling, selective demolition, new foundation, CMU wall modifications and installation of new doors and egress windows. As shown on the architectural plans, this results in a total square footage of 3053 including interior living area (2189 SF), open porch (88 SF), garage (391 SF), and lanai (385 SF).
- 2) The Building Lot Zoning District requirements of min. lot area, width and depth.  
 Lot area is 12,000 sq. ft. (min. 11,250 sq. ft.)  
 Lot width is 100 ft. (min. 90 ft.), nonconforming lot of record.  
 Lot depth is 120 ft. (min. 100 ft.)
- 3) Lot coverage has a maximum of 30% for principal structure.  
 Lot coverage per plan is 25.4%  
 Footprint of Primary Structure is 3,053 SF.  
 Max allowed for Primary Structure is 3,600 sq. ft. for Lot Area of 12,000 sq. ft.  
 Minimum pervious area per lot is 30%. Pervious area per plan is 61.5%.

- 4) Structure maximum height for zoning district is 28 ft.

Flood Zone: X per survey

FFE: 15.51'

Overall building height is not shown on the plans, but scales at approximately 18' from FFE.

Zoning District Setback requirements:

Front Setback: 29.83' (min. 25'.)

Rear Setback (addition): 30.83' (min. 25')

North Side Setback (addition): 20.01' (min. 15')

South Side Setback (addition): 20.30' (min. 15')

- 5) Sediment and Erosion control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.
- 6) On-site Storm water Retention Control measures are not required as part of this application.
- 7) The application did not include a landscape plan, however landscape standards, as applicable, must be met at the time of building permitting.

Based on the above review, the proposed site plan for the referenced property is in compliance with The Town of Melbourne Beach Code of Ordinances.



Corey W. O'Gorman  
Town Planner

Note that the Lot Coverage, Impervious Coverage and Setbacks were calculated based on dimensions on survey, plans and information from the Property Appraiser.

**2103 Redwood Avenue**

<b>IMPERVIOUS</b>		<b>PERVIOUS</b>	
Primary Structure	3053	Open areas	7382
Pool/Pool Deck	1037		
Driveway/Walkway	527		
 Total Paved Area	 4617	 Total Pervious	 7382
<hr/>		<hr/>	
Total Lot Area	12,000	Total Lot Area	12,000
 <hr/>		 <hr/>	
<b>% IMPERVIOUS</b>	<b>38.5%</b>	<b>% PERVIOUS</b>	<b>61.5%</b>



**TOWN OF MELBOURNE BEACH  
DEVELOPMENT APPLICATION**

**I. SUBMITTAL REQUIREMENTS:**

1. Fees per current schedule.
2. Deed to property.
3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting.
4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

**II. REQUEST:**

- |  |  |
|--|--|
| <input type="checkbox"/> Land Use Plan Amendment                                   | <input type="checkbox"/> Rezoning  |
| <input type="checkbox"/> Special Exception   | <input type="checkbox"/> Coastal Construction Variance                     |
| <input type="checkbox"/> Variance  | <input type="checkbox"/> Appeal (Application must be filed within 30 days) |
| <input checked="" type="checkbox"/> Site Plan Review Single Family (1RS, 2RS, 3RS) | <input type="checkbox"/> Site Plan Review Multifamily (4RM, 5RMO)          |
| <input type="checkbox"/> Site Plan Review Commercial (6B, 7C, 8B, 9I)              | <input type="checkbox"/> Amendment to the Land Development Code            |
|  | <input type="checkbox"/> Other (specify) _____                             |

**III. PROPERTY INFORMATION:**

General Location: Redwood avenue between Oak Street and Palm Avenue, Melbourne Meach, florida

Address: 2103 Redwood Avenue, melbourne beach, FI 32951

Parcel Number(s): 28-38-08-51-J-4

Area (in acreage): 0.275 acres Area (in square feet): 12,000 SF

Current Zoning: 2RS- Single family residential Proposed Zoning: NO CHANGE

Current Future Land Use: Residential Proposed Future Land Use: NO CHANGE

Brief Description of Application: Site plan review for a 473sf residential addition and 385sf lanai addition to an existing single-family residential, including interior remodel, selective demolition, new foundation, CMU wall modifications, and installation of new doors and egress window per approved construction plans.

Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable): 03/03/2026

**IV. APPLICANT INFORMATION:**

Property Owner

Name: Victor Rondon

Phone: 9738050127

Address: 2103 Redwood Avenue,  
melbourne beach, FL 32951

Fax: \_\_\_\_\_

Email: victorjrondon@icloud.com

Applicant (if other than property owner)

Name: VILAG IMPROVEMENTS CORP

Phone: 4074703586

Address: 2909 Sweetspire Cir,  
Kissimmee FL, 34746

Fax: \_\_\_\_\_

Email: vilagimprovements@gmail.com

**V. OWNER AUTHORIZATION:\***

The undersigned hereby affirms the following:

1. That I/we are the fee simple title owner/contract purchaser (circle one) of the property described in this application.
2. That I/we have read and understands the entire application and concurs with the request.
3. That I/we have appointed the Applicant to represent the application, and empowers the Applicant to accept any and all conditions of approval imposed by the Town of Melbourne Beach.

Signature: *Victor Jesus Rondon*

Date: 03/02/2026

Print Name: Victor Rondon

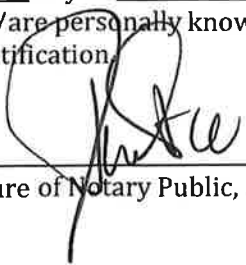
Title: Owner

\*Must sign in front of notary.

State of Florida  
County of Brevard.

The foregoing application is acknowledged before me  
this 02 day of March, 2026, by Victor Jesus Rondon  
who is/are personally known to me, or who has/have produced NJ DRIVER LICENSE  
as identification.

Signature of Notary Public, State of Florida



**Paola Santoro**  
Commission No. HH319984  
Expires: Oct. 09, 2026  
Notary Public-State of Florida

**VI. APPLICANT CERTIFICATION:\***

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

Signature: Wilker Di Pietro Date: 03/02/2026

Print Name: WILKER DI PIETRO Title: Certified Building Contractor (CBC1268224)

\*Must sign in front of notary.

State of Florida  
County of Brevard.

The foregoing application is acknowledged before me this 02 day of March, 2026, by Wilker Di Pietro, who is/are personally known to me, or who has/have produced FI DRIVER LICENSE as identification.

[Signature] Signature of Notary Public, State of Florida



**VII. PROJECT DESCRIPTION:**

Describe Application: interior remodel to an existing single-family residence. The scope includes a 473 sf addition and construction of a new 385 sf lanai. Work includes selective demolit on, new foundation construction, CMU wall opening modifications, and installation of new doors and egress windows in compliance with approved construction plans and applicable code.  
Provide attachment if more space is needed.

Describe Existing Conditions: The property currently contains an existing one-story single-family residence constructed in 1978 with existing covered porch areas, garage, driveway, and associated improvements. The proposed project modifies and expands the existing structure while maintaining residential use.  
Provide attachment if more space is needed.

## **NARRATIVE DESCRIPTION OF PROPOSED IMPROVEMENTS**

**Site Plan Review – Single Family Residential**  
**2103 Redwood Avenue, Melbourne Beach, FL 32951**  
**Zoning: 2RS – Single Family Residential**

This application is submitted for Site Plan Review of proposed improvements to an existing one-story single-family residence located at 2103 Redwood Avenue, Melbourne Beach, Florida.

The property is currently developed with a legally existing single-family home. The proposed project does not change the use, zoning classification, density, or future land use designation of the property. The use will remain single-family residential.

The proposed improvements include:

- A 473 square foot residential addition to expand the conditioned living area.
- Construction of a new 385 square foot covered lanai attached to the residence.
- Selective interior demolition and remodeling.
- CMU wall opening modifications and structural tie-ins.
- Installation of new impact-rated doors and code-compliant egress windows.
- Removal and replacement of the existing roofing system in compliance with current Florida Building Code wind load requirements.

The addition and lanai will comply with required setbacks, lot coverage limitations, and height restrictions under the 2RS zoning district. No additional dwelling units are proposed.

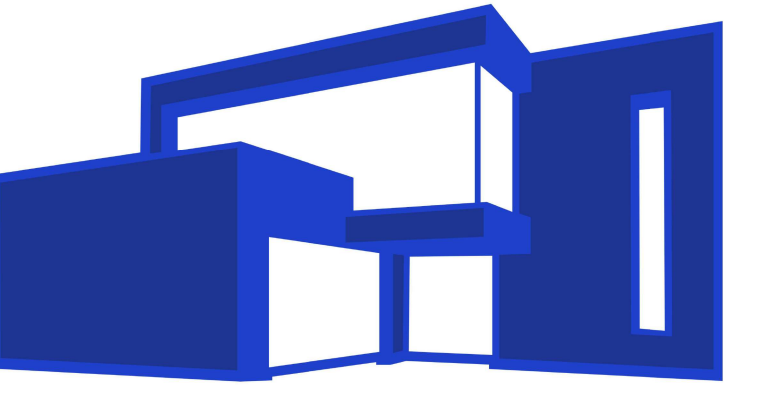
The project does not require a variance, rezoning, or special exception. It maintains the residential character of the neighborhood and is consistent with surrounding single-family development.

Stormwater and drainage conditions will remain consistent with existing site conditions, and any required compliance will be addressed in accordance with Town standards.

The improvements modernize and expand the existing residence while maintaining full compliance with the Florida Building Code (2023, 8th Edition) and applicable Town of Melbourne Beach regulations.

Respectfully submitted,

Wilker Di Pietro  
Certified Building Contractor – CBC1268224  
VILAG Improvements Corp



ARMISTEAD DESIGN INC

Index Of Sheets	
1	Cover Page I
2	Cover Page II
3	Notes & Details
4	Additional Notes & Details
5	Add Details & Pressure Calcs
6	Demolition Plan I
7	Demolition Plan II
8	Foundation Plan
9	Floor Plan
10	Roof Plan
11	Front & Right Elevations
12	Rear & Left Elevations
13	Electrical Plan

**General Structure Data:**

Occupancy Type: Residential-Single Family

Building Area: 3053sf

**Existing Area Calculations**

Living:	1634sf
F/Open Porch:	88sf
Garage:	473sf
R/Encl. Porch:	259sf
R/Open Porch:	446sf
<b>Totals</b>	
Total Area:	2900sf

**Post-Construction Area Calculations**

Living:	2189sf	+82sf Remod. into Living
F/Open Porch:	88sf	+473sf Additions
Garage:	391sf	-82sf Remod. into Living
R/Encl. Porch:	0sf	Removed
R/Open Porch:	0sf	Removed
Lanai:	385sf	Addition
<b>Totals</b>		
Total Area:	3053sf	



STRUCTURAL ONLY  
DOUGLAS CZERWINSKI, P.E.  
LICENSE # 40088  
132 St Croix Ave  
Cocoa Beach, FL 32931  
(321) 288-9375

**Douglas A. Czerwinski P.E.**  
Digitally signed by Douglas A. Czerwinski P.E.  
Date: 2025.12.09 13:26:32 -05'00

Project DESIGNER  
Chris Feddersen

**REVISIONS**

Description	Date

Victor Rondon  
2103 Redwood Ave  
Melbourne Beach, FL 32951

Project No  
**08142025**

When it's all done  
YOU'RE GOING TO LOVE THIS HOUSE

FIELD CONDITIONS, PRODUCTS, AND ASSEMBLIES MAY VARY FROM WHAT IS DEPICTED IN THESE PLANS. DESIGN INTENT IS PARAMOUNT. PLAN DIMENSIONS ARE MORE ACCURATE THAN SCALING. AVAILABLE BUDGET ALWAYS CONSTRAINS CREATIVITY.

Rondon Addition & Remodel

COVER PAGE I

Scale NTS

PAGE NR

# Rondon Addition & Remodel

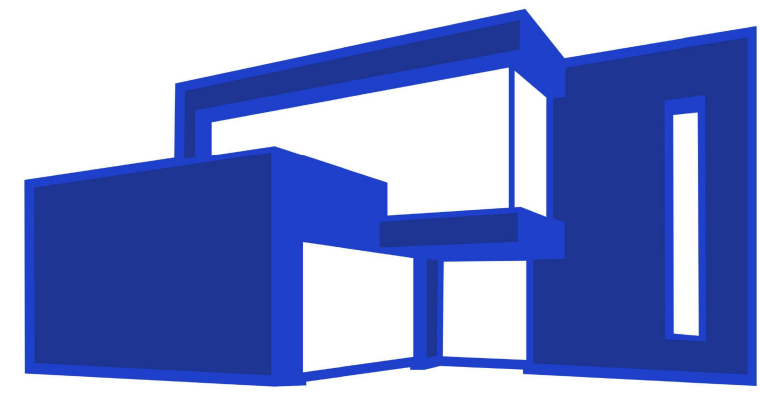
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Victor Rondon  
2103 Redwood Ave  
Melbourne Beach, FL 32951

Project No  
**08142025**

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675 Fern Drive  
Melbourne, Florida 32932  
Phone: (321) 454-0499  
www.armisteadesign.com

Project  
DESIGNER  
Chris Feddersen

REVISIONS  
Description Date



COVER PAGE II

**Codes In Effect:**  
Florida Building Code Residential 2023 (8th Ed.)  
Florida Building Code Energy Conservation 2023 (8th Ed.)  
National Electric Code 2020 (NFPA 70)

Scale NTS

PAGE No

02

General Notes

- 1. The intent of these documents is to include all work and items necessary for the completion of the work. Therefore, it does not matter whether the item is shown or not, all items necessary for the intended result must be provided.
2. All material must be new without blemishes or defects of any kind.
3. All work should be of the highest quality for the trade involved.
4. Unless noted otherwise (uno), all work shall be guaranteed for a minimum of one year from the date of occupancy.
5. General contractor and subcontractors must be currently licensed in the state of Florida to perform their trade.
6. Owner must approve substitutions of any item.
7. General contractor shall be responsible for the coordination and quality of workmanship by all trades. This includes proper installation of any roofing systems, flashings, sealants, secondary water proofing, and any other required resistance to water intrusion.
8. General contractor must obtain and maintain liability insurance as required by contract until completion of the job.
9. If any part of these documents is not clear, the general contractor or the subcontractor must ask the Engineer for clarification. Lack of understanding does not excuse improper installation or construction.
10. These plans have been prepared in compliance with the latest edition of the Florida Building Code with current revisions.
11. Dimensions should be used in lieu of scaling.
12. All new exterior doors and windows shall be wind resistant and installed per manufacturer's specifications to ensure that they will meet wind load requirements.

Concrete

- 1. All concrete shall be as designed to develop a compressed strength as follows: foundations 2500 psi
2. All reinforced steel shall be deformed bars conforming to ASTM A-615 Grade 40
3. All concrete reinforcement shall be detailed, fabricated, labeled, supported and spaced in forms and secured in place as per building code requirements for reinforced concrete. ACI 318-19 and the manuals of standard practice for detailing reinforced concrete structures, ACI 315 latest edition.
4. All #5 bar splices and dowels shall lap 25 inches unless noted otherwise.
5. Unless otherwise permitted or specified, the concrete shall be proportional and produced to have a slump of 3" minimum and 5" maximum immediately after depositing.
6. Welded wire fabric shall conform to ASTM-185. 1.5#/yd fibermesh may be used with or in lieu of WWF or vice versa.
7. Minimum concrete protection for reinforcing bars:
structural part cover minimum clear footings, (concrete cast against and permanently exposed to earth) 3 inches
Footing and walls (concrete cast in forms permanently exposed to earth) 2 inches
slab (in contact with earth) 2 inches
beams (to stirrups) 2 inches
columns (to ties) above grade 2 inches
8. Foundations and slabs on grade are designed to bear on soil with minimum safe bearing capacity of 2000 P.S.F. It is the responsibility of the contractor to provide the required capacity under all foundations and slabs.
9. Control joints shall be installed per ACI 224.3R.

Masonry

- 1. Masonry construction shall conform to ACI 530 & 530.1, Building Code Requirements for Masonry Structures, ASN specifications. Masonry walls have been designed as reinforced masonry retaining walls.
2. Concrete blocks shall conform to ASTM C 90 (28 days strength = 2000 Psi (net area), Fm = 1800 Psi) Laid in running bond with full mortar embedment.
3. Mortar/Concrete/Grout shall be type M.
4. Reinforce masonry walls vertically as indicated on plans. Use 3000 psi concrete grout for filled cells.
5. Locate one filled cell at each side of openings, @ corners, wall intersections, high side of wall step up, within 8" of girder locations, and at internal bearing walls.
6. Fill the cell full height with grout and (1) #5 rebar.
7. All vertical reinforcing shall be provided as indicated and shall be installed as follows:
Provide clean-out space at bottom of each reinforced cell (at location of reinforcing steel dowel in foundations or previous concrete placement) Install vertical steel tied to dowel at bottom and at top. Cover clean out opening and fill with 3000 psi grout.
8. Continuous bond beams shall be provided as shown on the wall section(s).
9. All reinforcing steel shall conform to ASTM A615 Grade 40.
10. 8" deep bond beam with (1) #5 continuous.
11. Install (1) #5 below window openings.
12. Control joints shall be installed per NCMA TEK 10-02D.

Roof Notes

- 1. The roof trusses shall be sheathed Per TYPICAL NAILING SCHEDULE.
2. Contractor to provide roof vent that complies with Florida Building Code section R806
3. Galv (26 ga min) or alum flashing shall be used at gutters, wall & roof intersections, roof slope changes, & roof openings. Use of weep screeds, control joints, or expansion joints shall be used to drain moisture. Only workers who understand proper installations of any water barriers, including flashings and sealants, shall be used.
4. For tile roof use 30# dry in, 90# felt and hot mop w/ screw down installation per Roof Tile Institute System Two, UNO. Install tile roof system in accordance w/ FRSA/TRI per FBC 1507.3.7 & FBCR 905.3.
5. Modified Bitumen roof systems shall be Florida Product Approved. System shall be non-insulated (insulation is under the deck). Self-adhering or mechanically fastened systems for use on wood deck shall be allowed.

Framing Notes

- 1. Structural lumber shall be 2X4 SPF Grade 2 minimum. Stud spacing on interior and exterior bearing walls shall be 16"oc UNO. Walls shall be anchored with 1/2" dia. anchor bolts, 10' long spaced 48"oc UNO.
2. 2X studs at 16" O.C. shall be used for interior partition walls. Stud spacing for all walls shall not exceed 16"oc.
3. When manufactured wood connectors are used, framing contractor is to follow manufacturer's recommendations as to quantity and size of nails. If engineer specified connector will not work in field, please contact engineer for substitution.
4. Supplier of pre-engineered trusses shall provide roof truss plans sealed by a Florida Registered Professional Engineer.

Precast Concrete Lintels

- 1. All precast concrete lintels shall have a minimum bearing of 8" on each side.
2. Lintels over openings larger than 14'-0" must be pre-stressed.
3. All lintels are to have 1 #5 bar (2 #5 bars for openings over 10'-0") and concrete poured in lintel cavity, unless noted otherwise.
4. Lintels to be Cast-Crete or equivalent.

Moisture Mitigation & Water Leaks

- 1. Moisture and leaks are major concerns. Contractor shall ensure all ventilation including but not limited to roof & any crawl space (as applicable) are installed per current Code requirement.
2. Contractor shall ensure all roof, wall, door, window, deck, and balcony flashings & waterproofings are installed correctly & meet all current code requirements.
3. Ventilation and waterproofing shall be addressed by the contractor even if any of these were omitted in these drawings.

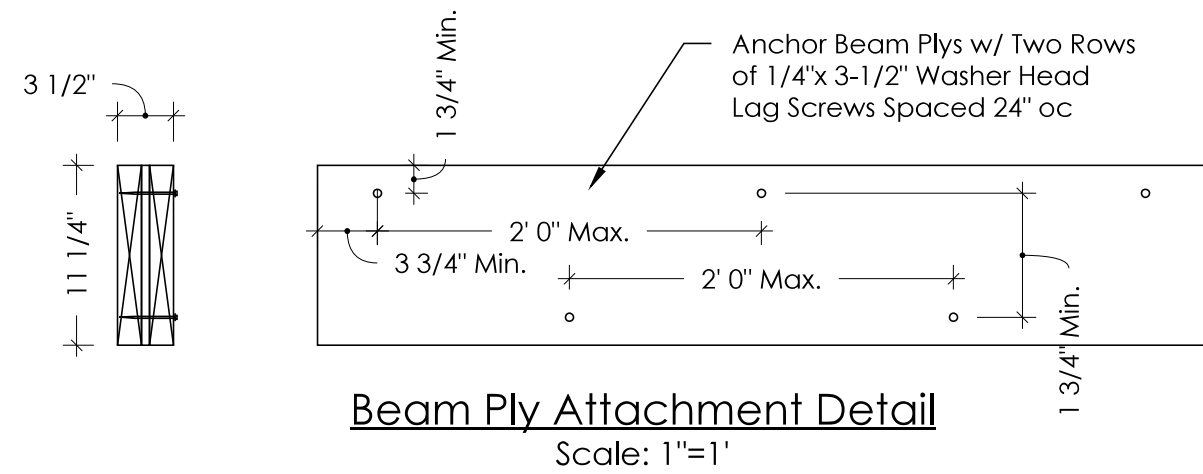


Table with 4 columns: #2, DIM., DIMENSION, LIFT. and 4 columns: #2, DIM., DIMENSION, LIFT. Includes abbreviations like A.B., A.F.F., A.F.G., A/C, etc.

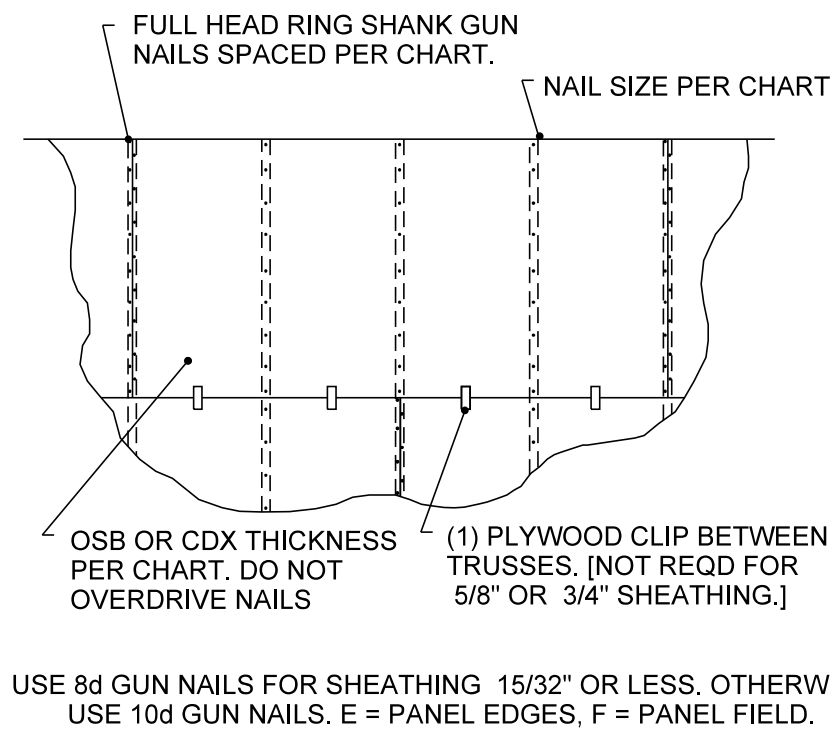


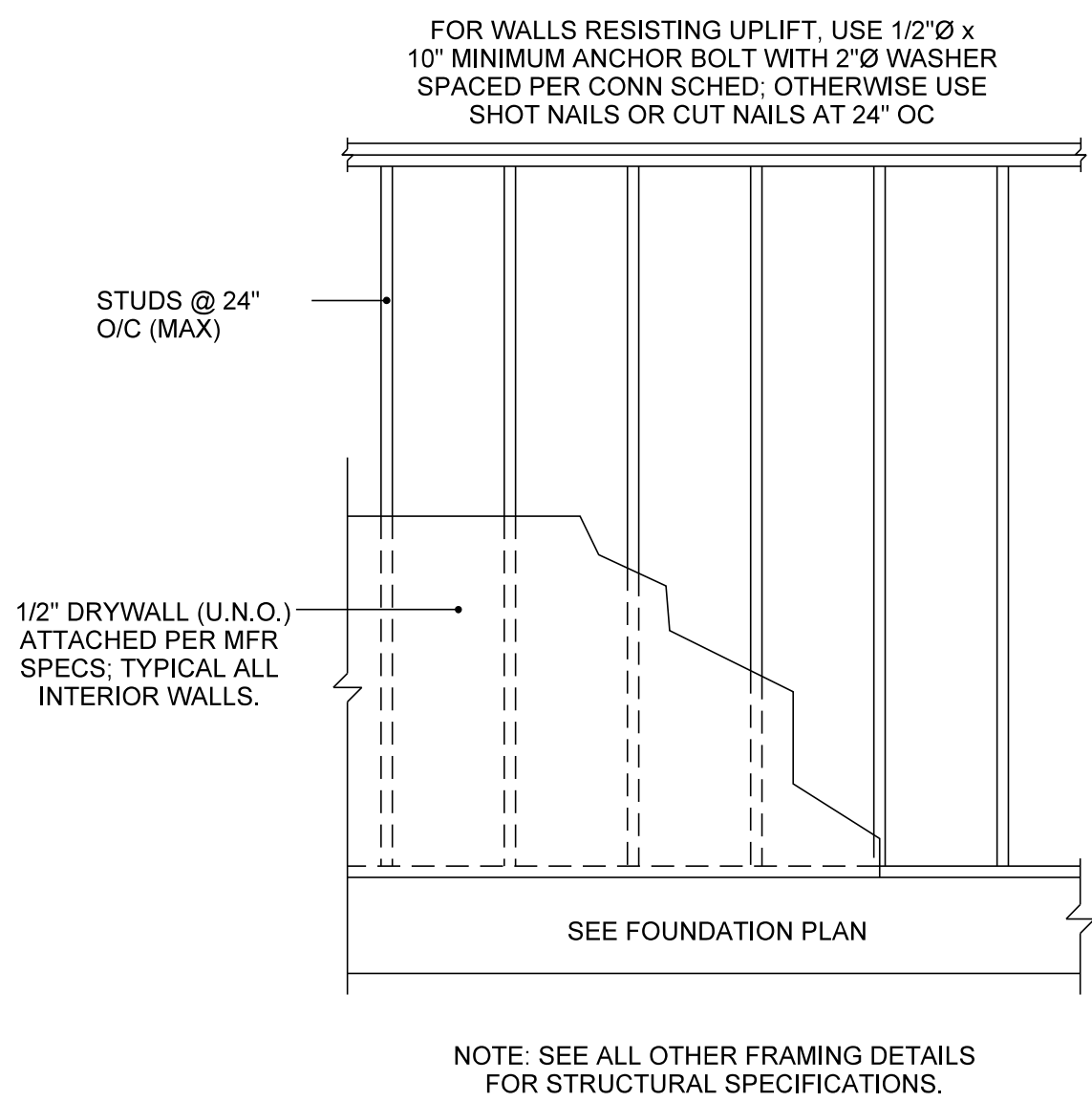
Table with 3 main columns: EXPOSURE B, EXPOSURE C, EXPOSURE D. Each column has sub-columns for SHEATHING THICKNESS (IN), SPAN RATING (IN), and NAIL SPACING (IN) with sub-columns E and F.

TYPICAL NAILING SCHEDULE
NAILSCHEDULE.dwg 13MAY21 SEK SCALE: NTS

Wind Load Notes

These plans prepared to comply with FBC latest edition and other applicable codes. See "Codes in Effect" note (PG.2).

- 1. Ultimate Design Wind Speed: 160mph
2. Exposure Category: D
3. All new structures and openings on this plan are designed as fully enclosed.
4. According to ASCE 7-22, this structure occurs within the wind-bourne debris region. Protection of openings is required.
5. All new exterior doors and windows must be installed per manufacturer's specifications to ensure that it will meet design wind load requirements.
6. Exterior doors and windows shall comply with testing and labeling requirements of FBC.
7. 7. ROOF LIVE LOAD (LL)=20 PSF; ROOF TOP CHORD DEAD LOAD (DL) (SHINGLE)=7 PSF; ROOF DL (TILE)=15 PSF; BOTTOM CHORD DL=10 PSF FLOOR LL=40 PSF (BALCONY LL=40 PSF FLOOR TOP CHORD DL=10 PSF, FLOOR BOTTOM CHORD DL=5 PSF.
8. Internal Pressure Coefficient: +/-0.18
9. Risk Category II



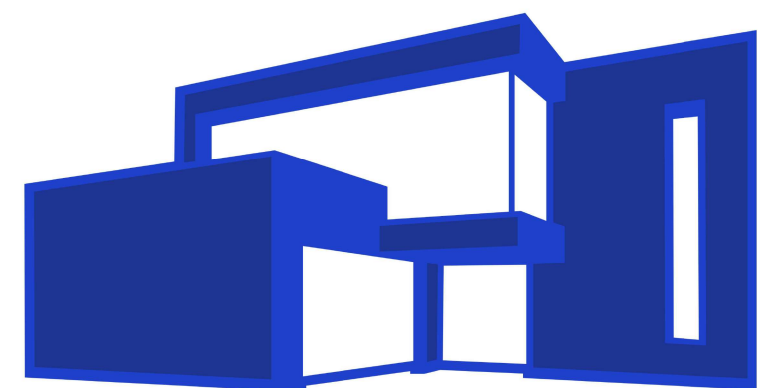
0800 INTERIOR FRAME WALL FINISHING DETAIL SCALE: NTS

Flashing

Approved metal flashing, vinyl flashing, self-adhered membranes and mechanically attached flexible flashing shall be applied shingle-fashion or in accordance with the manufacturer's instructions. Metal flashing shall be corrosion resistant. Fluid-applied membranes used as flashing shall be applied in accordance with the manufacturer's instructions. All flashing shall be applied in a manner to prevent the entry of water into the wall cavity or penetration of water to the building structural framing components. Self-adhered membranes used as flashing shall comply with AAMA 711. All exterior fenestration products shall be sealed at the juncture with the building wall with a sealant complying with AAMA 800 or ASTM C920 Class 25 Grade NS or greater for proper joint expansion and contraction, ASTM C1281, AAMA 812, or other approved standard as appropriate for the type of sealant. Fluid-applied membranes used as flashing in exterior walls shall comply with AAMA 714. The flashing shall extend to the surface of the exterior wall finish. Approved flashings shall be installed at the following locations:

- 1. Exterior window and door openings. Flashing at exterior window and door openings shall extend to the surface of the exterior wall finish or to the water-resistive barrier complying with Section 703.2 for subsequent drainage. Mechanically attached flexible flashings shall comply with AAMA 712. Flashing at exterior window and door openings shall be installed in accordance with one or more of the following:
1.1. The fenestration manufacturer's installation and flashing instructions, or for applications not addressed in the fenestration manufacturer's instructions, in accordance with the flashing or water-resistive barrier manufacturer's instructions. Where flashing instructions or details are not provided, pan flashing shall be installed at the sill of exterior window and door openings. Pan flashing shall be sealed or sloped in such a manner as to direct water to the surface of the exterior wall finish or to the water-resistive barrier for subsequent drainage. Openings using pan flashing shall incorporate flashing or protection at the head and sides.
1.2. In accordance with the flashing design or method of a registered design professional.
1.3. In accordance with other approved methods.
1.4. In accordance with FMA/AAMA 100, FMA/AAMA 200, FMA/WDMA 250, FMA/AAMA/WDMA 300 or FMA/AAMA/WDMA 400, or FMA/AAMA/WDMA 2710.

- 2. At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings.
3. Under and at the ends of masonry, wood or metal copings and sills.
4. Continuously above all projecting wood trim.
5. Where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction.
6. At wall and roof intersections.
7. All built-in gutters.



ARMISTEAD DESIGN INC

STRUCTURAL ONLY
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LICENSE # 40088
132 St Croix Ave
Cocoa Beach, FL 32931
(321) 288-9375

675 Fern Drive
Merri Hill, FL 32952
Phone: (321) 454-0499
www.armisteaddesign.com

Project DESIGNER
Chris Feddersen

REVISIONS

Description Date

FIELD CONDITIONS, PRODUCTS, AND ASSEMBLIES MAY VARY FROM WHAT IS DEPICTED IN THESE PLANS. DESIGN INTENT IS PARAMOUNT. PLAN DIMENSIONS ARE MORE ACCURATE THAN SCALING. AVAILABLE BUDGET ALWAYS CONSTRAINS CREATIVITY.

Victor Rondon
2103 Redwood Ave
Melbourne Beach, FL 32951

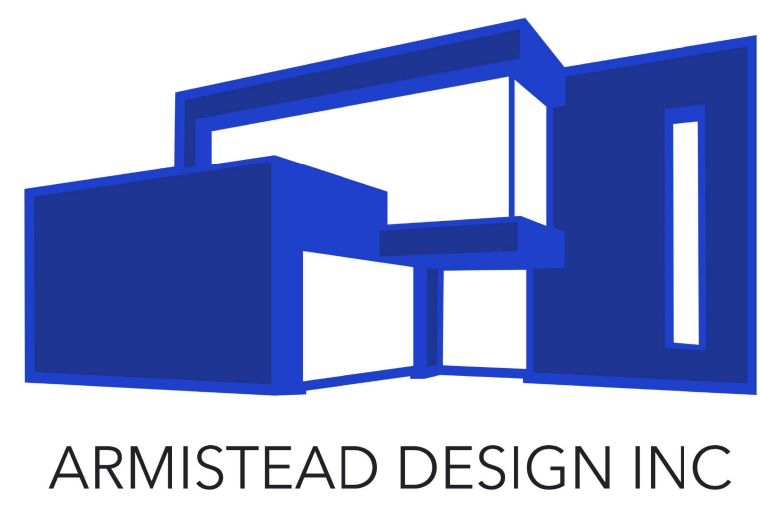
Project No
08142025

YOU'RE GOING TO LOVE THIS HOUSE

NOTES & DETAILS

Scale NTS

Rondon Addition & Remodel



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 DOUGLAS CZERWINSKI, P.E.  
 LICENSE # 40088  
 132 St Croix Ave  
 Cocoa Beach, FL 32931  
 (321) 288-9375

675 Fern Drive  
 Merritt Island, Florida 32952  
 Phone: (321) 454-0499  
 www.armisteaddesign.com  
 Project Designer  
 Chris Feddersen

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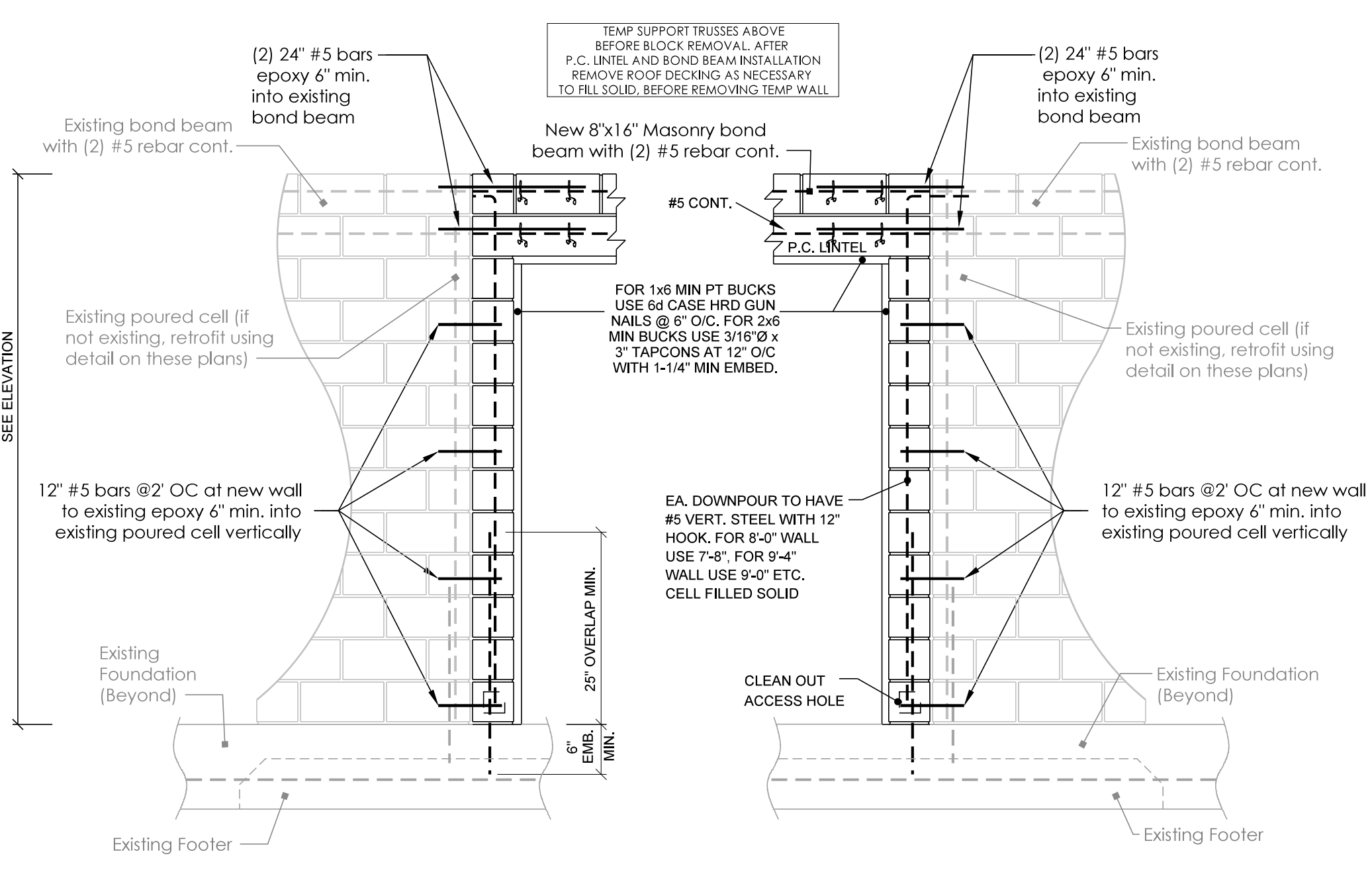
REVISIONS	Description	Date

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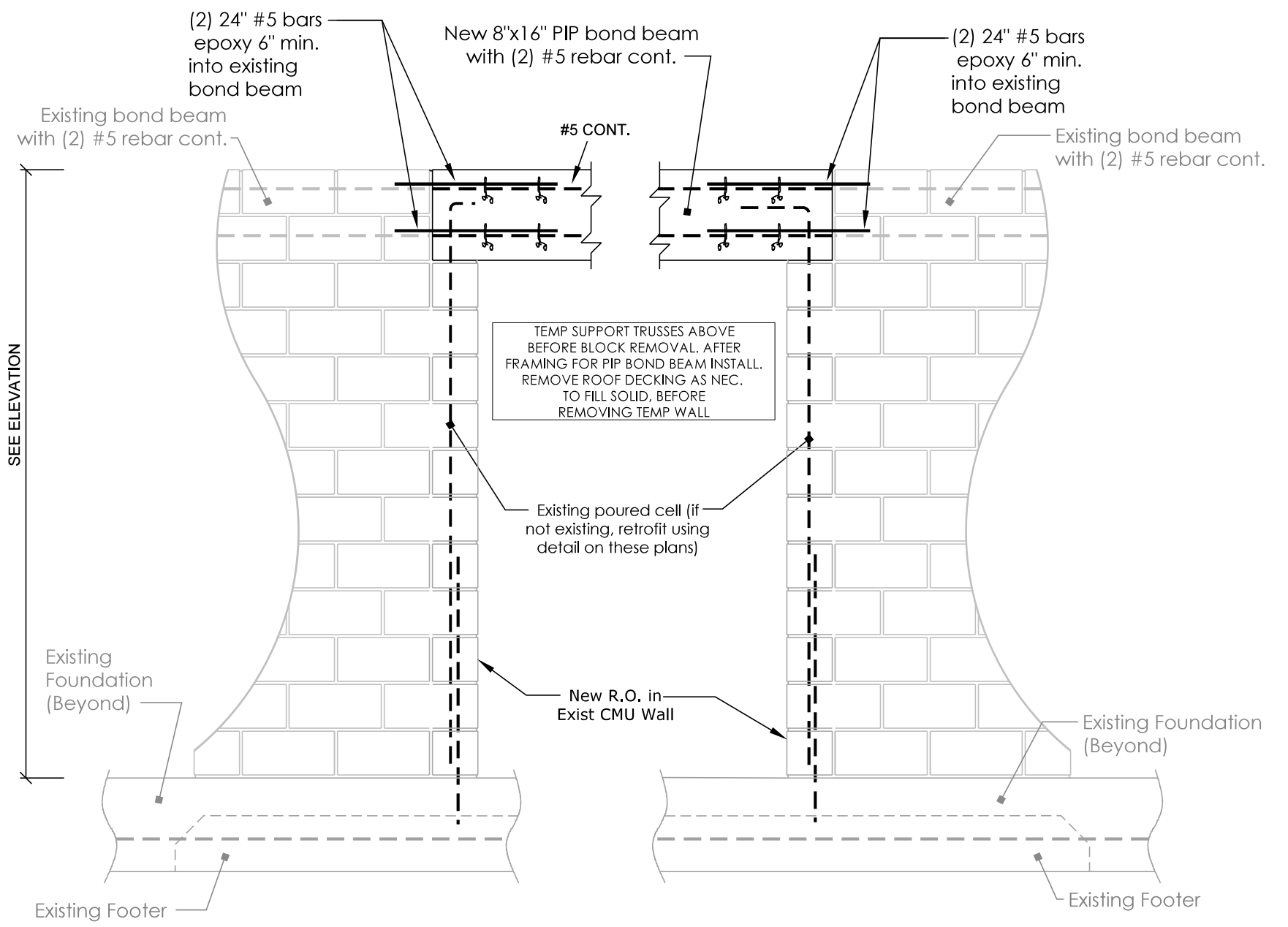
ADDITIONAL NOTES & DETAILS

Scale  NTS

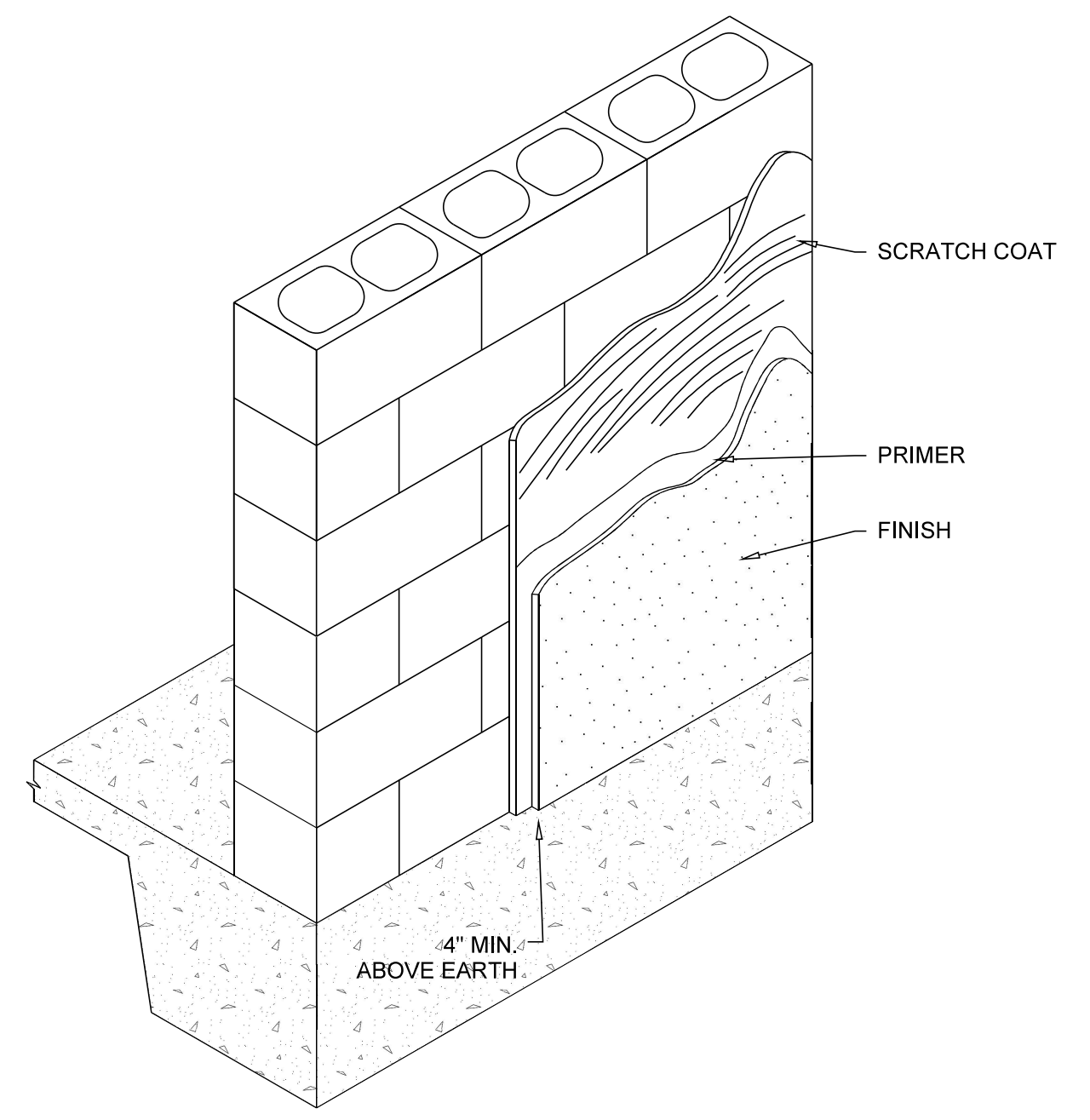
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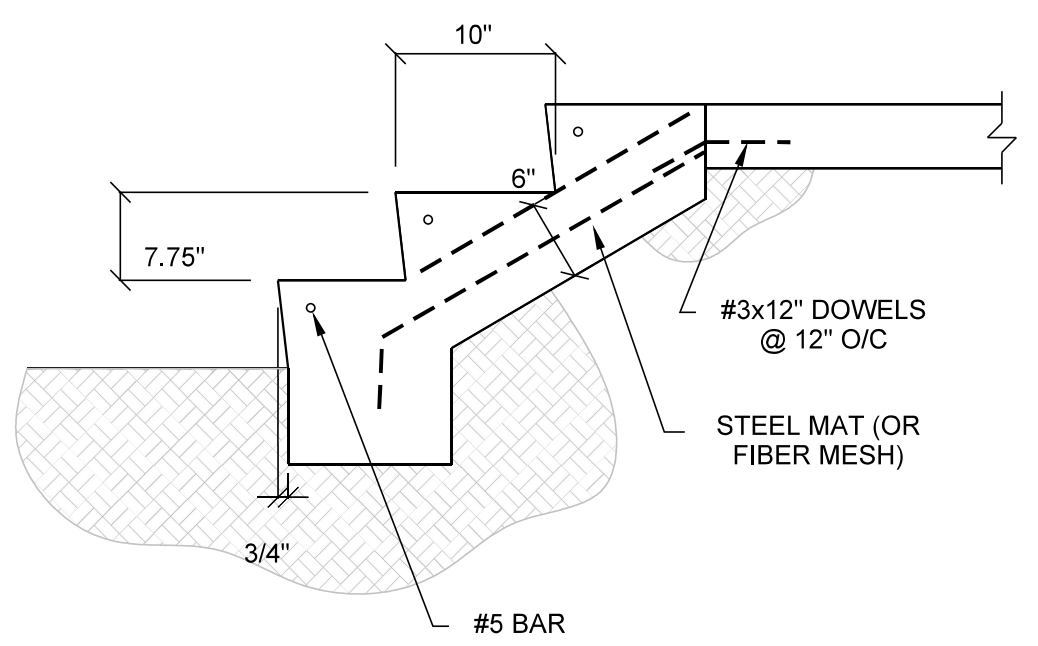
**0728S**  
**3DEC25**  
 New Door/Slider Buck & Rebar in Enlarged Opening to Existing Block Wall Connection  
 Scale: NTS



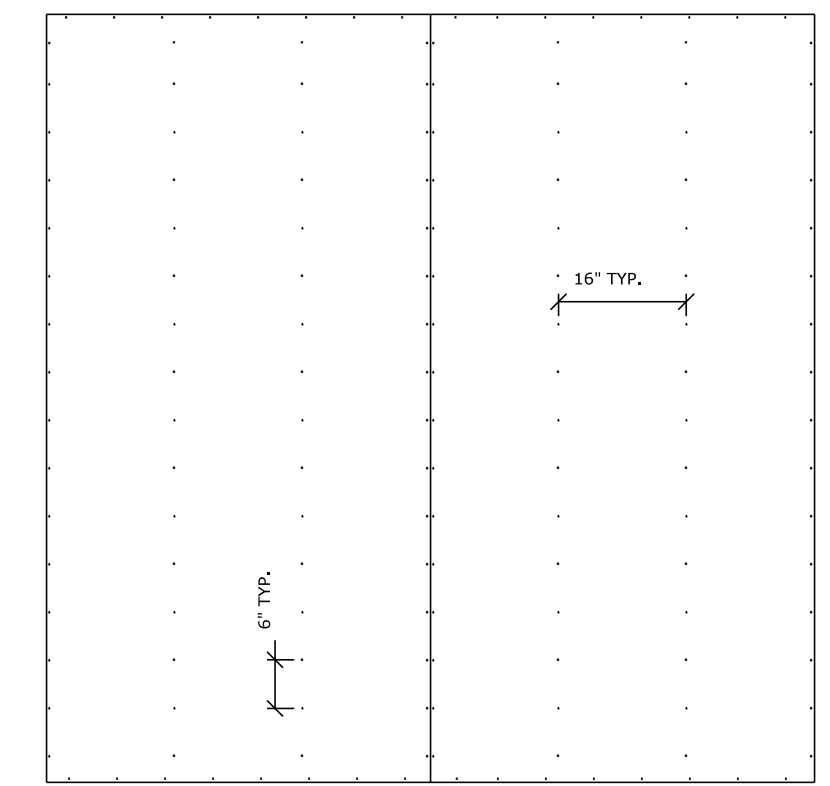
**0728P**  
**3DEC25**  
 NEW 8'x16' PIP Bond Beam @ Enlarged Opening in Wall  
 Scale: NTS



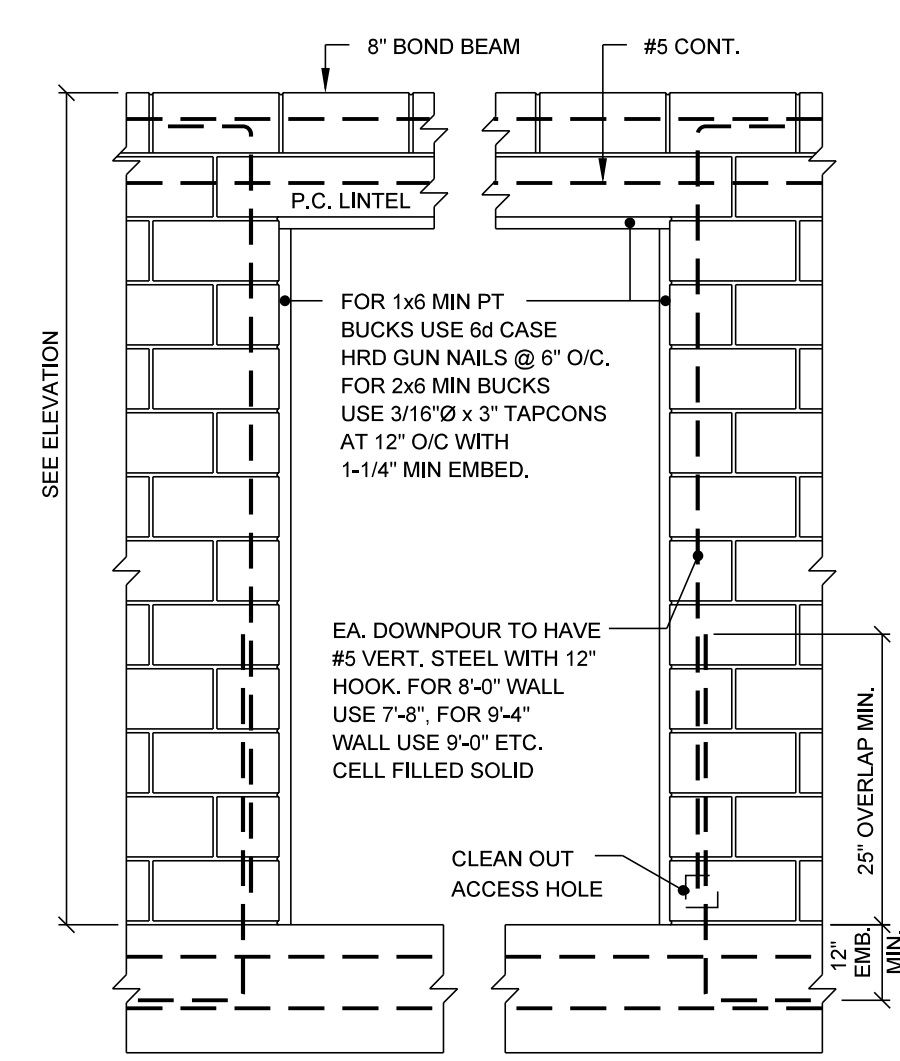
**STUCCO ON CMU DETAIL**  
 STUCCOCMU.DWG 28JUL17



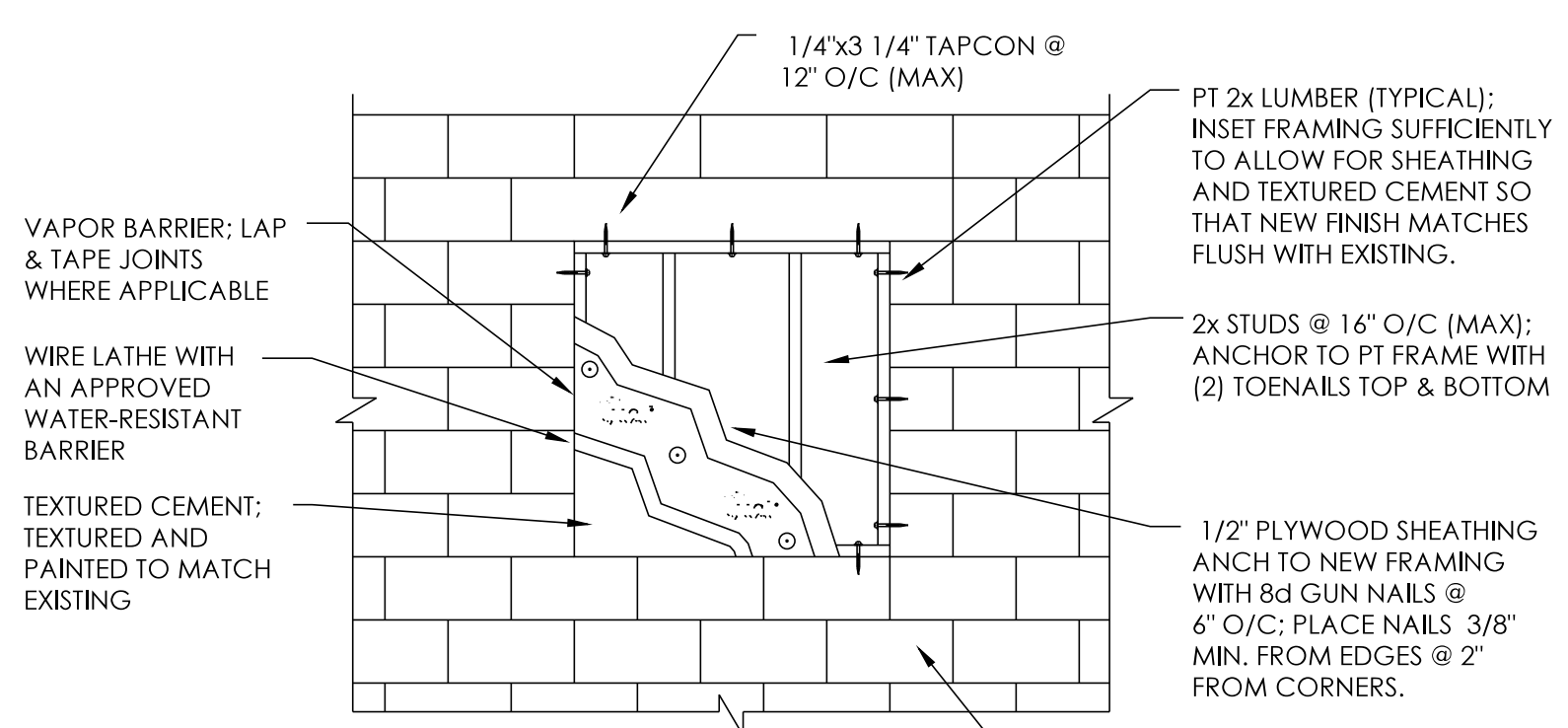
**1427**  
**19FEB17**  
 CONCRETE STAIR SECTION  
 SCALE: NTS



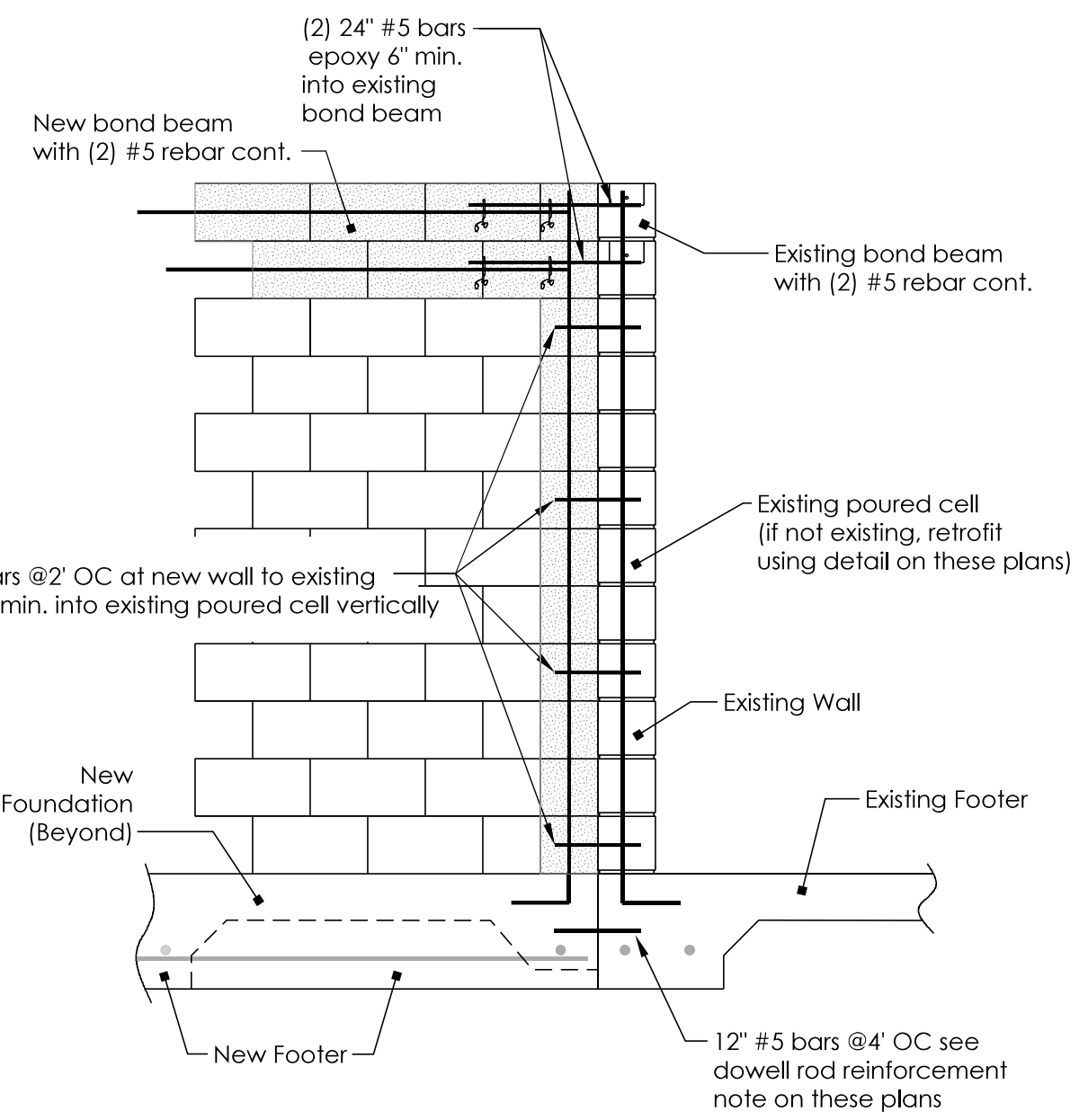
**1101**  
**21APR06**  
 7/16" OSB SHEAR SPECIFICATIONS  
 SCALE: NTS



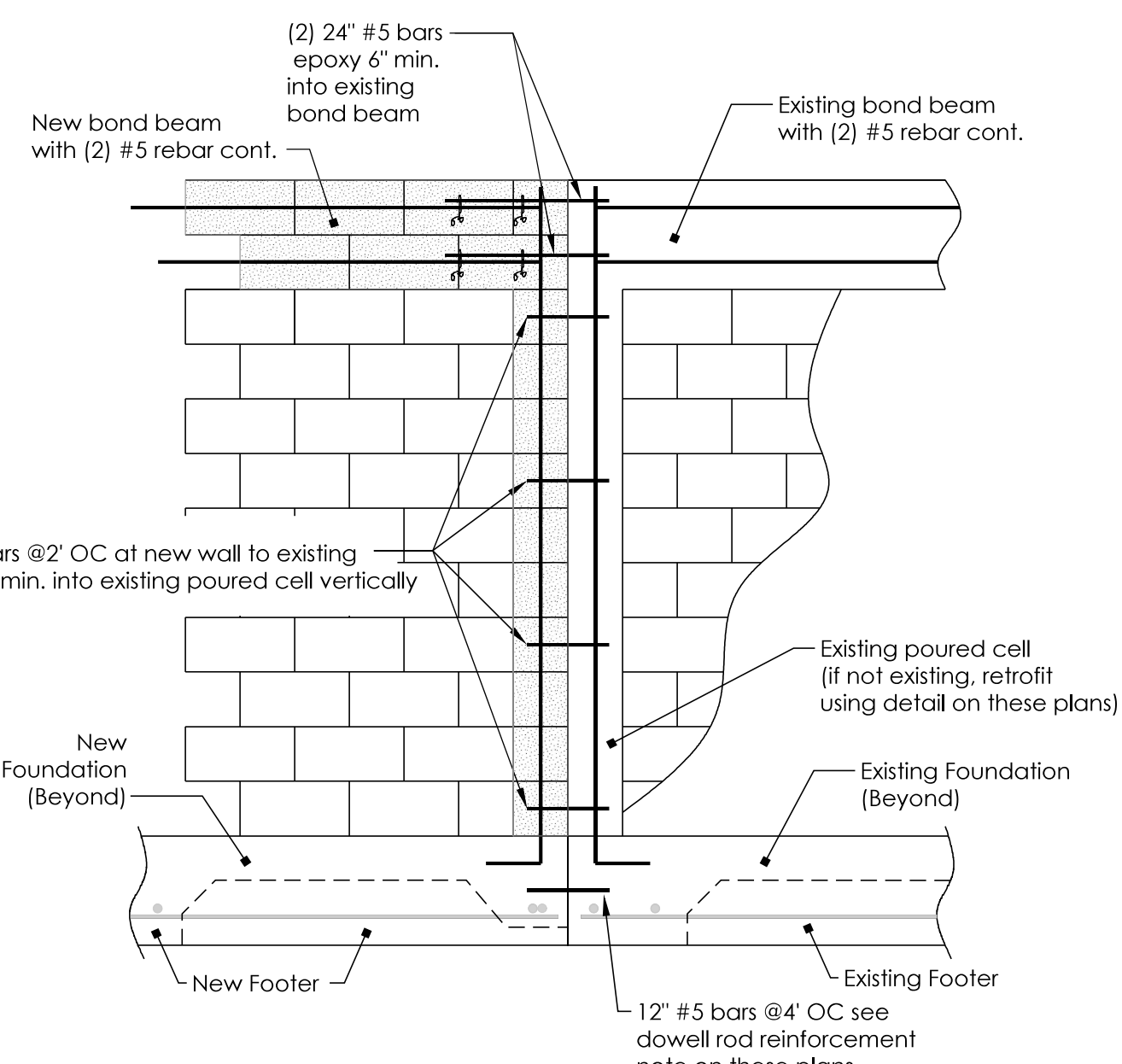
**0902**  
**31MAY06**  
 DOOR/SLIDER BUCK AND REBAR DETAIL  
 SCALE: NTS



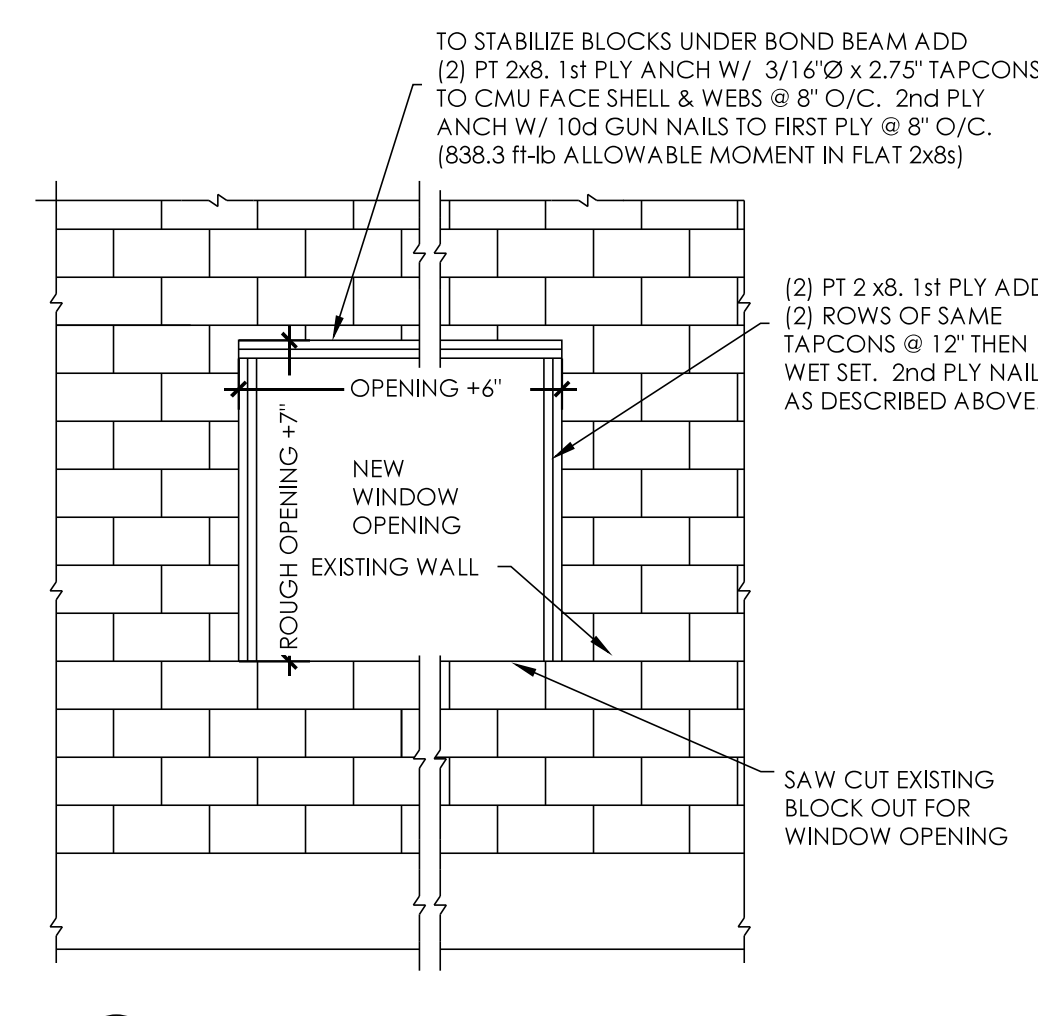
**0729**  
**18OCT19**  
 EXISTING OPENING FRAME-IN DETAIL  
 SCALE: NTS



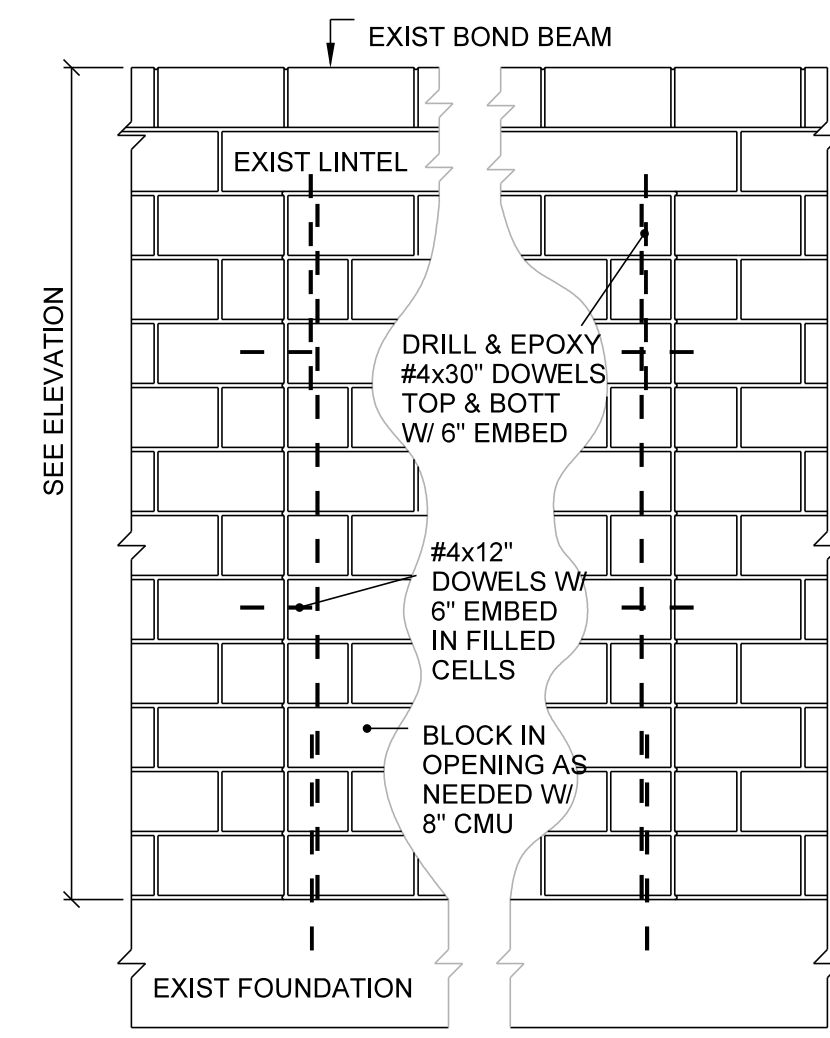
**0728M**  
**3DEC25**  
 New to Existing Block Wall Connection (Mid-Wall)  
 Scale: NTS



**0728C**  
**3DEC25**  
 New to Existing Block Wall Connection (@ Corner/Cut End)  
 Scale: NTS



**0904V**  
**10JUN20**  
 NEW OPENING IN EXISTING CMU WALL



**0903A**  
**04JUN20**  
 BLOCK IN EXIST OPENING DETAIL  
 SCALE: NTS

### Wind PSF® Wind Pressures on Buildings™

- A) Occupancy (Highest occupational use)
- B) Risk Category (I, II, III or IV based upon occupancy selected)
- C) Ultimate Wind Speed (Vult) (Per risk category & location, see ASCE web link below)
- D) Nominal Wind Speed (Vasd) (Computed based upon Vult)
- E) Is building within 1 mile of mean high water of a large body of open water or coastline?
- F) Topographic Effect (Level, hill or escarpment)
- G) Directionality Factor (Typical or atypical building proportions)
- H) Ground Elevation Factor (<1,000 ft to >6,000 feet elevation)
- I) Building Width (Shortest) (Bounding width enclosing building)
- J) Building Length (Longest) (Bounding length enclosing building)
- K) Ridge Height (Highest roof ridge height)
- L) Eave Height (Average roof eave height)
- M) Roof Slope (User defined average roof rise:run or slope)
- N) Mean Roof Height (h) (Average of ridge and eave heights)
- O) Exposure Category (A= Urban, B = suburban, C = rural, or D = open)
- P) Roof Type (Flat, gable, hip, low/high mono-slope, step, mansard)
- Q) Use Vult or Vasd Pressures for Main Wind Force Resisting Systems (MWFRS)?
- R) Use Vult or Vasd Pressures for Components & Cladding (C&C)?
- S) Impact protection required? (Wind Borne Debris Region 'WBDR' per ASTM E-1996)
- T) Skylight, if any, protection? (One- and Two-Family Dwellings only)
- U) Enclosure (Enclosed, partially enclosed, partially open, or open)
- V) Building Overhang (Average overhang width)
- W) Building Height/Width Ratio (Building height divided by building width)
- X) Fence or Monument Sign Pressure Vasd += 40.6 PSF + Vasd -= -54.4 PSF Combined= 95.0 PSF
- Y) Canopy Uplift (Vult most critical ratio: canopy height to building height.) 126.9 PSF
- Z) Classifications & ratings

### Main Wind Force Resisting Systems (MWFRS) and Components & Cladding (C&C) Version 1.51 MWFRS

Select FBC **R-3 Single-family / Duplex** ← Select/Enter boxes with **RED** font, computed values in **BLACK**.

0.85 G Default value: program designed for rigid structures only

Vult qh= **57.4** PSF Vult= Ultimate design wind speed.

Vasd qh= **34.4** PSF Vasd= Allowable Stress Design wind speed.

1.0 Kzt <10% slope (2:12)

0.85 Kd (Open body of water >1 mile in width)

1.00 Ke Elevation above sea level

W or b (W for width, 'b' for base width for h/b computation)

L (L for length)

H (H for ridge height, 'h' for mean height)

3.7 :12 Est. slope for equal slope flat, gable (width) or hip roofs

18.0 Degrees Check: Does selected roof slope agree with est. slope?

15 h

1.03 Kz Flat unobstructed area or within 1500 ft of open water >1 mile wide

7 to <20 Degrees 90%+ hip roofs, steepest slope

Vult required unless building is fully shielded, then Vasd is acceptable.

Vasd minimum, Vult recommended against wind gust pressures.

Level D Large missile <=30 feet height, medium missile >30 feet height

Level C Medium missile <=30 feet height, small missile >30 feet height

0.18 GCpi <1% open wall area total

2.0 feet

0.2 h/b

95.0 PSF qp

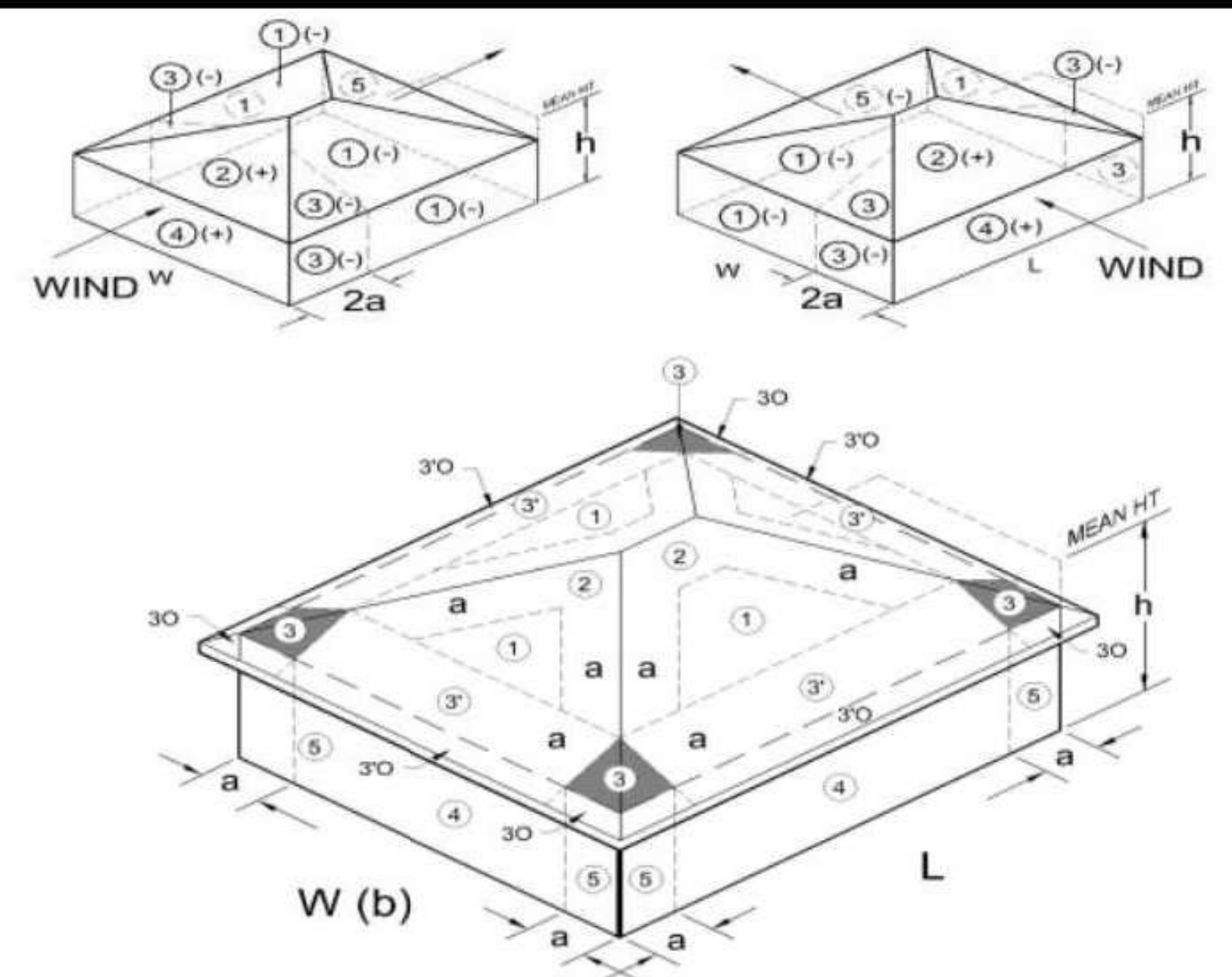
1.4

3 Cat Saffir-Simpson hurricane wind category (Cat)

2 EF Enhanced Fujita (EF) Tornado rating

39 DP C&C Design Pressure (DP) rating

G Class Minimum rated asphalt shingles class required



7	Hip	Roof 7 to <=20	Degrees	h/b<=0.5
Vult (Ultimate Wind Speed)				
Roofs	+ Max²	MWFRS¹ - Min²		+ Max²
Zone 1	+ 50.5 PSF	- 87.8	- 84.9 PSF	1 + 30.3 PSF - 52.7 - 51.0 PSF
Zone 2	+ 50.5 PSF	- 84.9	- 148.0 PSF	2 + 30.3 PSF - 51.0 - 88.8 PSF
Zone 3	+ 50.5 PSF	- 90.7	- 113.6 PSF	3 + 30.3 PSF - 54.4 - 68.2 PSF
Zone 3'	+ 50.5 PSF		- 113.6 PSF	3' + 30.3 PSF - 68.2 PSF
Overhangs				
10			- 120.5 PSF	10 - 72.3 PSF
20			- 183.6 PSF	20 - 110.2 PSF
30			- 149.2 PSF	30 - 89.5 PSF
3'O			- 149.2 PSF	3'O - 89.5 PSF
Walls	ASCE (7-22)		ASCE (7-22)	
Zone 4	C&C¹ + 67.7 PSF	MWFRS² - 54.2	C&C¹ - 73.4 PSF	4 + 40.6 PSF - 32.5 - 44.1 PSF
Zone 5	+ 67.7 PSF	- 75.8	- 90.7 PSF	5 + 40.6 PSF - 45.5 - 54.4 PSF
End Zone	a = + 5.0 feet	Vult ± 251.3 PSF	←← Parapets →→	Vasd ± 150.8 PSF

### Wall Window & Door Pressures

#	Description	Width	Height	Distance*	Area SF	Zone	+ Max'	- Min'
1	Exist 9068 F (Front Door)	5.3	6.7	13.7	35 SF	4	+ 39.0 PSF	- 42.3 PSF
2	New 2020 FXD (G. Bath)	2.0	2.0	11.7	4 SF	4	+ 40.6 PSF	- 44.1 PSF
3	New SH-25 (G. Bedroom)	3.0	5.2	14.0	16 SF	4	+ 40.3 PSF	- 43.7 PSF
4	New SH-25 (G. Bedroom)	3.0	5.2	8.7	16 SF	4	+ 40.3 PSF	- 43.7 PSF
5	New 12-CSMNT (W/C)	1.7	2.0	3.0	3 SF	5	+ 40.6 PSF	- 54.4 PSF
6	New H32-CSMNT (M. Bath)	2.1	2.1	16.3	4 SF	4	+ 40.6 PSF	- 44.1 PSF
7	New D22-HR (M. Bedroom)	6.0	2.1	5.3	13 SF	4	+ 40.5 PSF	- 43.9 PSF
8	New 9068 SGD (M. Bedroom)	9.0	6.7	2.3	60 SF	5	+ 37.4 PSF	- 50.1 PSF
9	New 12068 SGD (Grt Rm)	12.0	6.7	17.3	80 SF	4	+ 36.2 PSF	- 39.2 PSF
10	New 9068 SGD (Dining)	9.0	6.7	18.3	60 SF	4	+ 37.4 PSF	- 40.6 PSF
11	New 2468 L (Pool Bath)	2.7	6.7	6.0	18 SF	4	+ 40.1 PSF	- 43.5 PSF
12	New 34-HR (Bed 4)	4.4	4.2	9.7	18 SF	4	+ 40.1 PSF	- 43.5 PSF
13	Exist 12-CSMNT (Bath 4)	1.7	2.0	35.0	3 SF	4	+ 40.6 PSF	- 44.1 PSF

### Roof Skylights & Roof Hatch Pressures

#	Description	Width	Height	Distance*	Area SF	Zone	+ Max'	- Min'
14	New 34-HR (Bed 3)	4.4	4.2	25.3	18 SF	4	+ 40.1 PSF	- 43.5 PSF
15	Existing 2668 R Door (Garage)	2.7	6.7	17.3	18 SF	4	+ 40.1 PSF	- 43.5 PSF
16	Existing SH-23 (Garage)	3.0	3.0	6.6	9 SF	4	+ 40.6 PSF	- 44.1 PSF
17	Existing 16070 OHD (Garage)	16.0	7.0	3.1	112 SF	5	+ 34.9 PSF	- 46.8 PSF
18								
19								
20								
21								
22								
23								
24								
25								
26								

Roof Skylights & Roof Hatch Pressures\* Based on ASCE 7-16 Roof Zones

1 Skylight or roof hatch Zone 2 Skylight or roof hatch Zone

Wind PSF spreadsheet program is based on the ASCE 7-22 guidelines for buildings < 60 feet mean roof height & for areas >= 10 SF. Note: The registered design professional is ultimately responsible for verifying all designations and building wind pressure values.

\*16 PSF minimum for all for wall C&C and openings. \*16 PSF minimum for all roofs and overhangs. Location specific wind speeds visit: <https://ascehazardtool.org> DASMA.com Copyright © 2025 by Wind PSF®, LLC



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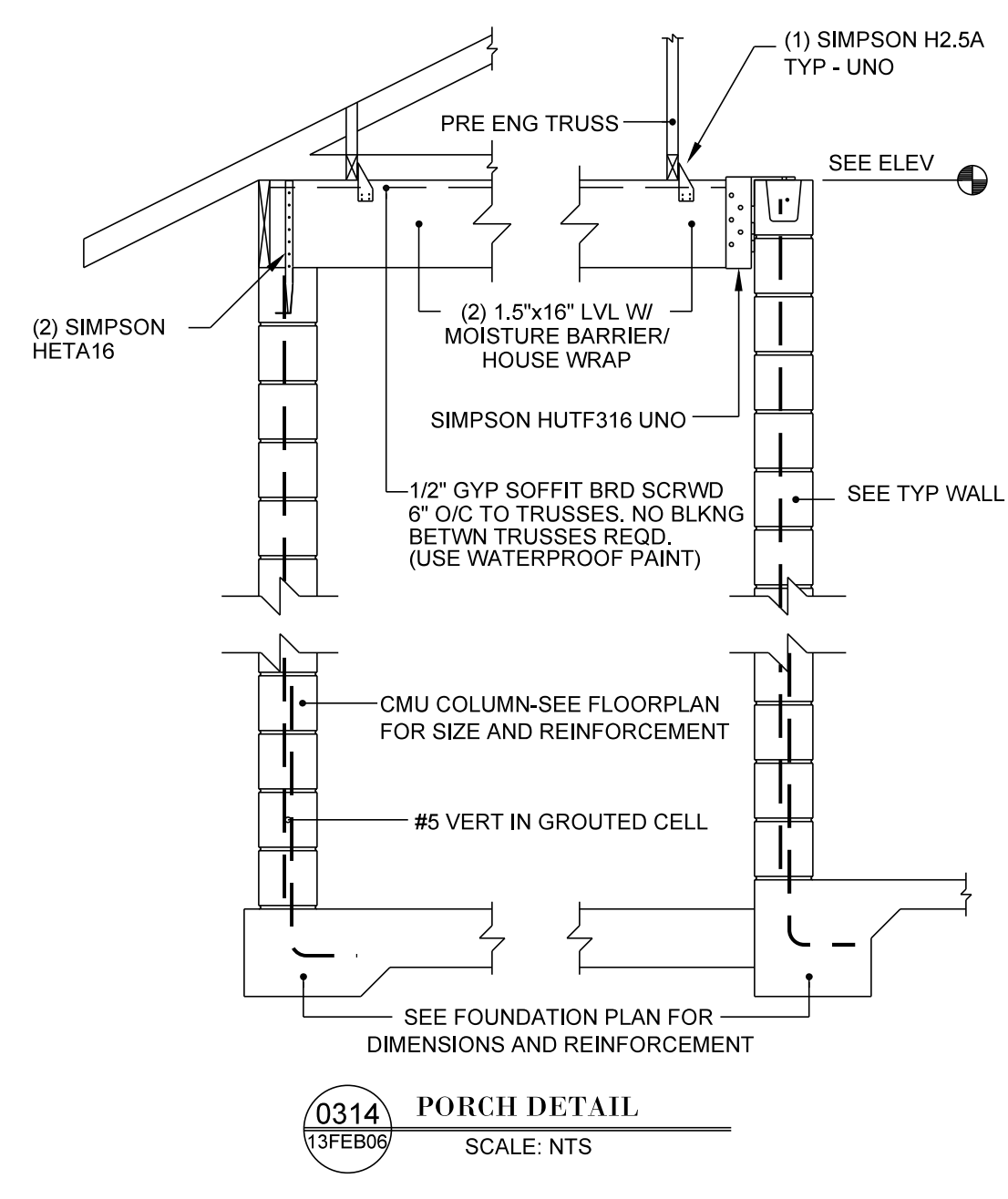
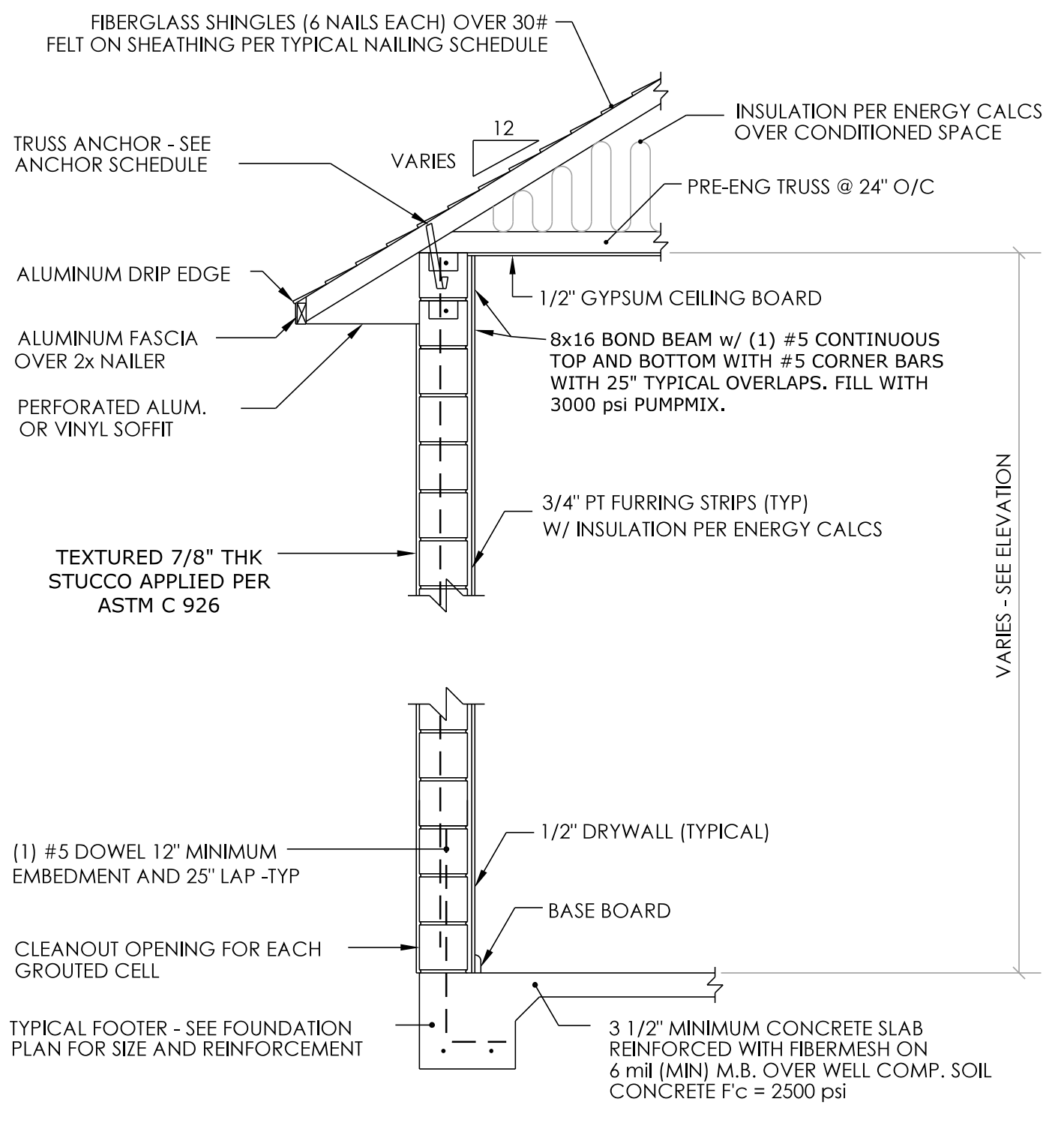
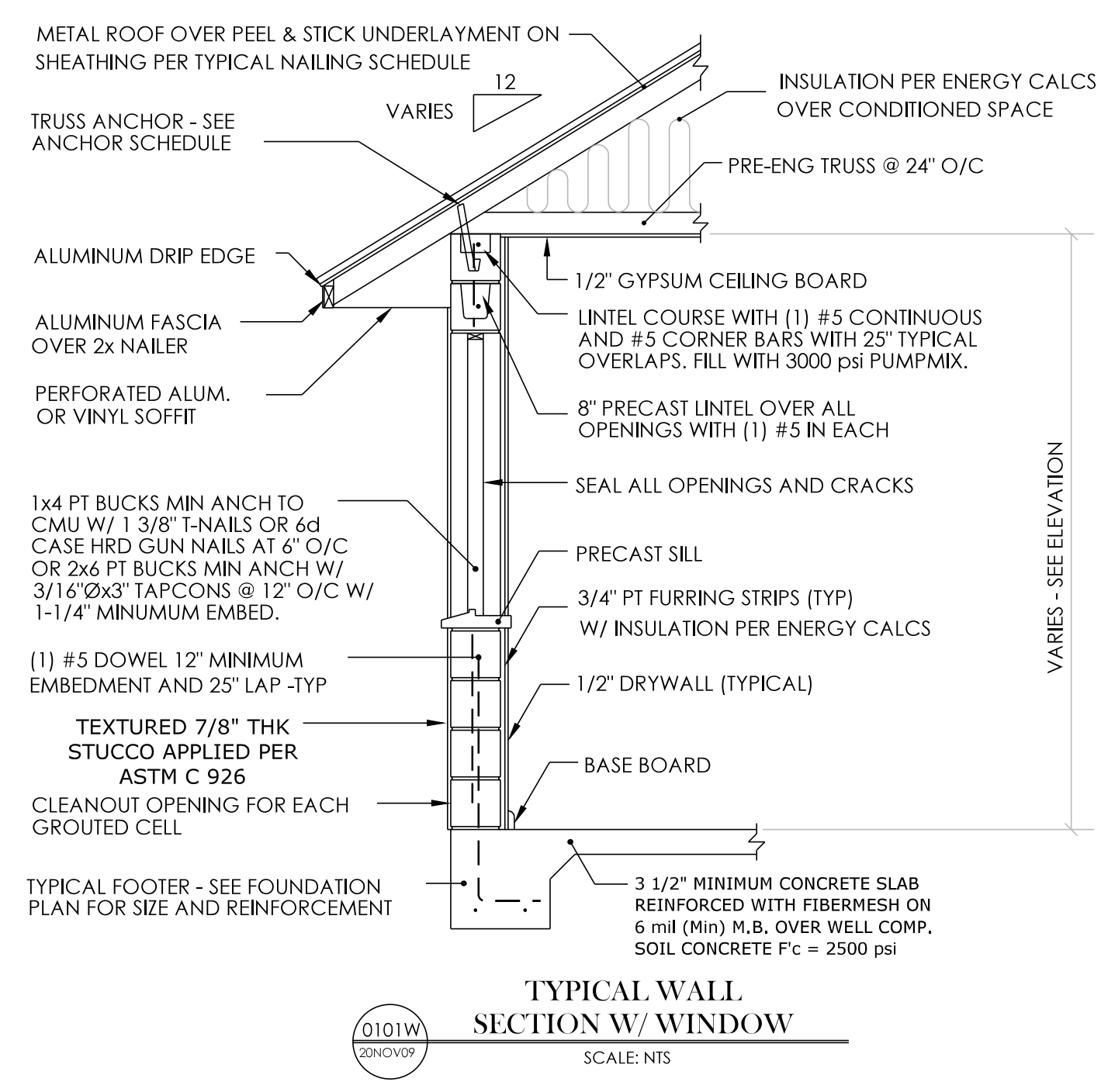
When it's all done

REVISIONS	Description	Date

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### ADDITIONAL DETAILS & WIND PRESSURE CALCS

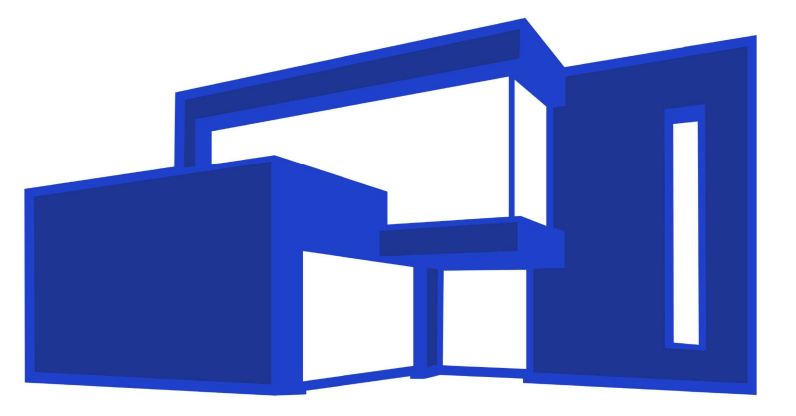
Scale  NTS



0101 TYPICAL WALL SECTION SCALE: NTS

0314 PORCH DETAIL SCALE: NTS





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DESIGNER  
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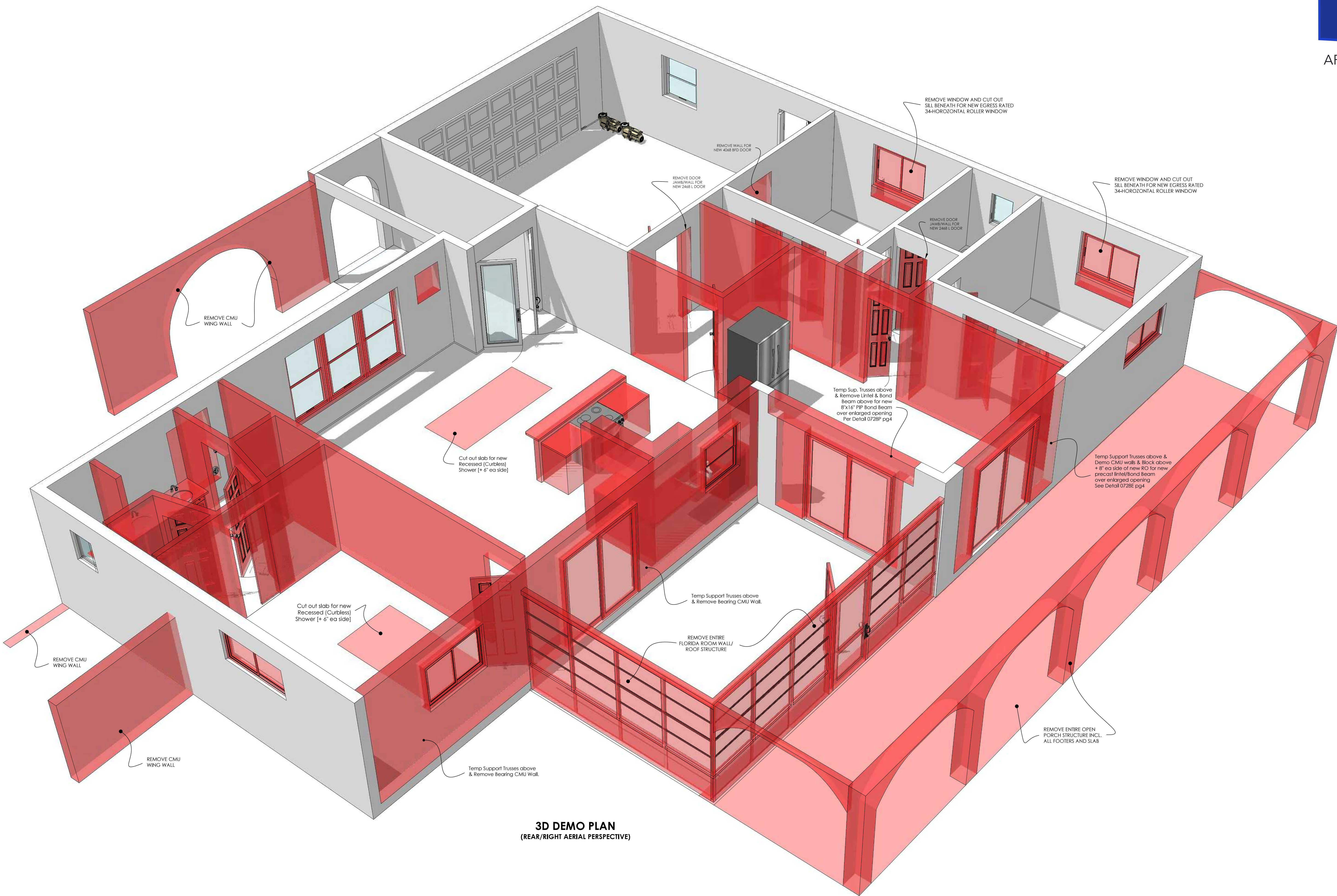
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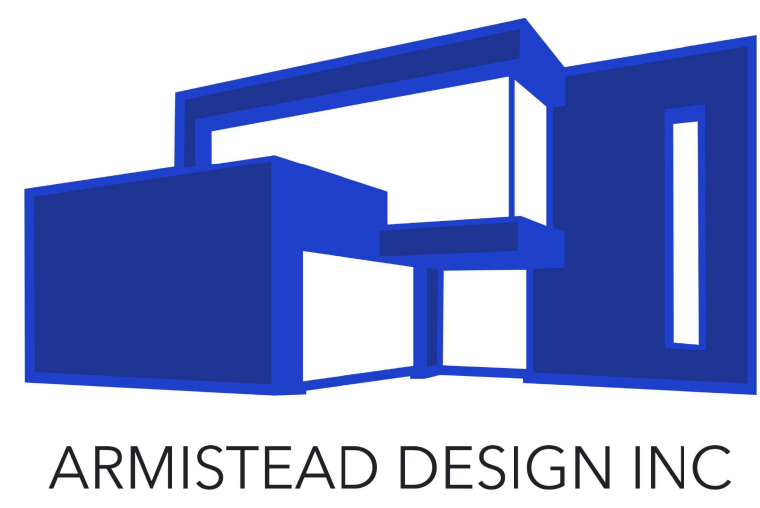
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**3D DEMO PLAN**  
(REAR/RIGHT AERIAL PERSPECTIVE)

DEMO PLAN II

Scale NTS



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**SOILS.DWG**    **SOIL NOTES:**    120CT21

SOIL CONDITIONS  
 ENGINEER HAS NOT BEEN ON SITE NOR HAS RECEIVED ANY SOIL INFORMATION OR REPORTS YET. REPORT SHALL BE PROVIDED TO EOR ASAP. IT IS ASSUMED THE SOIL CONDITIONS ARE CONSIDERED NORMAL AND NO PROBLEMATIC SOILS (INCLUDING BUT NOT LIMITED TO MUCK) ARE PRESENT. OWNER IS RESPONSIBLE FOR ANY KNOWN OR UNKNOWN SOIL CONDITIONS AND ANY SOIL BORINGS DEEMED NECESSARY. NOTIFY ENGINEER IMMEDIATELY OF ANY UNUSUAL SITE SUB-SURFACE CONDITION WHICH VARIES FROM TEST BORINGS, SUCH AS DIFFERENT SOILS ENCOUNTERED, SEEPAGE OR PRESENCE OF WATER, OR WHEN THERE IS A CONCERN REGARDING BEARING CAPACITY OR IF IT HAS NOT BEEN ATTAINED. DEWATER EXCAVATIONS BEFORE PLACING CONCRETE. REMOVE & DISPOSE OF ALL ORGANIC & UNSATISFACTORY SOIL. BACKFILL SHALL BE FREE DRAINING AND RESTRICTED TO GW, SW, OR SP PER ASTM D2487. COMPACT ALL BACKFILL MATERIAL TO 95% OF MAX DENSITY PER ASTM D998. CONTRACTOR IS RESPONSIBLE FOR DESIGN, INSTALLATION & FINAL CLEARANCE OF TEMPORARY BRACING. A CERTIFIED TESTING LAB SHALL BE ENGAGED BY THE OWNER TO VERIFY THAT THE REQUIRED COMPACTION REQUIREMENTS WERE OBTAINED.

**REVISIONS**

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**FIELD CONDITIONS - PRODUCTS, AND ASSEMBLIES MAY VARY FROM WHAT IS DEPICTED IN THESE PLANS. DESIGN INTENT IS PARADOXICAL. PLAN DIMENSIONS ARE MORE ACCURATE THAN SCALING. AVAILABLE BUDGET ALWAYS CONSTRAINS CREATIVITY.**

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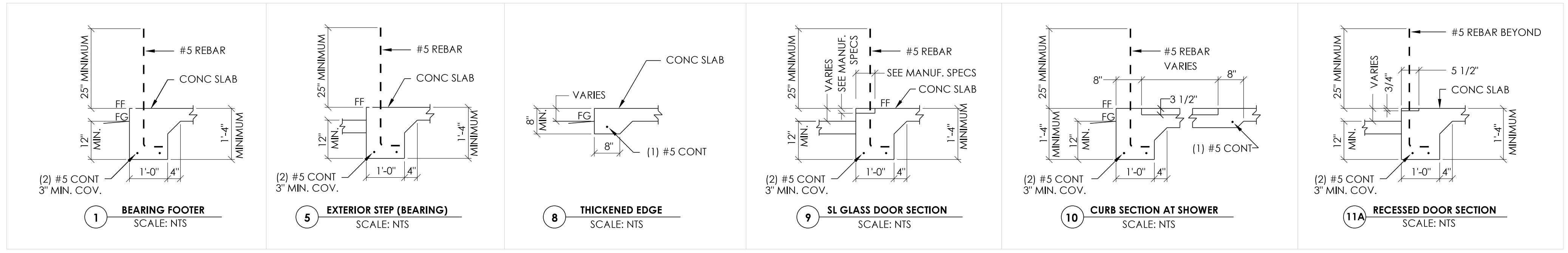
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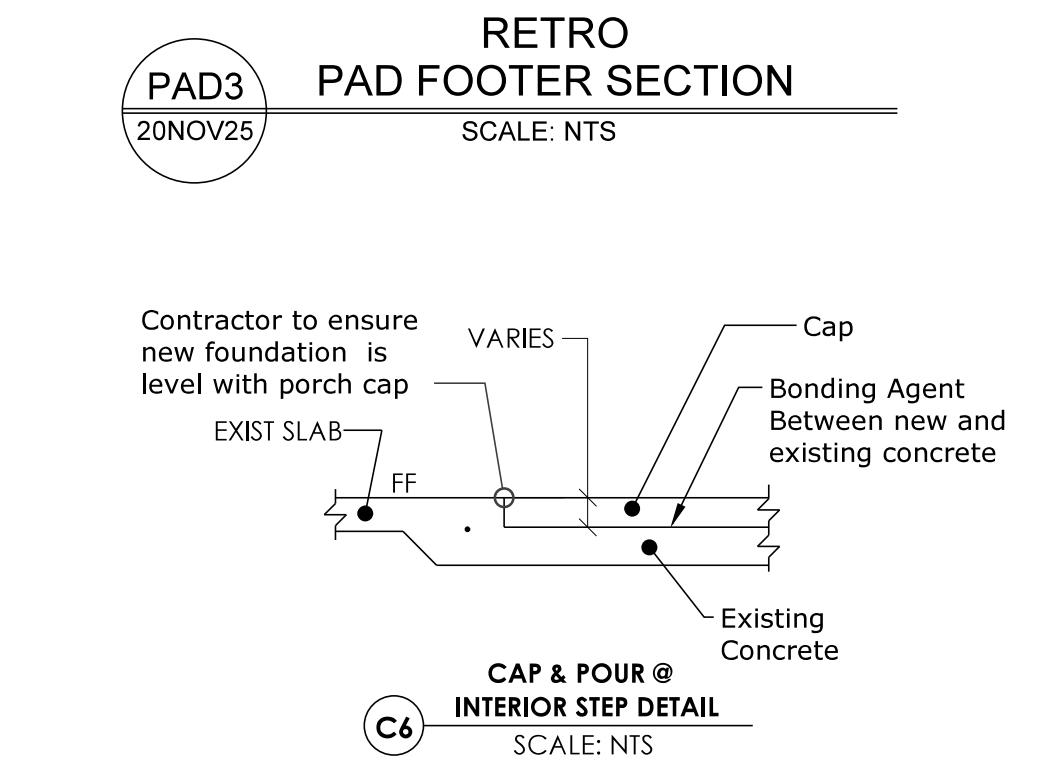
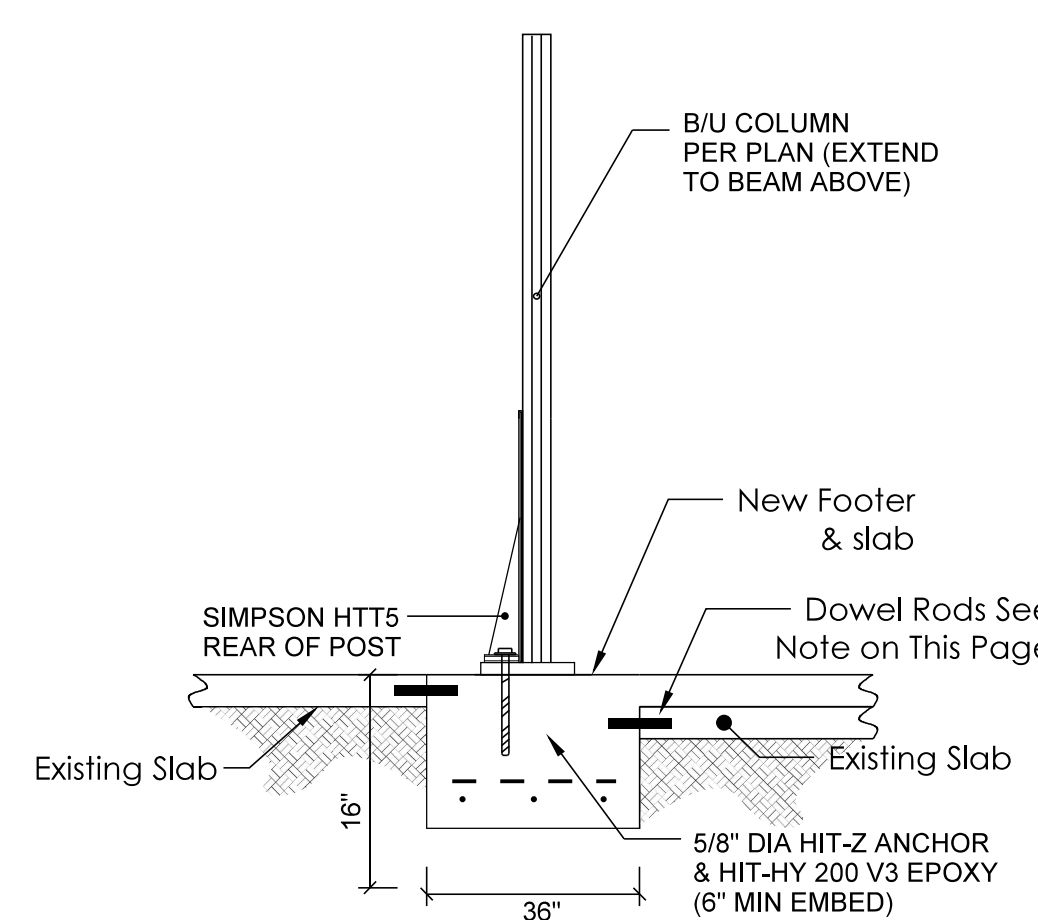
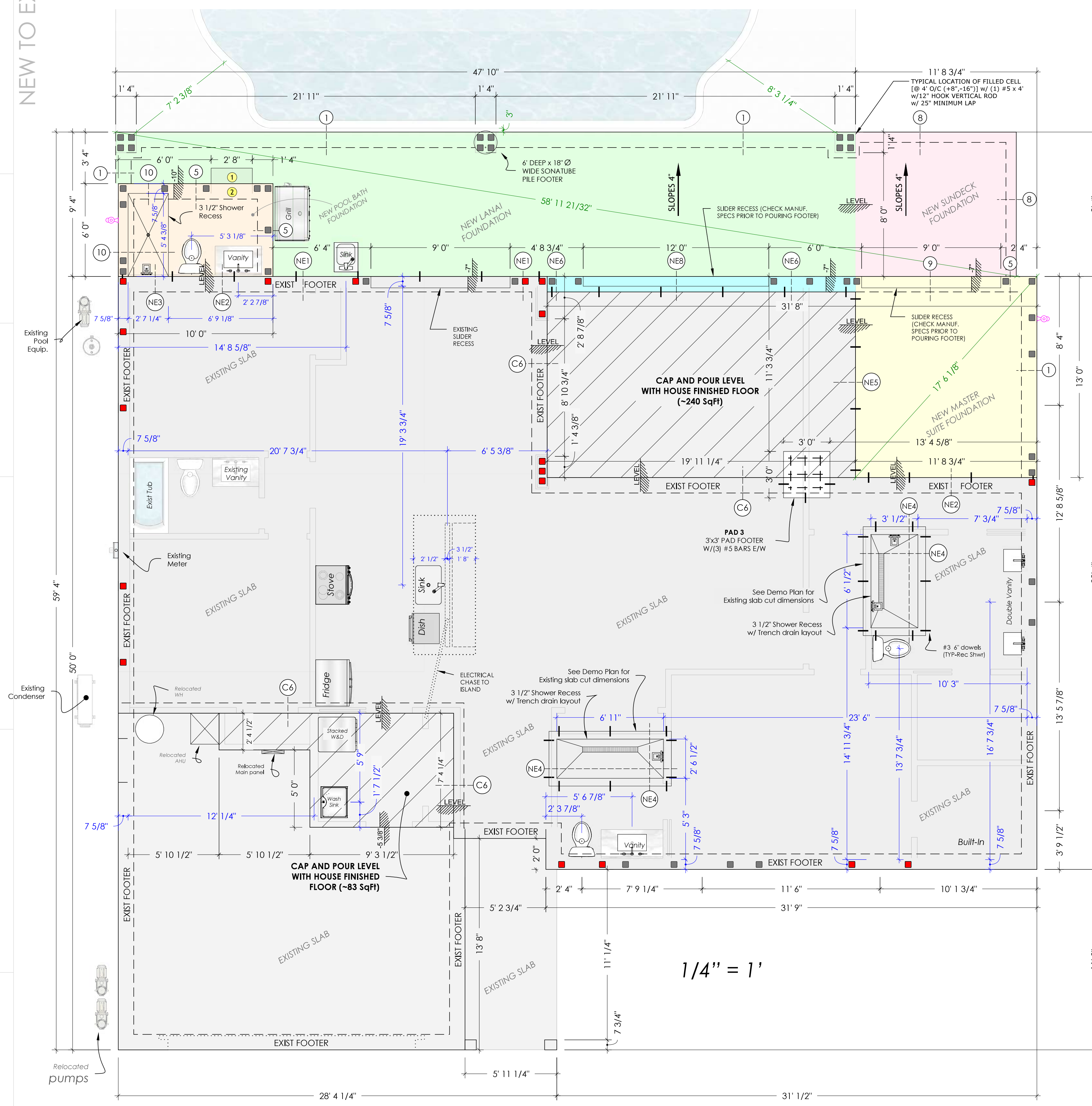
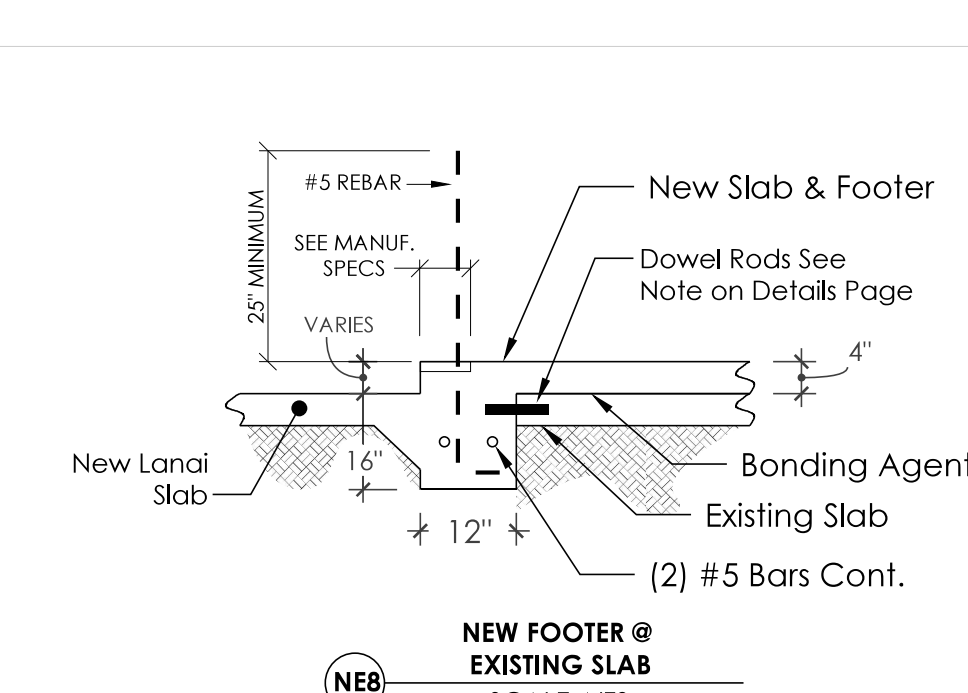
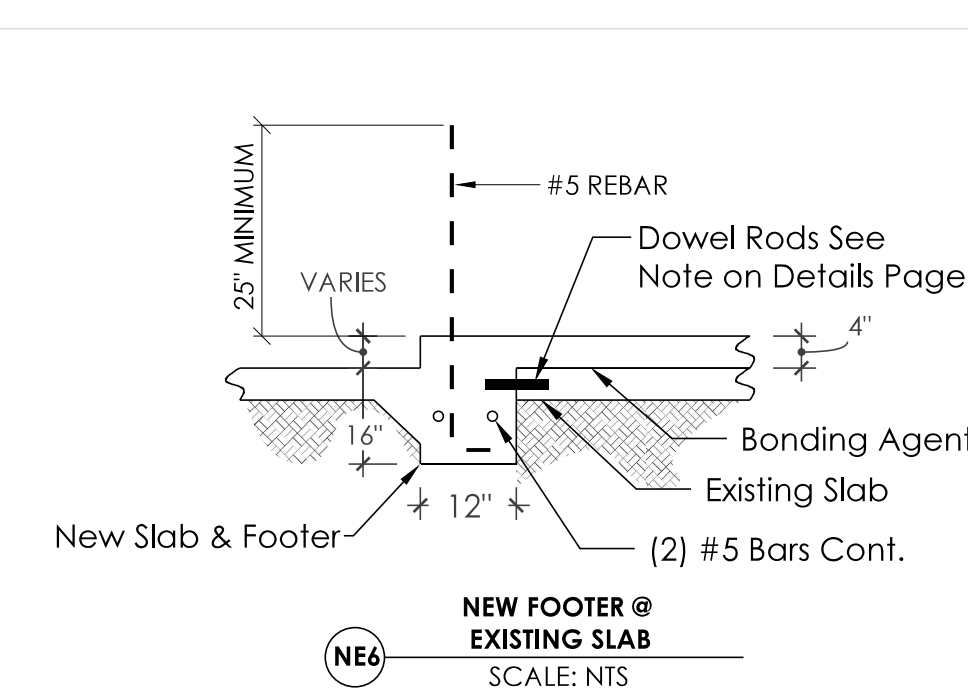
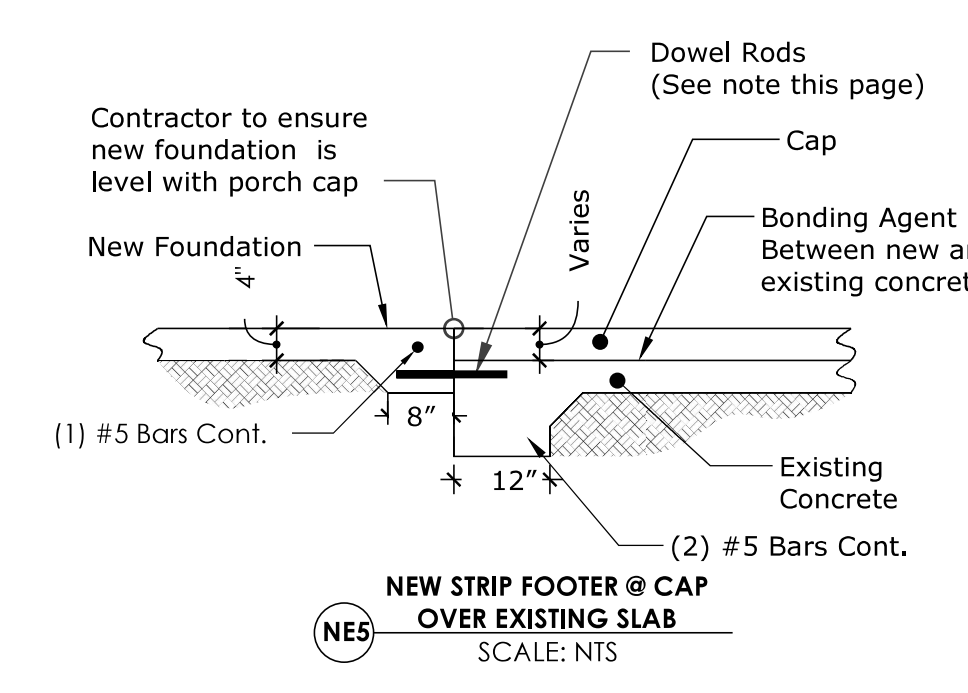
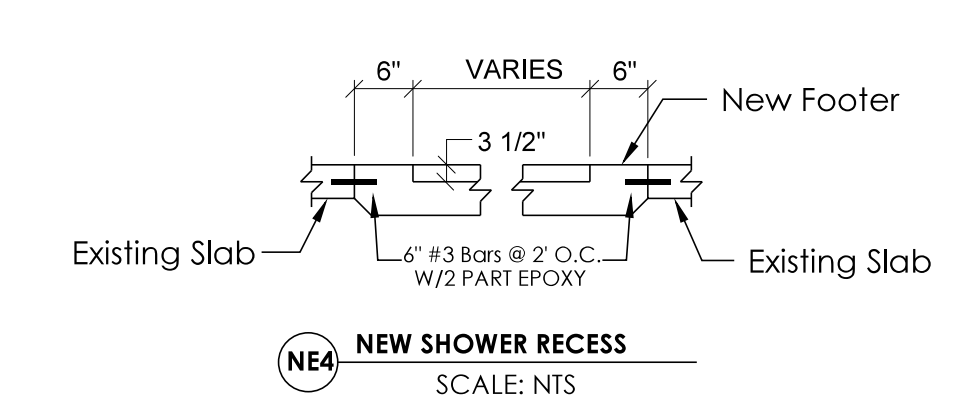
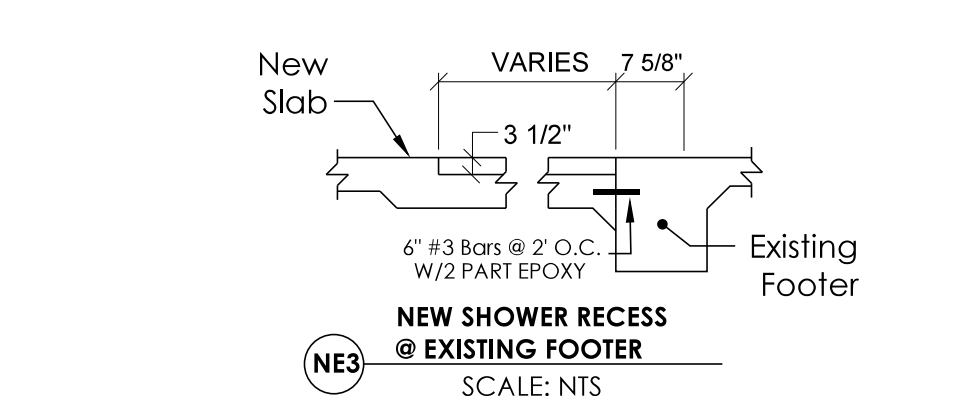
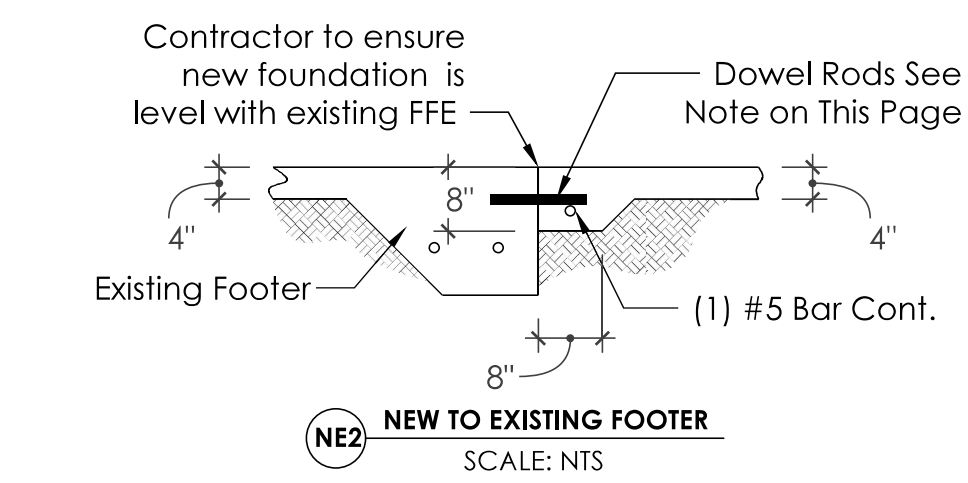
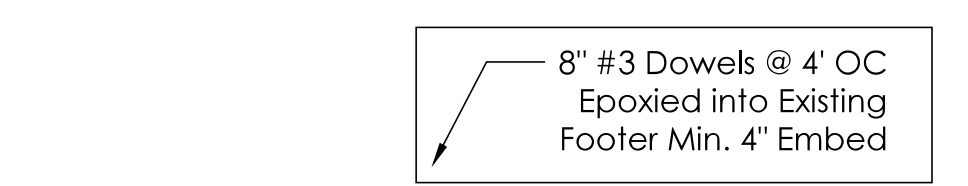
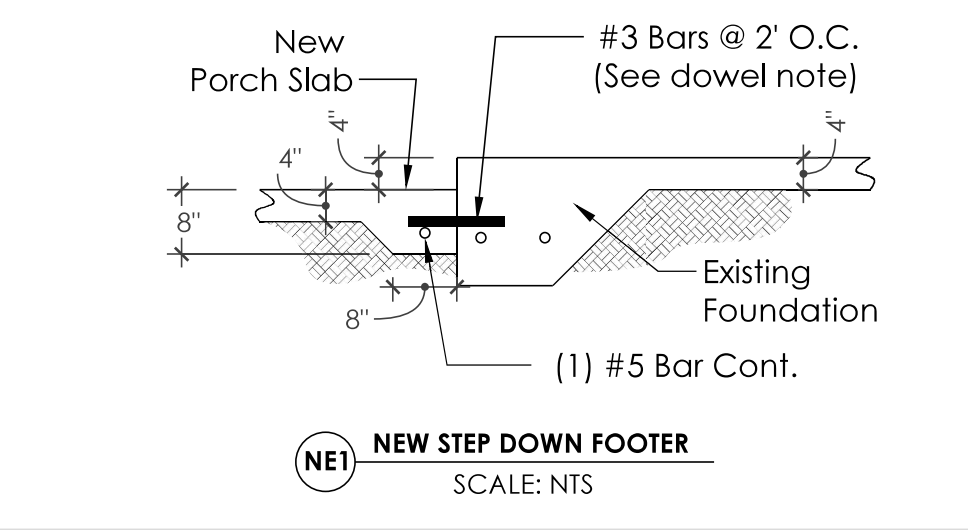
When it's all done

# Rondon Addition & Remodel

## NEW FOOTERS



## NEW TO EXISTING FOOTERS

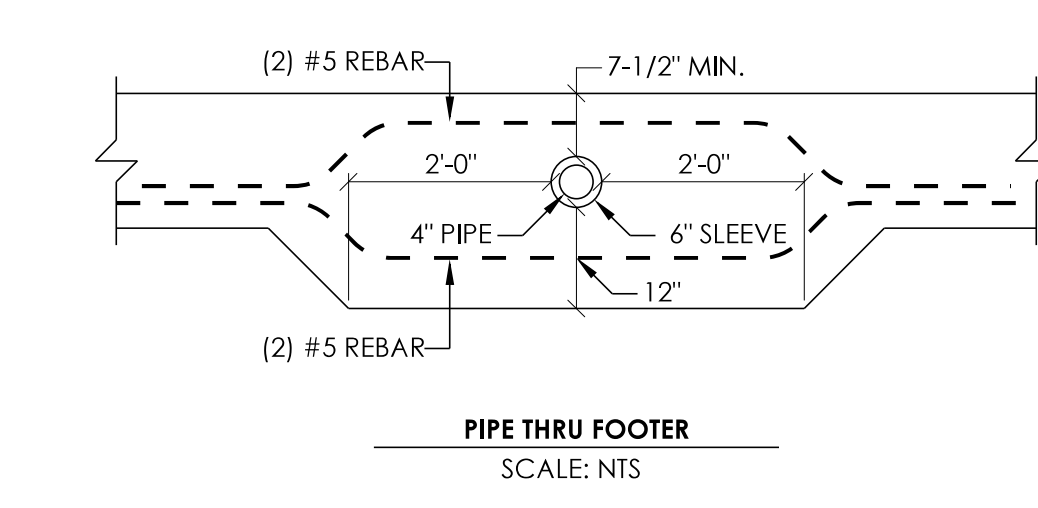


**DOVEL.DWG**    **DOVEL ROD REINFORCEMENT:**    18SEP19

- \* TO ANCHOR NEW MASONRY WALL AND/OR SLAB CONSTRUCTION TO EXISTING. DRILL 4" (MIN) AT 24" O/C (MAX) INTO CMU AND/OR CONCRETE (NO CLOSER THAN 1-1/2" FROM EDGES). REMOVE DUST PER MFG'S SPECS & USE 3-PART EPOXY TO ANCHOR #3/8" DOWELS IN PLACE (OPTION TO USE #5 DOWELS @ 48" O/C).
- \* FOR NEW MONO FOOTING TO EXISTING USE (2) #5x30" DOWELS FOR CONTINUOUS STEEL TIE OFF.
- \* FOR NEW BOND BEAM USE #5x30" DOWELS FOR EACH INTEL COURSE AS APPLICABLE.
- \* ADD FILLED CELL TO EXISTING BLOCK WALL AT CONNECTION TO NEW CMU CONSTRUCTION WHERE ONE IS NOT ALREADY PRESENT.

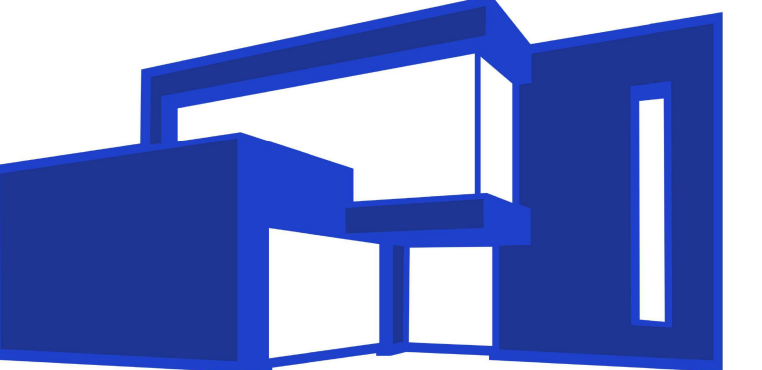
**Footer Notes:**  
 All footers will be placed over 6 mil moisture barrier on well compacted soil, treated with a registered termiticide. All concrete used for slab and footers must be 7c-2500psi @ 28 days. All footings must extend 12" below grade and a minimum of 4" above grade.

**REGISTERED TERMITICIDE:**  
 Product listed as registered for use as a preventative treatment for termites for new construction by the Florida Department of Agriculture and Consumer Services under authority of Chapter 487, Florida Statutes.



**FOUNDATION PLAN**

Scale    **NTS**



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FLOOR PLAN

Scale  $\blacklozenge$  1/4" = 1'

PAGE NO

- FLOOR PLAN NOTES:**
1. ALL KITCHEN WALLS CONTAINING WALL CABINETS SHALL BE FRAMED AT 16" ON CENTER.
  2. FOR MECHANICAL INSTALLATION, ALL TAPES, CONNECTORS, AND MASTIC SHALL BE UL LISTED.
  3. ALL INTERIOR GYP CEL BRD IS 1/2" SAG RESISTANT, & IS SCREWED @ 12" O/C. USE 1/2" GYP BRD (MIN) ON GARAGE FRAME WALLS. USE 20 MIN RATED DOOR & FRAME (w/ CLOSER) TO GARAGE.
  4. ALL FRAME WALLS ARE NOMINALLY DRAWN AT 4 1/2" ASSUMING 3 1/2" FRAMING WITH 1/2" OF DRYWALL ON EACH SIDE (UNO).
  5. ALL DIMENSIONS REFERENCE FACE OF STUDWALL FOR FRAME WALLS, AND FACE OF CMU FOR EXTERIOR WALLS. EXCEPT DIMENSIONS REFERENCING KITCHEN CABINETS & ISLAND.
  6. ALL CEILING HEIGHTS ARE REFERENCED FROM MAIN FINISHED FLOOR LEVEL AND DO NOT INCLUDE STEP DOWNS.

**Door Legend**

NOMINAL HEIGHT (IN INCHES)	NOMINAL HEIGHT (IN FEET)	NOMINAL WIDTH (IN INCHES)	NOMINAL WIDTH (IN FEET)	DOOR TYPE / SWING
30	68	30	68	R- Right Swing Door L- Left Swing Door F- French Double Door P- Pocket Door B- Barn Door BFD- Bi-fold Door BPD- Bi-pass Door SGD- Sliding Glass Door OHD- Over Head Door

**Window Legend [1]**  
[Modular Sizes]  
(Typically installed in wood frame openings)

NOMINAL HEIGHT (IN INCHES)	NOMINAL HEIGHT (IN FEET)	NOMINAL WIDTH (IN INCHES)	NOMINAL WIDTH (IN FEET)	Window TYPE / Operation
30	50	30	50	SH- Single Hung DH- Double Hung HR- Horizontal Roller CSMNT- Casement AWNG- Awning FXD- Inoperable (Fixed) OR- Oriet Style COT- Cottage Style

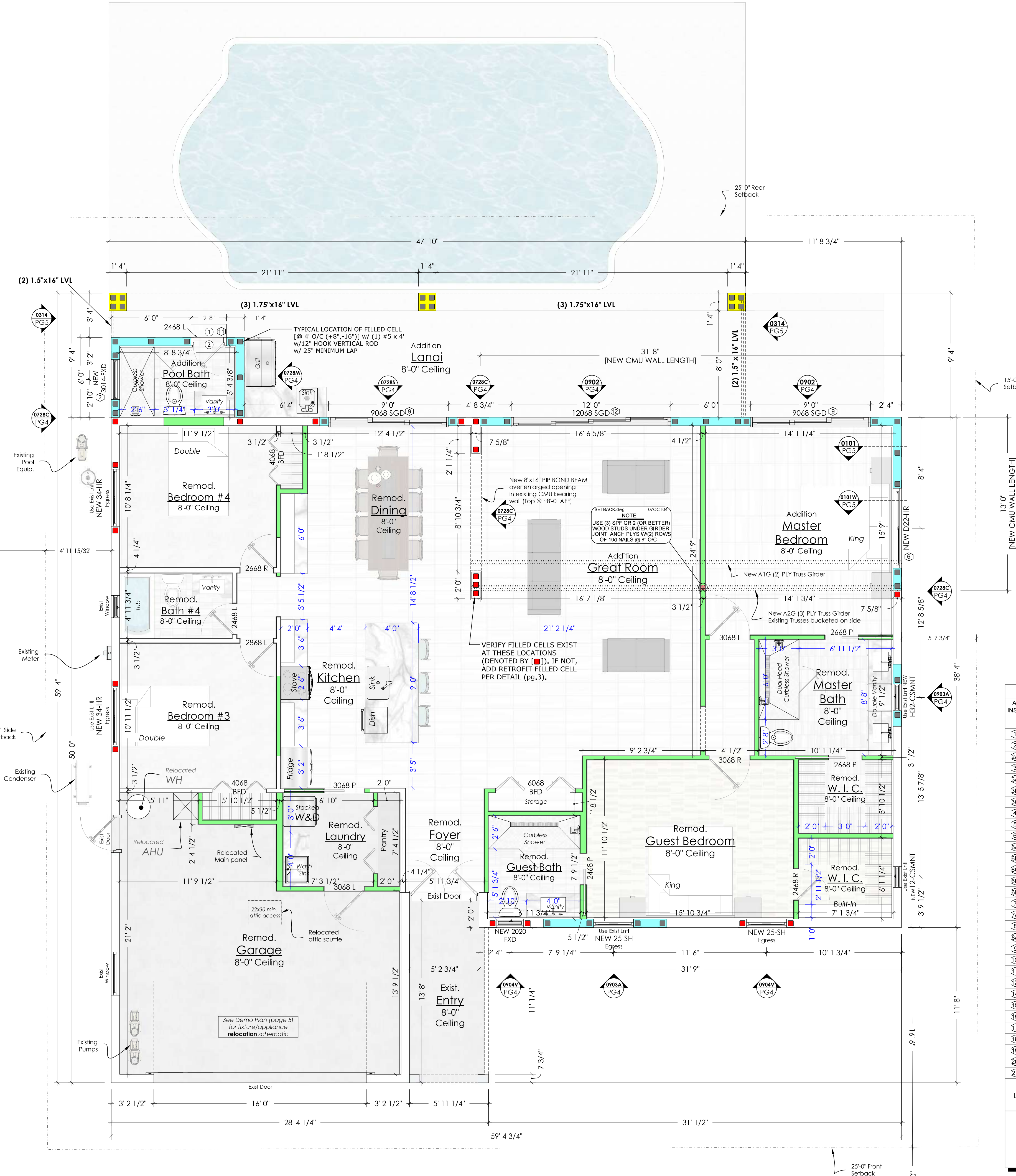
**Window Legend [2]**  
[Commodity Sizes]  
(Typically installed in CMU openings)

COMMODITY WIDTH CODE	NOMINAL HEIGHT (IN FEET)	Window TYPE / Operation
1" - Approx. 16"-20" Width	2.5	SH- Single Hung DH- Double Hung HR- Horizontal Roller CSMNT- Casement AWNG- Awning FXD- Inoperable (Fixed) OR- Oriet Style COT- Cottage Style
10" - Approx. 24"-28" Width		
2" - Approx. 36"-38" Width		
3" - Approx. 52"-54" Width		
12" - Approx. 72"-76" Width		

SEE MANUFACTURER SPECS FOR COMPANY SPECIFIC UNIQUE MEASUREMENTS AND ROUGH OPENING REQUIREMENTS

**Wall Legend**

	- New CMU Wall
	- New CMU Col. (Top @ 6'-8" AFF)
	- New Frame Wall
	- Existing Wall
	- Down Pours
	- Confirm Exist. Downpours



**PRECAST LINTEL SCHEDULE**

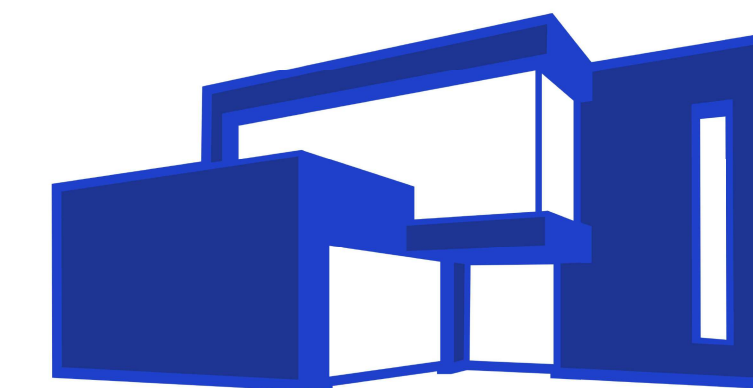
APPLIED LOADS ON ALL PRECAST LINTELS HAVE BEEN REVIEWED TO INSURE THEY ARE WITHIN ALLOWABLE LIMITS. ALL UNITS ARE IN PLF.

LENGTH	SAFE GRAVITY	APPLIED GRAVITY	SAFE UPLIFT	APPLIED UPLIFT	COMPOSITE BEAM	REMARKS
2'-10"	6113	<2000	4460	<1500	8F16-1B/1T	1x WINDOW
4'-6"	6113	<2000	2724	<1500	8F16-1B/1T	2x WINDOW
4'-6"	2189	<2000	1207	<1000	8F8-1B/1T	BEAM/MISC
5'-10"	4360	<2000	2093	<1500	8F16-1B/1T	3x WINDOW
5'-10" RECESS	1113	<750	655	<500	8RF6-1B/1T	30x DR & SIDE LITE
5'-10" RECESS	1451	<1000	909	<750	8F8-1B/1T	BEAM/MISC
5'-10" RECESS	4242	<2000	1900	<1500	8RF14-1B/1T	4'-0" OPENING
3'-6"	6113	<2000	3547	<1500	8F16-1B/1T	1/2 3x WIN
6'-8"	3480	<2000	1880	<1500	8F16-1B/1T	OR MISC
7'-5"	2661	<2000	1438*	<1000	8F16-1B/1T	6' SGD OR 2' 3x WIN
7'-5"	1011	<750	960*	<500	8F8-1B/1T	(2)30x DR
7'-5" RECESS	2459	<2000	1345*	<1000	8RF14-1B/1T	(2)30x DR
7'-5" RECESS	755	<500	506	<350	8RF6-1B/1T	(2)30x DR
7'-5" RECESS	5743	<2000	2295*	<1500	8RF22-1B/1T	(2)30x DR
7'-6"	5501*	<2000	3192*	<1500	8F32-1B/1T	(2)30x DR OR MISC
4'-6" RECESS	5206	<2000	2525	<1500	8RF14-1B/1T	30x DOOR
4'-6" RECESS	1756	<1000	867	<500	8RF6-1B/1T	30x DOOR
9'-4"	1843	<1000	963*	<750	8F16-1B/1T	4' SGD OR MISC
9'-4"	3486	<1000	1539*	<750	8F24-1B/1T	4' SGD OR MISC
10'-6"	1533	<1000	777*	<500	8F16-1B/1T	9' SGD OR 2' 3x WIN
10'-6"	2781	<2000	1239*	<1000	8F24-1B/1T	9' SGD OR 2' 3x WIN
13'-4"	1075	<750	521*	<350	8F16-1B/1T	12' SGD OR MISC
14'-0"	1002	<750	481*	<350	8F16-1B/1T	BEAM/MISC
15'-4"	1250	<1000	422*	<350	8F16-1B/1T	12'-0" OPENING
16'-4"	950	<900	356*	<300	8F16-1B/1T	16' OHGD OR MISC
17'-4"	950	<900	500	<450	8F16-1B/2T	16' OHGD OR MISC
17'-4"	1326	<1000	458*	<400	8F20-1B/1T	16' OHGD OR MISC
17'-4"	1609	<1500	561*	<500	8F24-1B/1T	16' OHGD OR MISC
19'-4"	750	<500	309*	<250	8F16-1B/1T	18' OHGD OR MISC
20'-4"	450	<400	240*	<200	8F16-1B/1T	PORCH OR MISC

**NOTES:**  
R=RECESS  
ALL GABLES AND JACKS <250plf  
USE CAST-CRETE (OR EQUAL OR BETTER) 8F16-1B/1T IF POSSIBLE

QUANTITY OF #5 REBAR @ BOTTOM OF LINTEL CAVITY NOMINAL HEIGHT  
FILLED W/GROUT  
UNFILLED  
NOMINAL WIDTH  
QUANTITY OF #5 REBAR @ TOP OF LINTEL CAVITY

\*REDUCED FOR GRADE 40 REBAR. \*\*PLF APPLIED EQUIV LOAD DERIVED FROM CONCENTRATED LOAD(S) USING METHOD OF EQUIVALENT BENDING MOMENTS. 01= DUE TO HIGH CONCENTRATED LOADS, ANALYZED MOMENT, SHEAR & VERIFIED WITH PUBLISHED ALLOWABLES.



ARMISTEAD DESIGN INC

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Phone: (321) 434-0499  
www.armisteaddesign.com

Project Designer  
Chris Feddersen

Rondon Addition & Remodel

REVISIONS	Description	Date

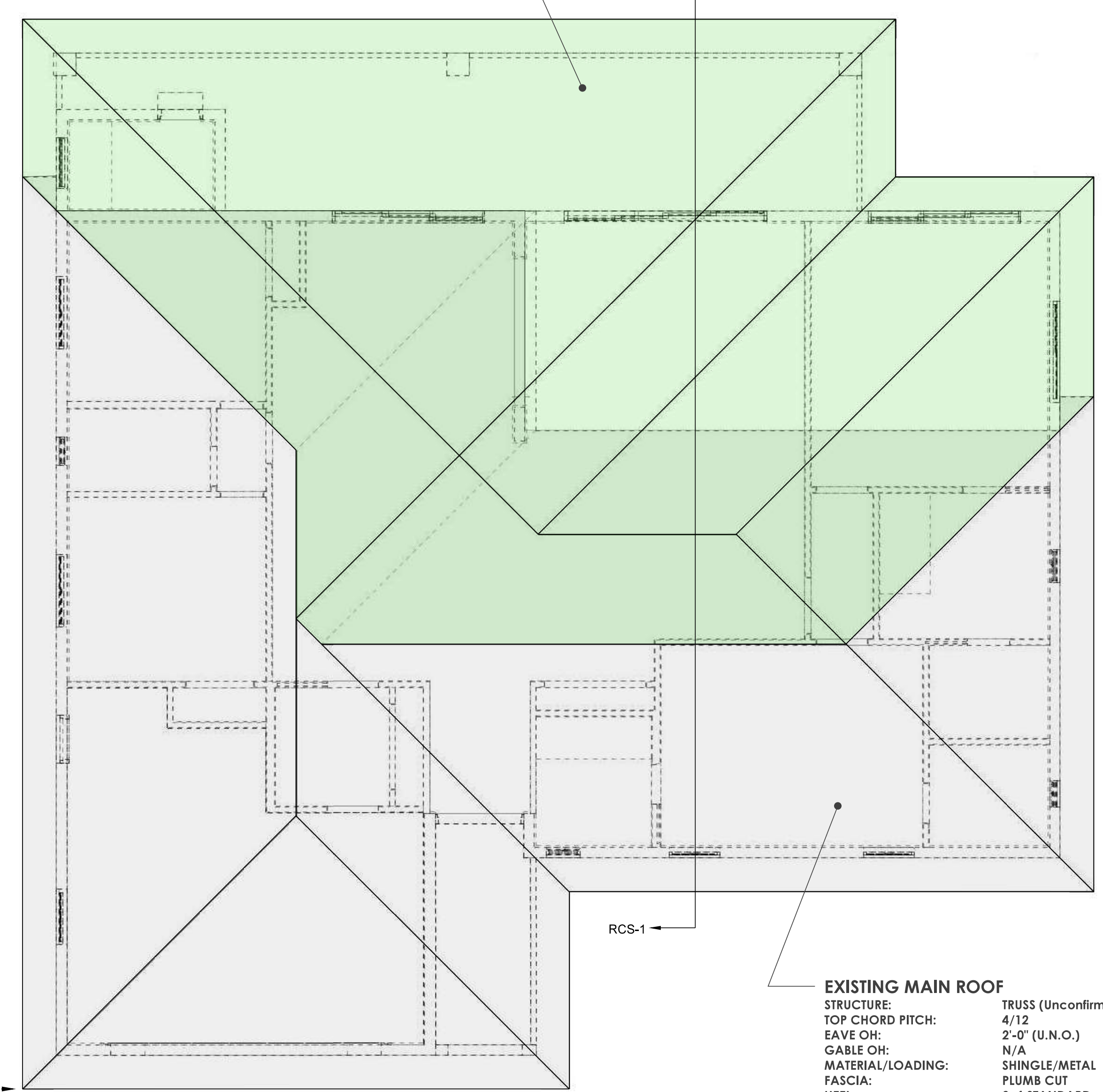
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Victor Rondon  
2103 Redwood Ave  
Melbourne Beach, FL 32951

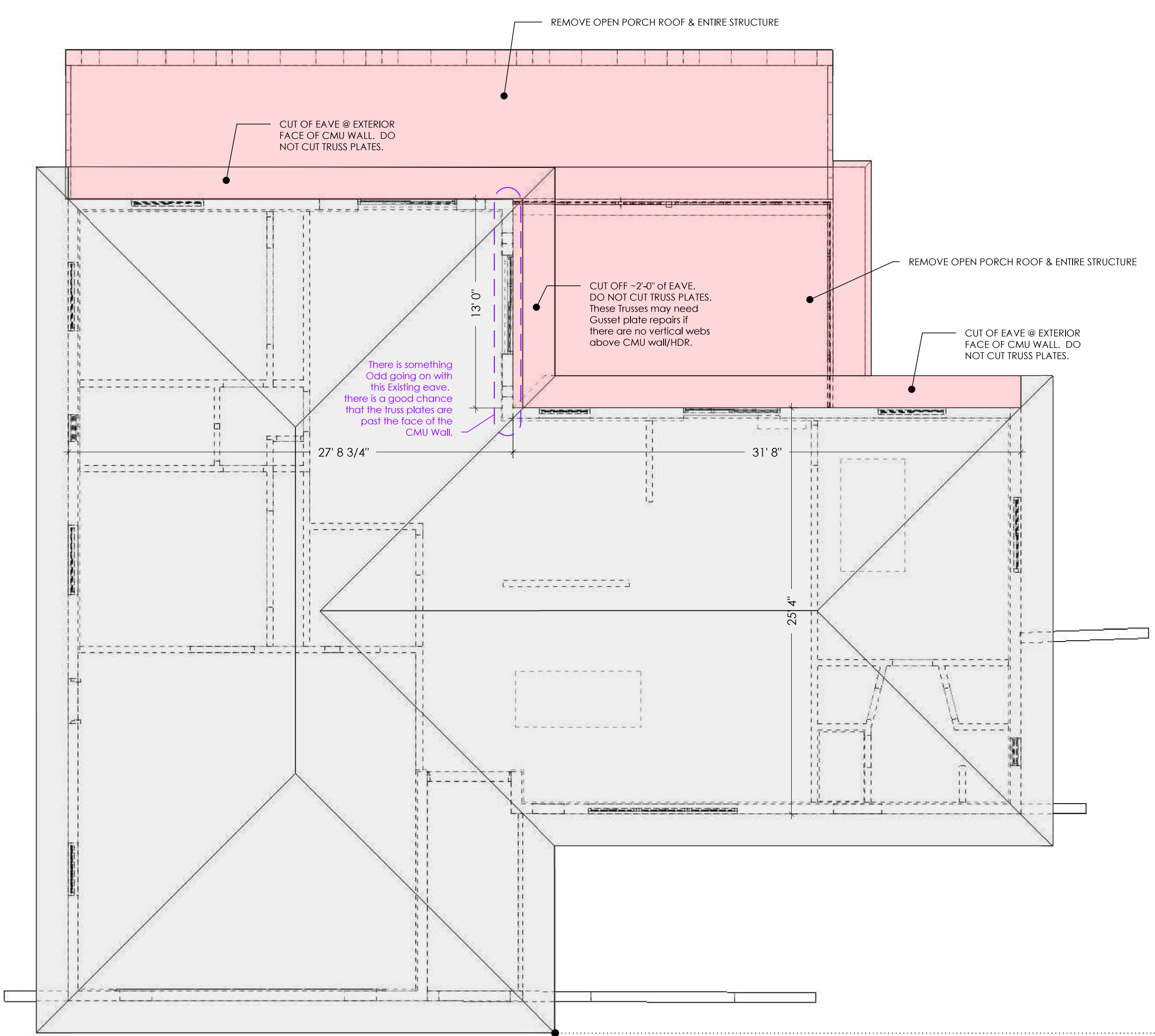
Project No  
**08142025**

FIELD CONDITIONS, PRODUCTS, AND ASSEMBLIES MAY VARY FROM WHAT IS DEPICTED IN THESE PLANS. DESIGN INTENT IS PARAMOUNT. PLAN DIMENSIONS ARE MORE ACCURATE THAN SCALING. AVAILABLE BUDGET ALWAYS CONSTRAINS CREATIVITY.

**ADDITION ROOF**  
STRUCTURE: TRUSS  
TOP CHORD PITCH: 4/12  
EAVE OH: 2'-0" (U.N.O.)  
GABLE OH: N/A  
MATERIAL/LOADING: SHINGLE/METAL  
FASCIA: PLUMB CUT  
HEEL: 2x4 STANDARD  
BEARING: 8'-0" AFF

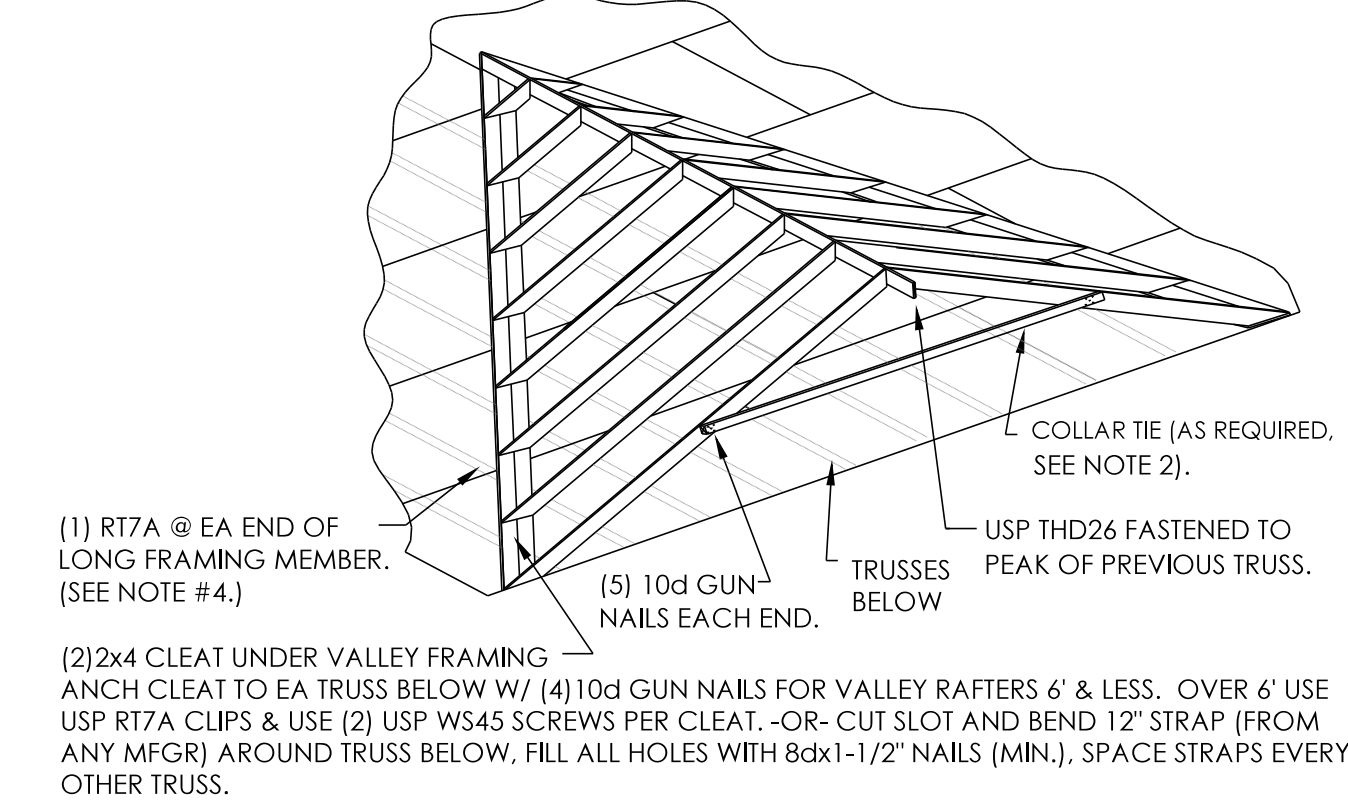


**EXISTING MAIN ROOF**  
STRUCTURE: TRUSS (Unconfirmed)  
TOP CHORD PITCH: 4/12  
EAVE OH: 2'-0" (U.N.O.)  
GABLE OH: N/A  
MATERIAL/LOADING: SHINGLE/METAL  
FASCIA: PLUMB CUT  
HEEL: 2x4 STANDARD  
BEARING: 8'-0" AFF



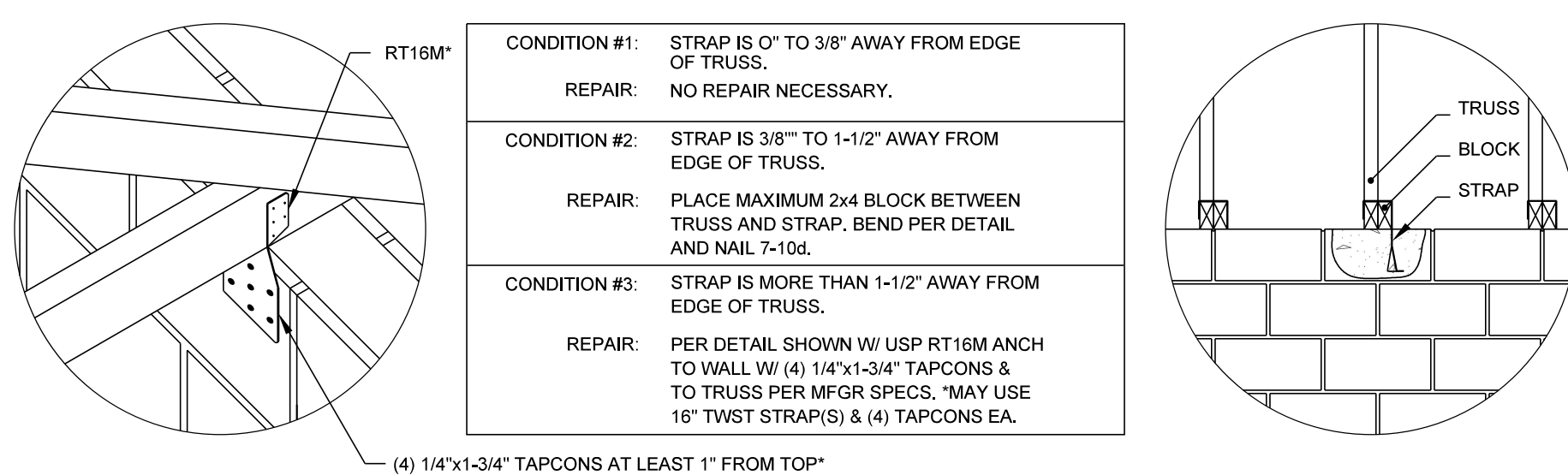
EXISTING ROOF

- GENERAL VALLEY NOTES:
- 1) RAFTERS TO BE 2x4 SPACED 24" O.C. UP TO 8'. USE 2x6 UP TO 12' LENGTH.
  - 2) RAFTER LENGTHS (FROM RIDGE TO CLEAT) OVER 12'-0" TO HAVE (2x4) COLLAR TIE, OR VERTICAL KICKER, AT 1/2 RAFTER SPAN (UP TO 24'-0" MAX RAFTER LENGTH).
  - 3) RIDGE BOARD SHALL BE 2x6 MIN. FOR 2x4 RAFTERS, & 2x8 MIN. FOR 2x6 RAFTERS.
  - 4) ATTACH RAFTERS 4" OR LONGER TO RIDGE BOARD AND CLEAT USING (1) USP RT7A CONNECTOR, NAILED W/ (8) 8dx1-1/2" NAILS, ALL OTHERS TOE-NAIL W/ 0.131x3" GUN NAILS.
  - 5) ALL CONVENTIONAL FRAMING LUMBER SHALL BE SPF STUD GRADE OR BETTER.



1501 VALLEY FRAMING DETAIL  
SCALE: NTS

POST CONSTRUCTION ROOF

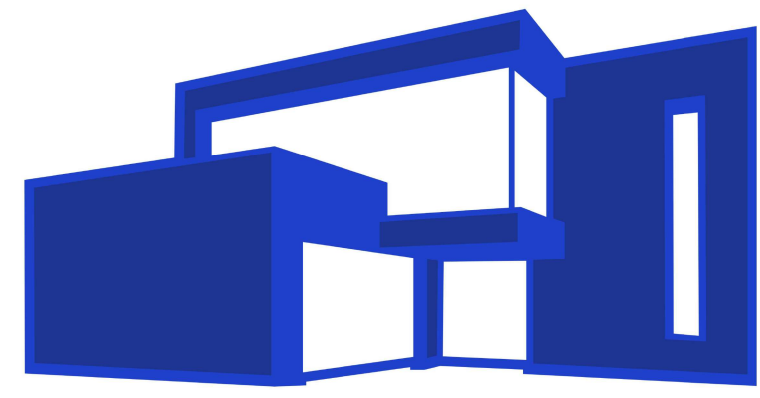


CONDITION #1:	STRAP IS 0" TO 3/8" AWAY FROM EDGE OF TRUSS. REPAIR: NO REPAIR NECESSARY.
CONDITION #2:	STRAP IS 3/8" TO 1-1/2" AWAY FROM EDGE OF TRUSS. REPAIR: PLACE MAXIMUM 2x4 BLOCK BETWEEN TRUSS AND STRAP. BEND PER DETAIL AND NAIL 7-10d.
CONDITION #3:	STRAP IS MORE THAN 1-1/2" AWAY FROM EDGE OF TRUSS. REPAIR: PER DETAIL SHOWN W/ USP RT16M ANCH TO WALL W/ (4) 1/4"x1-3/4" TAPCONS & TO TRUSS PER MFGR SPECS. *MAY USE 16" TWST STRAP(S) & (4) TAPCONS EA.

STANDARD REPAIRS FOR STRAP MISALIGNMENT  
APPLIES TO MULTIPLES AND CONSECUTIVE TRUSSES, AND MAY BE USED ON EITHER SIDE OF WALL.  
STRAPRPR.DWG 16DEC09 SCALE: NTS

ROOF PLAN

Scale **3/16" = 1'**



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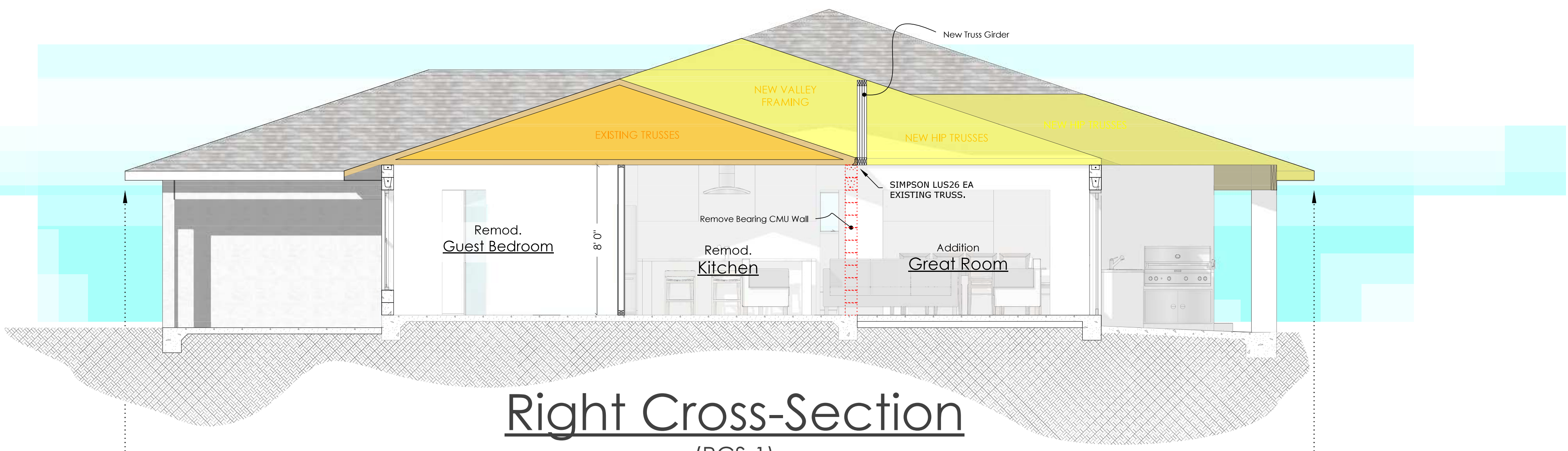
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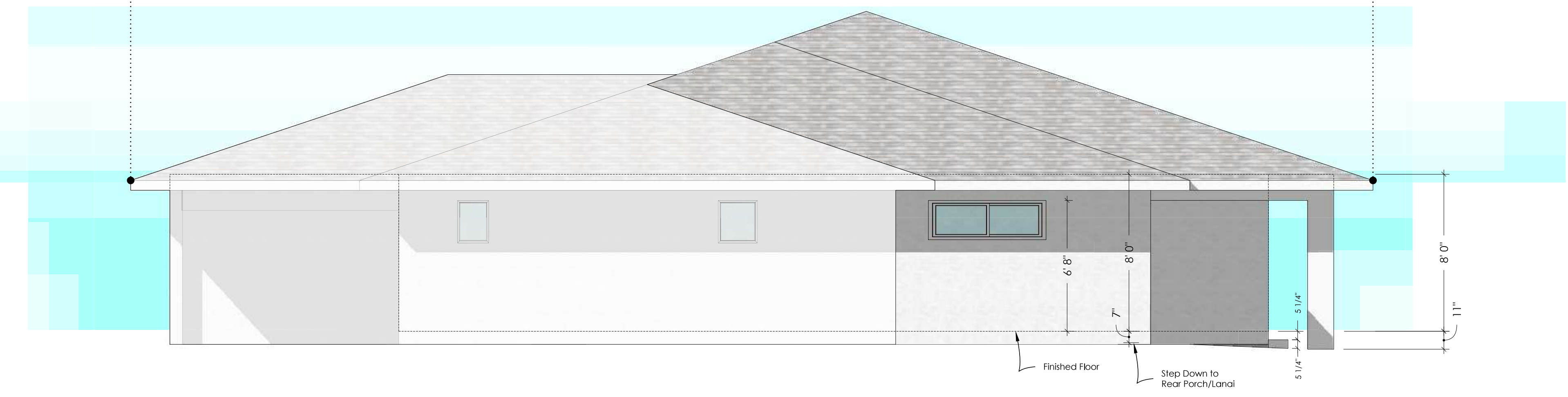
Project  
DESIGNER  
Chris Feddersen



Front Elevation



Right Cross-Section  
(RCS-1)



Right Elevation

**Rondon Addition & Remodel**

REVISIONS	Description	Date

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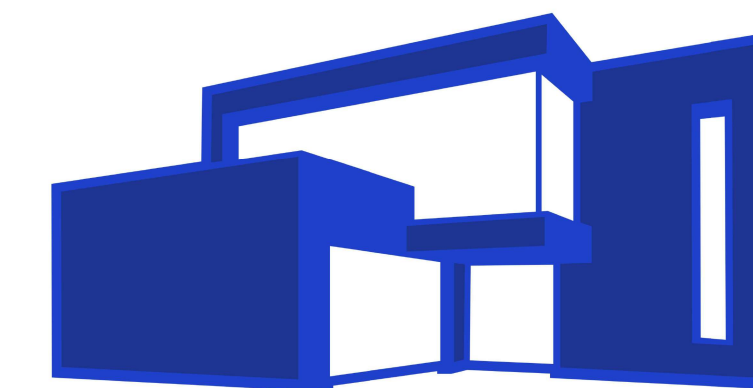
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Project No  
**08142025**

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ELEVATION VIEWS  
FRONT & RIGHT

Scale  $\blacklozenge$  1/4" = 1'



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Project  
DESIGNER  
Chris Feddersen



Rear Elevation



Left Elevation

REVISIONS	Date
Description	

**Rondon Addition & Remodel**

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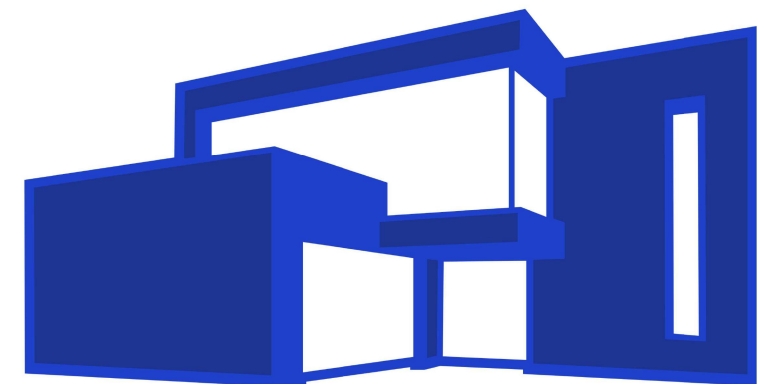
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ELEVATION VIEWS  
REAR & LEFT

Scale ◆ 1/4" = 1'

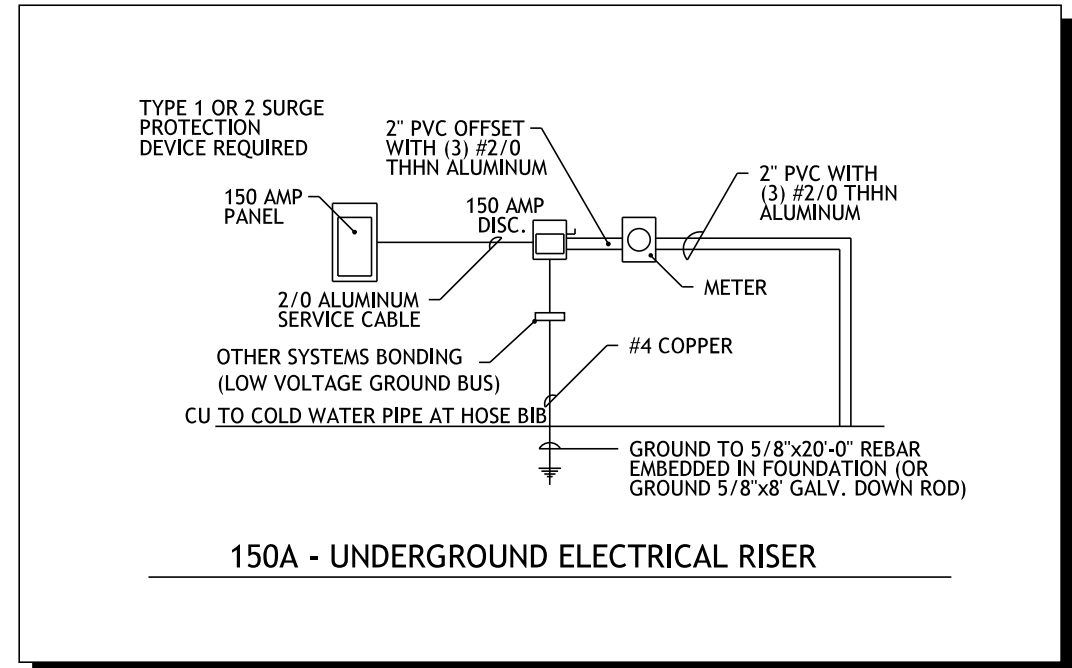


ARMISTEAD DESIGN INC

Electrical Load Calculation		
<b>General Load</b>		
2189sf at 3VA	20A /12ga	6,567VA
Small Appliance (4 @ 1500VA)	20A /12ga	6,000VA
Washer	20A /12ga	1,500VA
Dryer	30A /10ga	5,000VA
Disposal	20A /12ga	500VA
Refrigerator	20A /12ga	1,600VA
Dishwasher	20A /12ga	1,200VA
Water Heater	30A /10ga	4,500VA
Range	50A/8ga	12,000VA
<b>General Load</b>		<b>38,867VA</b>
First 10kVA at 100%		10,000VA
Remainder at 40%		11,547VA
<b>Sub-Total General Load</b>		<b>21,547VA</b>
<b>Air Conditioning</b>		
Rated Total		10,000VA
<b>Calculated Load</b>	<b>Rated Total/240V=</b>	<b>131A</b>

**Electrical General Notes**

- All work shall comply with the current National Electrical Code and must comply with local utility requirements for service connections.
- Conduit that penetrates wall must be sealed. Wall surfaces that are disturbed shall be repaired and painted to match the existing surface.
- All electrical equipment and equipment with electrical circuits shall be grounded in accordance with NFPA 70 Article 250.
- All electrical equipment and enclosures, raceways, and HVAC equipment shall be effectively grounded to ensure personal safety.
- All non-current carrying metallic parts shall be grounded. The equipment grounding conductor shall be bonded to all enclosures and boxes which it terminates in or passes through.
- Water pipes or metal structures entering the building from the outside shall be grounded.
- Provide telephone outlets & Cable TV outlets at client specified locations.
- All 15a and 20a, 120v branch circuits must be protected by a listed AFCI device per NEC Article 210.12.
- Install tamper resistant receptacles where required by NEC Article 406.12.
- Smoke Alarms to be placed in accordance with FBC R314
- Per 2023 FBC EC (8th ED) Section R 404.1 all permanently installed luminaires, excluding those in kitchen appliances, shall have an efficacy of at least 45 lumens per watt or shall utilize lamps with an efficacy of not less than 65 lumens per Watt.



Electrical Legend	
⏏	Switch
⏏-D	Dimmer switch
⏏-3	3 Way Switch
⏏-4	4 Way Switch
⏏	110V Receptade (See Notes 8 & 9)
⏏	110V Quad Receptade (See Notes 8 & 9)
⏏ Gfi	Ground Fault Rec.
⏏ WP/Gfi	Water Proof Ground Fault Rec.
⏏	220V Receptade
⏏	110V Floor Mounted Rec.
⏏	110V Ceiling Mounted Rec.
⏏	Light Bar
⏏	Pendant Light
⏏ SD	Smoke Alarm (Interconnected)
⏏ CO	Carbon Monoxide Alarm
⏏	Light Fixture
⏏	Wall Mount Sconce/Uplight
⏏	Recessed Fixture
⏏ Disc.	Disconnect
⏏	Vent Fan
⏏	Vent Fan/Light Combo
⏏	Main Panel
⏏	Power Riser
⏏	Junction Box
⏏	LED Light
⏏	Flood Lights
⏏	Surface Mount Pop-Up Outlet
⏏	Ceiling Fan
⏏	Under Cab Lighting

STRUCTURAL ONLY

Electrical Contractor: \_\_\_\_\_  
 E.C. Address: \_\_\_\_\_  
 E.C. License #: \_\_\_\_\_  
 Add: \_\_\_\_\_

DRAWINGS DO NOT REQUIRE ENGINEERING SEAL IF SYSTEM IS UNDER \$125K & 600A (ELEC-RESIDENTIAL); 15 TONS OR LESS THAN 100 PEOPLE (HVAC); & 250 FIXTURE UNITS (PLUMBING); & DESIGNED BY A STATE LICENSED CONTRACTOR. (F.S. 471.003 (2), (b)182) (THIS DRAWING SHEET IS NOT SIGNED AND SEALED)

REVISIONS	Description	Date

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Victor Rondon  
 2103 Redwood Ave  
 Melbourne Beach, FL 32951

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**08142025**

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# Rondon Addition & Remodel

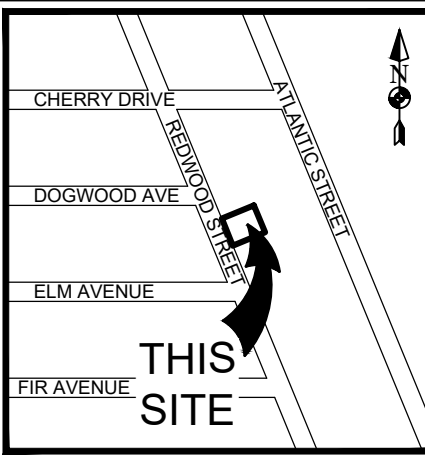
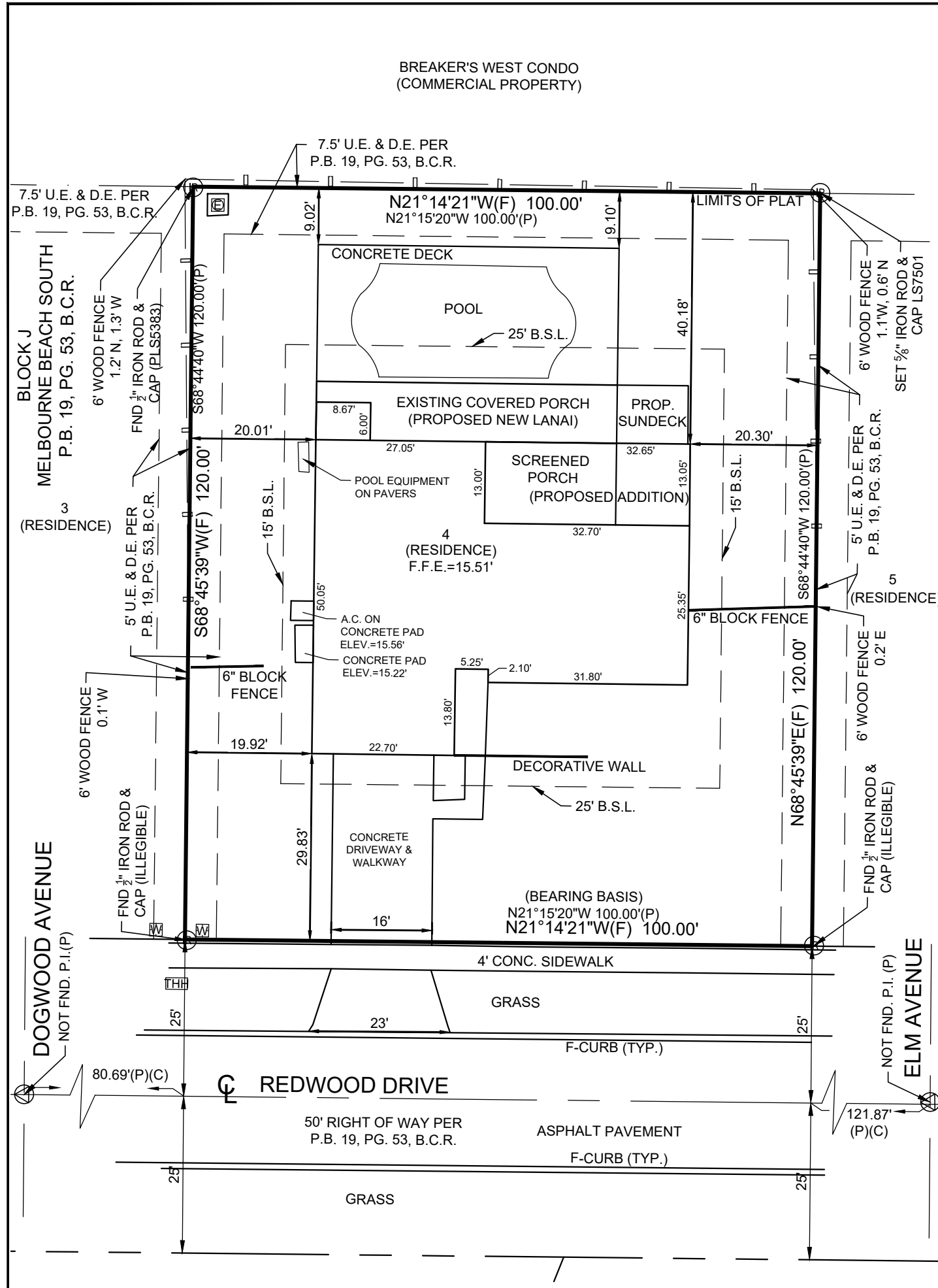
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Chris Feddersen  
 Project Designer

ELECTRICAL PLAN

Scale 1/4" = 1'

PAGE NO



**LOCATION MAP:**  
NOT TO SCALE

**LEGEND:**

- B.C.R. BREVARD COUNTY RECORDS
- B.S.L. BUILDING SETBACK LINE
- D.E. DRAINAGE EASEMENT
- ELEV. ELEVATION
- (F) PER FIELD MEASUREMENT
- F.F.E. FINISHED FLOOR ELEVATION
- FND FOUND
- ID IDENTIFICATION
- LB FLORIDA BUSINESS REGISTRATION NUMBER
- (P) PER RECORD PLAT
- P.B. PLAT BOOK
- PG. PAGE
- P.I. POINT OF INTERSECTION
- T.B.D. TO BE DETERMINED
- U.E. UTILITY EASEMENT
- CL CENTERLINE
- IR IRON ROD & CAP
- ND NAIL & DISC
- BM BENCHMARK
- EH ELECTRIC PAD
- THH TELEPHONE HAND HOLE
- WU WOOD UTILITY POLE
- GA GUY ANCHOR
- WM WATER METER
- CLS CENTERLINE OF SWALE
- OHW OVERHEAD WIRES
- TOB TOP OF BANK
- TOE BOTTOM OF SLOPE

**LEGAL DESCRIPTION:**

LOT 4, BLOCK J, MELBOURNE BEACH SOUTH ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 19, PAGE 53, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

SAID LANDS LYING IN CITY OF MELBOURNE, FLORIDA AND CONTAINING 12,000 SQUARE FEET (0.275 ACRES) MORE OR LESS.

**SURVEY NOTES:**

1. THE LAND DESCRIPTION SHOWN HEREON IS IN ACCORDANCE WITH THE INSTRUMENT OF RECORD.
2. NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR DIGITALLY ENCRYPTED SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
3. IT IS A VIOLATION OF THE STANDARDS OF PRACTICE, RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
4. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
5. OTHER THAN AS SHOWN, THERE IS NO EVIDENCE THAT UNDERGROUND ENCROACHMENTS EXIST. HOWEVER SUBSURFACE INVESTIGATION WAS NOT PERFORMED TO DETERMINE IF UNDERGROUND ENCROACHMENTS EXIST.
6. THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENTS OF POTENTIAL JURISDICTIONAL BOUNDARIES.
7. THE OWNERSHIP OF FENCES, PERIMETER WALLS, PONDS AND/OR HEDGES SHOWN HEREON ARE NOT KNOWN AND THUS ARE NOT LISTED AS ENCROACHMENTS.
8. FEATURES AND LINE WORK SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN HORIZONTAL DATUM OF 1983 WITH THE 2011 ADJUSTMENT APPLIED (83/NSRS11) TRANSVERSE MERCATOR, FLORIDA EAST ZONE WHICH WAS ESTABLISHED VIA MULTIPLE REAL TIME KINEMATIC (RTK) GPS OBSERVATIONS ON THE PROJECT CONTROL POINTS. THE HORIZONTAL COORDINATE VALUES FROM THE RTK GPS OBSERVATIONS WERE PROCESSED THROUGH THE FLORIDA DEPARTMENT OF TRANSPORTATION'S (FPRN) FLORIDA PERMANENT REFERENCE NETWORK. THE RELATIVE POSITIONAL PRECISION FOR THE CONTROL ON THIS SURVEY (ADJACENT TO THEMSELVES) ACHIEVED A RELATIVE ACCURACY OF 0.03'. THE FEATURE LOCATIONS SHOWN HEREON HAVE AN EXPECTED HORIZONTAL ACCURACY OF ± 0.1'. THIS SURVEY MEET THE ACCURACY FOR ITS EXPECTED USE.
9. THE EXPECTED VERTICAL ACCURACY OF THE INFORMATION SHOWN HEREON IS ±0.03' FOR HARD SURFACE ELEVATIONS AND ±0.10' FOR SOFT SURFACE ELEVATIONS.
10. HORIZONTAL FEATURE LOCATION IS TO THE CENTER OF THE SYMBOL AND MAY BE ALTERED FOR CLARITY. DISTANCES AND ELEVATIONS SHOWN HEREON ARE U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
11. BEARINGS SHOWN HEREON ARE BASED ON THE NORTH LINE OF REDWOOD DRIVE, AS DETERMINED BY FOUND CONTROL POINTS IN THE SURROUNDING AREA, IN ACCORDANCE WITH THE PLAT OF MELBOURNE BEACH SOUTH, RECORDED IN PLAT BOOK 19, PAGE 53, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA. SAID NORTH LINE BEARS NORTH 21°22'11" WEST.
12. ELEVATIONS SHOWN HEREON ARE BASED ON THE **NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)**. SAID ELEVATIONS ARE DERIVED FROM THE FOLLOWING CITY OF NATIONAL GEODETIC SOCIETY (NGS) BENCHMARK: R 136 RESET NAVD88 ELEVATION=16.50'
13. ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 12009C0616H EFFECTIVE DATE JANUARY 29, 2021, THIS PROPERTY LIES IN ZONE X, BASE FLOOD ELEVATION (NONE). LINES IMPORTED FROM BREVARD COUNTY GIS FILE.

**CERTIFICATION:**

I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY & TOPOGRAPHIC SURVEY OF THE HEREON DESCRIBED PROPERTY IS DEPICTED TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THE INFORMATION AS WRITTEN UNDER MY DIRECTION ON JANUARY 20, 2026 MEETS THE STANDARDS OF PRACTICE RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

LUIS M SANTALIZ  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION, PSM 7501



**PRECISION LAND SURVEYING & MAPPING, INC.**  
"YOUR LAND, OUR PRECISION"  
772-333-4154  
WWW.PRECISION-LANDSURVEYING.COM  
PORT ST. LUCIE, FL 34953

**VILAG IMPROVEMENTS CORP**  
2103 REDWOOD AVE  
MELBOURNE BEACH  
FL 32951

PROJECT NUMBER 2025-026



SCALE: 1" = 20'

DATE:	01/30/26
DRAWN BY:	FS
CHECKED BY:	LS
FIELD BOOK:	03

NO.	DATE	DESCRIPTION

**CERTIFIED TO:**

VILAG IMPROVEMENTS CORP

SHEET TYPE  
**BOUNDARY AND TOPOGRAPHIC SURVEY**

SHEET NUMBER 1 OF 1

Plotted by: fscat On: 2/3/2026 1:17 PM

Drawing Name: P:\P-2025\2025-026 VILAG IMPROVEMENTS\2025-026 2103 REDWOOD AVE, MELBOURNE\DWG\2025-026 2103 REDWOOD AVE SITE PLAN.dwg

STATUS: PRELIMINARY

**2103 Redwood Ave**

2025 Brevard County Property Appraisers website

Property        \$562,320

- Land                \$300,000
- Building            \$234,380 (50% threshold \$117,190)
- Yard items         \$27,940

\*\*based on the above numbers the 50% threshold for requiring drainage and stormwater would be \$117,190. Current construction costs are \$115,000.

## Planning and Zoning Meeting

**Section:** Old Business  
**Meeting Date:** June 2, 2026  
**From:** Building Department  
**RE:** Site Plan Approval for 222 Sixth Ave. – Addition

### Background Information:

The Town received plans for an addition at 222 Sixth Ave.

### Recommendation:

Approve the site plan for 222 Sixth Ave contingent upon the pending Town Engineer report.

### Attachments:

- Town Planner Letter – Pages 27-29
- Development Application – Pages 30-32
- Setback Interpretation Letter – Page 33
- Original Plans and Survey – Pages 34-38
- Stormwater Report – Pages 39-64

## Site Plan Review

### Applicable Codes:

**Town of Melbourne Beach Land Development Code**

**Current Florida Building Code**

**Date:** June 2, 2026  
**Owner:** Edward & Maria Drake  
**Owner Address:** 222 6<sup>th</sup> Avenue, Melbourne Beach FL 32951  
**Site Address:** 222 6<sup>th</sup> Avenue, Melbourne Beach FL 32951  
**Parcel ID:** 28-38-08-FY-27-31  
**Zoning:** 3RS - Single-Family

**Proposed Project:** Construct a 3BR/2BA, 2-Story Addition to Existing Single-Family Home  
**References:** Town of Melbourne Beach Code of Ordinances:  
 7A-33 Single-Family Residential District  
 7A-51.1, Site Plan Approval For Single-Family Residential Districts

**Request:** Site Plan Approval in Accordance with 7A-51.1  
**Staff Review:** The property lies in Zoning District 3RS

- 1) The project is continued from the May meeting of the Planning and Zoning Board to address an issue with the cantilevered 2<sup>nd</sup> floor space, and the revised plans have corrected the 2<sup>nd</sup> floor to comply with the side yard setback requirements. The project involves the construction of a 3-bedroom / 2-bath 2-story addition to an existing single-family home. The existing 1-story home includes a gross area under roof of 1,820 square feet based on the Property Appraiser's information. The proposed 2-story addition will include three (3) bedrooms, two (2) baths, great room, game room and covered porch for the first and second floors, and a gross area under roof of 1,631 square feet. The game room on the 2<sup>nd</sup> floor of the addition includes a refrigerator, double-sink and dishwasher which appears like a kitchen, although a kitchen is defined as having cooking facilities and there is no oven/range to qualify as a kitchen, so this would not be considered an additional dwelling unit.
- 2) The Building Lot Zoning District requirements of min. lot area, width and depth.  
 Lot area is 10,125 sq. ft. (min. 10,000 sq. ft.)  
 Lot width is 67.5 ft. (min. 90 ft.), nonconforming lot of record.  
 Lot depth is 150 ft. (min. 100 ft.)
- 3) Lot coverage has a maximum of 30% for principal structure.  
 Lot coverage per plan is 26%

Footprint of Primary Structure is 2,635 SF.

Max allowed for Primary Structure is 3,037.50 sq. ft. for Lot Area of 10,125 sq. ft.

Minimum pervious area per lot is 30%. Pervious area per plan is 56.7%.

- 4) Structure maximum height for zoning district is 28 ft.  
 Flood Zone: X per survey  
 FFE: 20' 6", for proposed 2-story addition.

Zoning District Setback requirements:

Existing Primary Structure Front Setback: 37.1' (min. 25'.)

Proposed Primary Structure Rear Setback (addition): 31.5' (min. 25')

Proposed Primary Structure West Side Setback (addition): 15' (min. 15')

Proposed Primary Structure East Side Setback (addition): 15.7' (min. 15')

Existing Primary Structure West Side Setback: 10.7' (min. 15'), existing nonconforming

Existing Primary Structure East Side Setback 10.2' (min. 15'), existing nonconforming

- 5) Sediment and Erosion control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.
- 6) On-site Storm water Retention Control measures shall be met, as applicable, and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.
- 7) Town Engineer will submit a review of the drainage plan per Ordinance 2019-06. The Town Engineer will require a final inspection before a Certificate of Occupancy will be issued.
- 8) The application did not include a landscape plan, however landscape standards, as applicable, must be met at the time of building permitting.

Based on the above review, the proposed site plan for the referenced property is in compliance with The Town of Melbourne Beach Code of Ordinances.

Corey W. O'Gorman  
 Town Planner

Note that the Lot Coverage, Impervious Coverage and Setbacks were calculated based on dimensions on survey, plans and information from the Property Appraiser.

**222 6<sup>th</sup> Avenue**

<b>IMPERVIOUS</b>		<b>PERVIOUS</b>	
Primary Structure	2851	Open areas	5740
Wood Deck	176		
Pool/Pool Deck	724		
Driveway/Patio	634		
 Total Paved Area	 4385	 Total Pervious	 5740
<hr/>		<hr/>	
Total Lot Area	10,125	Total Lot Area	10,125
 <hr/>		 <hr/>	
<b>% IMPERVIOUS</b>	<b>43.3%</b>	<b>% PERVIOUS</b>	<b>56.7%</b>



**TOWN OF MELBOURNE BEACH  
DEVELOPMENT APPLICATION**

**I. SUBMITTAL REQUIREMENTS:**

1. Fees per current schedule.
2. Deed to property.
3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting.
4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

**II. REQUEST:**

- |  |  |
|--|--|
| <input type="checkbox"/> Land Use Plan Amendment                                   | <input type="checkbox"/> Rezoning  |
| <input type="checkbox"/> Special Exception   | <input type="checkbox"/> Coastal Construction Variance                     |
| <input type="checkbox"/> Variance  | <input type="checkbox"/> Appeal (Application must be filed within 30 days) |
| <input checked="" type="checkbox"/> Site Plan Review Single Family (1RS, 2RS, 3RS) | <input type="checkbox"/> Site Plan Review Multifamily (4RM, 5RMO)          |
| <input type="checkbox"/> Site Plan Review Commercial (6B, 7C, 8B, 9I)              | <input type="checkbox"/> Amendment to the Land Development Code            |
|  | <input type="checkbox"/> Other (specify) _____                             |

**III. PROPERTY INFORMATION:**

General Location: Wilcox Melbourne Beach W 30' of Lot 31 + E 37.5' of Lot 32

Address: 222 5th Ave Melbourne Beach FL 32951

Parcel Number(s): T528 R38 508 WILCOX <sup>SR 38</sup> SD B 27 Lot 31

Area (in acreage): \_\_\_\_\_ Area (in square feet): 1512 Present - 2,500 sq ft Proposed

Current Zoning: Residential Proposed Zoning: Primary Residential

Current Future Land Use: Residential Proposed Future Land Use: Primary Residential

Brief Description of Application: Add Addition 3/2 + MR Daughters + grand children to move in C u S

Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable): \_\_\_\_\_

\*

**IV. APPLICANT INFORMATION:**

Property Owner

Name: Edward + Maria Drake

Phone: 321-501-3867

Address: 222 Sixth Ave  
Melbourne Beach FL 32951

Fax: N/A

Email: Edrake63@outlook.com

Applicant (if other than property owner)

Name: N/A

Phone: /

Address: /

Fax: /

Email: /

**V. OWNER AUTHORIZATION:\***

The undersigned hereby affirms the following:

- 1. That I/we are the fee simple title owner/contract purchaser (circle one) of the property described in this application.
- 2. That I/we have read and understands the entire application and concurs with the request.
- 3. That I/we have appointed the Applicant to represent the application, and empowers the Applicant to accept any and all conditions of approval imposed by the Town of Melbourne Beach.

Signature: Edward Davenport Drake  
Maria Elena Drake  
 Print Name: MARIA Elena Drake

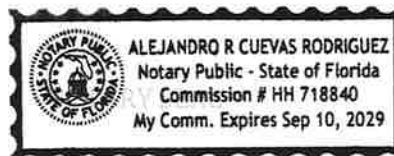
Date: 4/9/2020  
 Title: OWNERS

\*Must sign in front of notary.

State of Florida  
County of Brevard.

The foregoing application is acknowledged before me this 9<sup>th</sup> day of April, 2020, by Edward Davenport Drake and Maria Elena Drake who is/are personally known to me, or who has/have produced Florida River License as identification.

[Signature]  
Signature of Notary Public, State of Florida



**VI. APPLICANT CERTIFICATION:\***

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

Signature: Edward Davenport Drake Date: 4/9/2020  
Maria Elena Drake  
Print Name: Edward Davenport Drake Title: Owners  
Maria Elena Drake

\*Must sign in front of notary.

State of Florida  
County of Brevard.

The foregoing application is acknowledged before me this 9<sup>th</sup> day of April, 2020, by Edward Davenport Drake, Maria Elena Drake who is/are personally known to me, or who has/have produced Florida Driver License as identification.

[Signature]  
Signature of Notary Public, State of Florida



**VII. PROJECT DESCRIPTION:**

Describe Application: A 3/2 addition on  
back of house

Provide attachment if more space is needed.

Describe Existing Conditions: single family home

Provide attachment if more space is needed.



# Town of Melbourne Beach

507 Ocean Ave, Melbourne Beach, FL 32951

May 13, 2026

Marie Smith, Town Manager  
Town of Melbourne Beach  
507 Ocean Avenue  
Melbourne Beach, FL 32951

RE: 222 Sixth Avenue / Building Setback

Dear Marie,

This letter is provided to confirm that the second-floor cantilevered space as currently designed for the subject property is not permitted. In that regard, please find the following background on the property and regulatory information:

- Address/Parcel ID#: 222 Sixth Avenue / 28-38-08-FY-27-31
- Zoning: 3-RS – Single-Family
- Section 7A-33. 3-RS Single-family specifies the following:
  - Minimum yard requirement, side interior lot setback: 15' from lot line
- Section 1A-3. Definitions. This section defines “yard” as: “An open space on the same lot with a principal building which is unoccupied and unobstructed by buildings from the ground to the sky except for overhangs or bay windows or as otherwise provided in this section.”

Based on the above, the minimum “yard” area for the side yard between the principal building and the side lot line is 15'. The proposed second floor cantilevered space in the design of the proposed addition at 222 Sixth Avenue is less than 15' and cannot be permitted, and as such the plans must be redesigned to comply with the 15' yard requirement. Please let me know if you have any questions.

Sincerely,

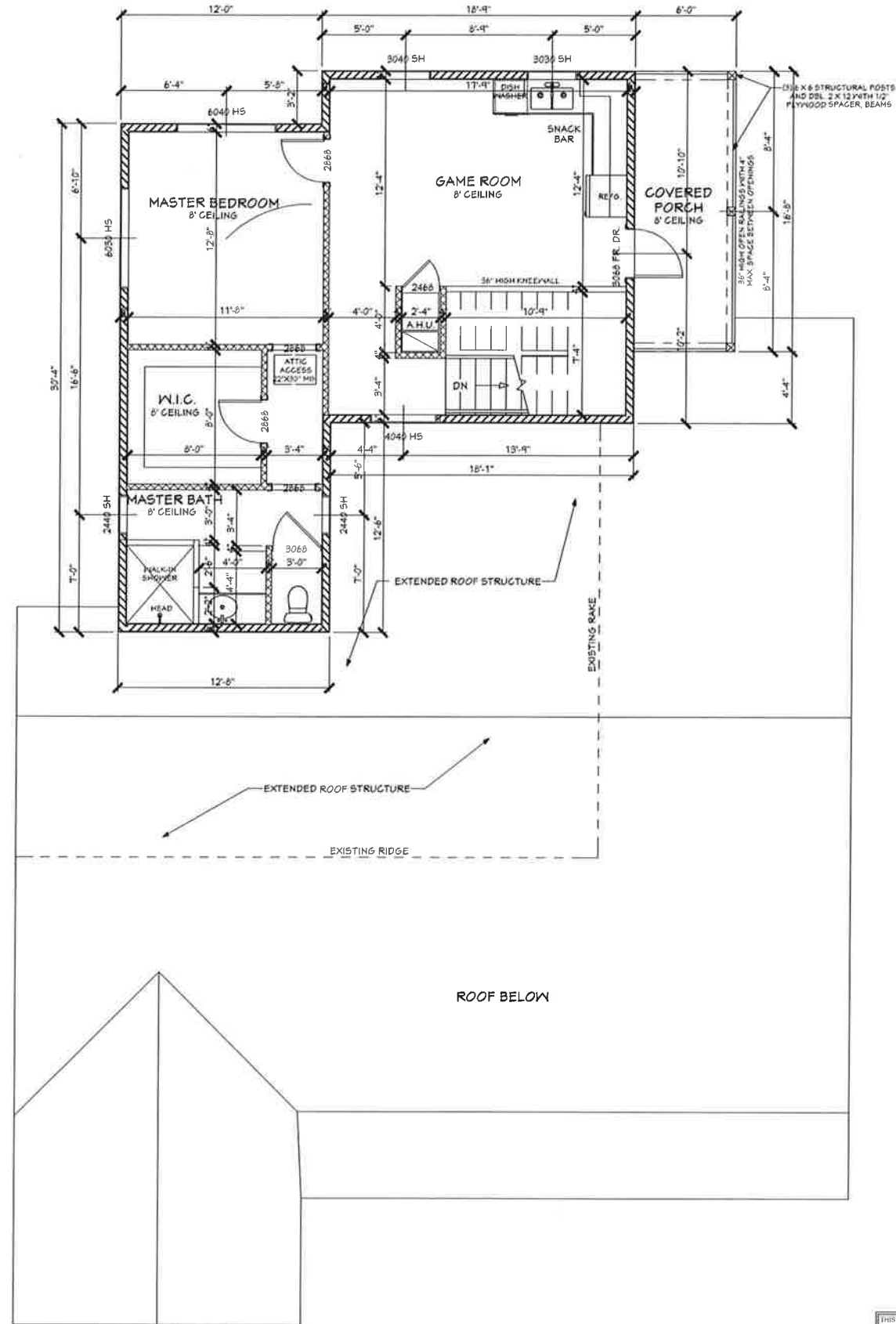
Corey W. O'Gorman  
Town Planner

/co

Phone: (321) 724-5860 | [melbournebeachfl.org](http://melbournebeachfl.org) | Fax: (321) 984-8994

Brevard County's Oldest Beach Community - Established 1883





**UPPER FLOOR PLAN**

**TOM MORTON  
DESIGN & DRAFTING**  
723-0330  
218 S. PALM BEACH  
MELBOURNE BEACH, FLA 32951



ADDITION AND RENOVATIONS TO EXISTING RESIDENCE FOR:  
**THE DRAKES**  
222 SIXTH AVENUE, MELBOURNE BEACH

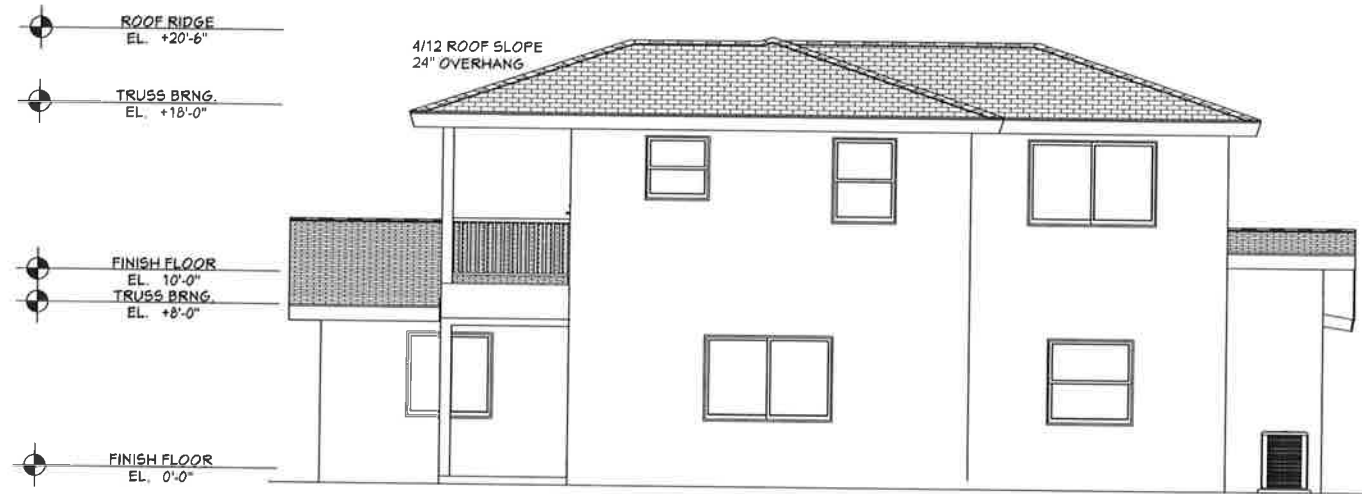
DATE:  
7 APR 26  
DRAWN:  
T.C.M  
SCALE:  
1/4"=1'-0"  
REVISION:  
15 MAY 26

SHEET:  
**A2**

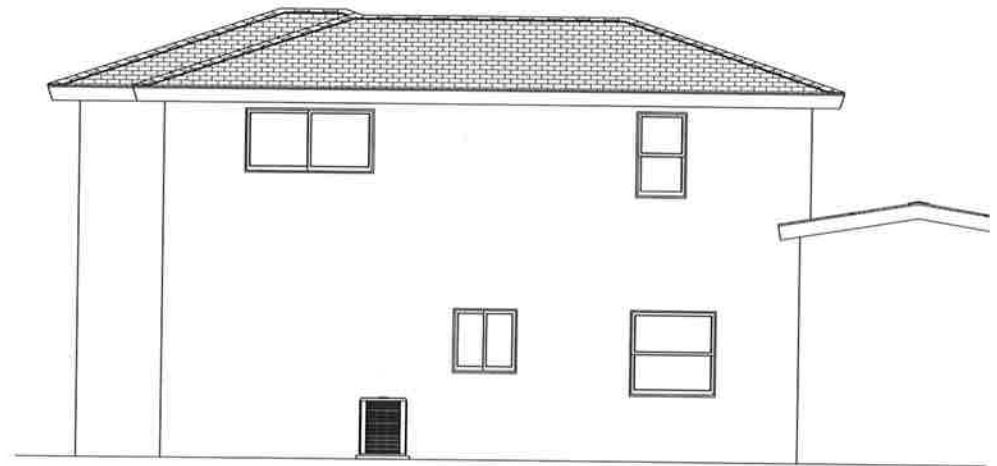
THIS FILE HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY BEN S. SCHWARTZ, P.E. ON THE DATE AND/OR TIME STAMP SHOWN USING A SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

**SBS SERVICES, LLC**  
3893 LOND LEAF DRIVE MELBOURNE, FL 32943 EX371 (888) 1371 sbservices@tcm.com  
I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THESE PLANS AND SPECIFICATIONS COMPLY WITH THE STRUCTURAL PORTION OF THE 2018 EDITION FLORIDA BUILDING CODE - RESIDENTIAL CHAPTER 9 FOR WIND AND GRAVITY LOADS AS AMENDED AND ENFORCED BY THE PERMITTING JURISDICTION, BEN S. SCHWARTZ, P.E. LICENSE NO. 41778 DATE

STRUCTURAL CERTIFICATION FOR WIND LOADS ONLY



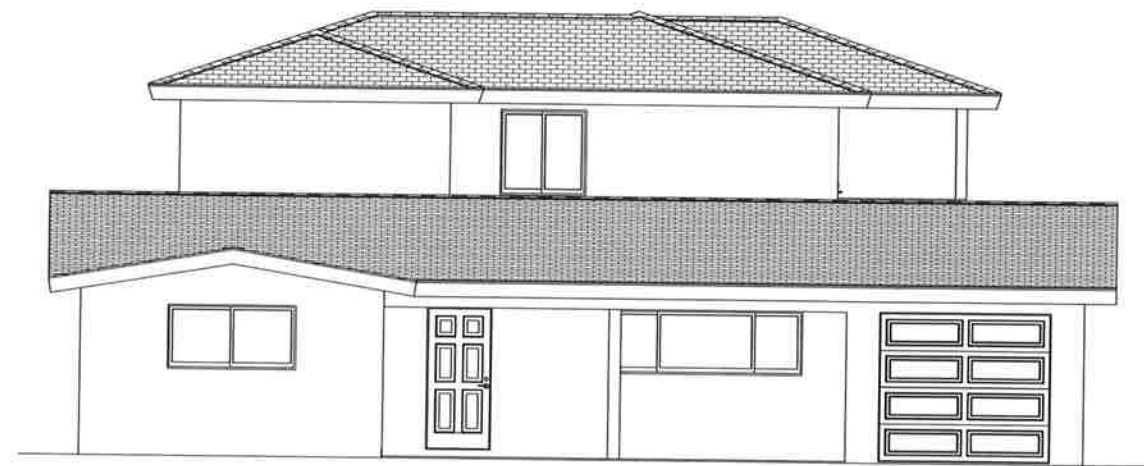
REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



FRONT ELEVATION

ROOF RIDGE  
 EL. +20'-6"  
 TRUSS BRNG.  
 EL. +18'-0"  
 FINISH FLOOR  
 EL. 10'-0"  
 TRUSS BRNG.  
 EL. +8'-0"  
 FINISH FLOOR  
 EL. 0'-0"

4/12 ROOF SLOPE  
24" OVERHANG

EXTERIOR  
ELEVATIONS

TOM MORTON  
DESIGN & DRAFTING  
723-0330  
T.M. MORTON, P.E.  
MELBOURNE BEACH, FLA. 32951



ADDITION AND RENOVATIONS TO EXISTING RESIDENCE FOR:  
**THE DRAKES**  
222 SIXTH AVENUE, MELBOURNE BEACH

DATE:  
7 APR 26  
DRAWN:  
T.C.M.  
SCALE:  
1/4"=1'-0"  
REVISION:  
15 MAY 26

SBS SERVICES, LLC  
SHEET:  
**A3**

THIS SET HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY BEN S. SCHWARTZ, P.E. ON THE DATE AND FOR THE STATE OF FLORIDA USING A SIGNATURE AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SBS SERVICES, LLC  
3983 LONG LEAF DRIVE  
MELBOURNE, FL 32945  
DATE: 02/18/24  
SIGNATURE: BEN S. SCHWARTZ  
I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THESE PLANS AND SPECIFICATIONS COMPLY WITH THE STRUCTURAL PORTION OF THE 8 IN EDITION FLORIDA BUILDING CODE - RESIDENTIAL, CHAPTER 9 FOR WIND AND GRAVITY LOADS AS AMENDED AND ENFORCED BY THE PERMITTING JURISDICTION. BEN S. SCHWARTZ, P.E. LIC NO. 41775 CALIC NO. 25911

STRUCTURAL CERTIFICATION FOR ARCHITECTS ONLY

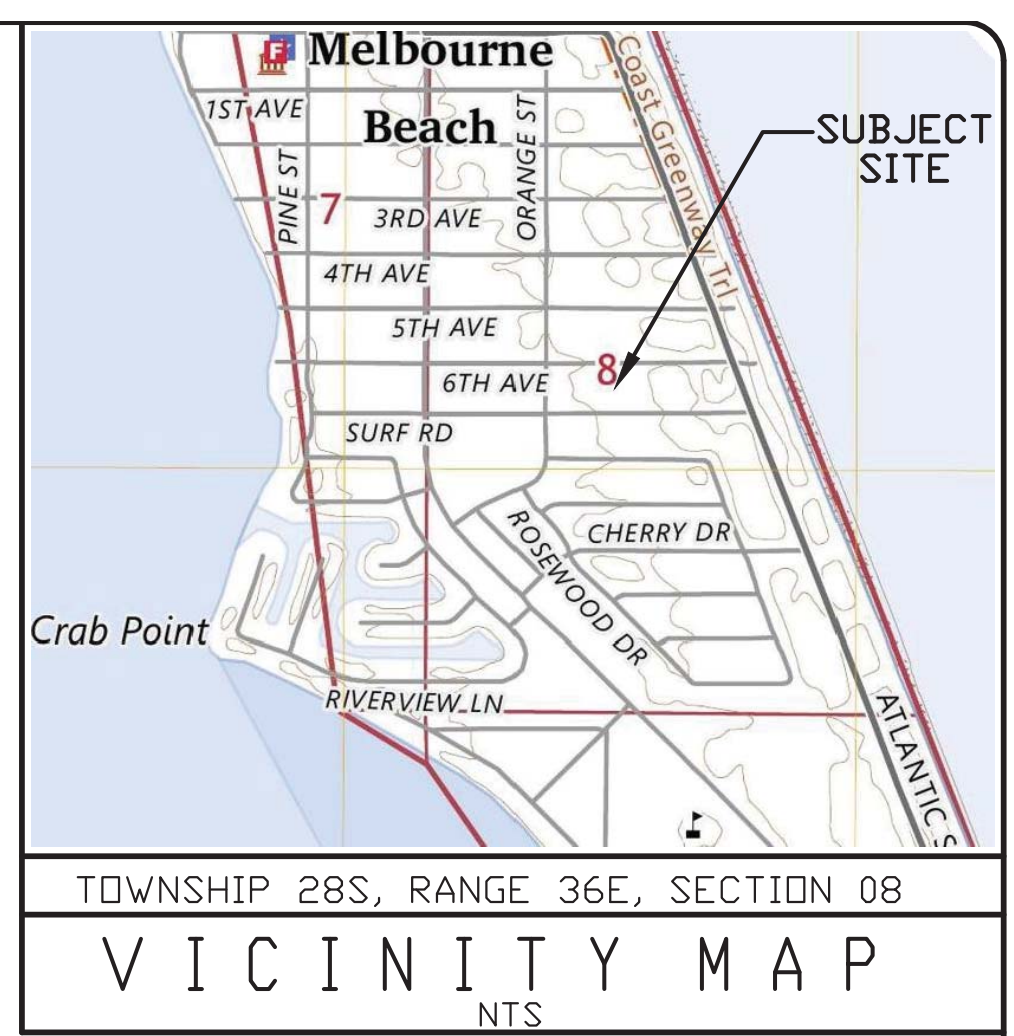
AREA OF ALTERATION = 0.23 ACRES

TYPE "A" LOT DRAINAGE (REAR TO FRONT)

NO FILL OR CONSTRUCTION MATERIALS MAY BE PLACED OUTSIDE OF THE SILT FENCING.



**EROSION NOTES:**  
BEST MANAGEMENT PRACTICES SHALL BE UTILIZED TO MINIMIZE ANY ON SITE EROSIONS. IN ADDITION TO BEST MANAGEMENT PRACTICES, AS A MINIMUM, SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE DEVELOPMENT AREA TO MINIMIZE SEDIMENTATION FROM LEAVING THE SITE.



SCALE: 1"=20'

DRAKE EDWARD DAVENPORT;  
DRAKE, MARIA ELENA  
222 6TH AVE  
MELBOURNE BEACH FL 32951

DRAKE RESIDENCE  
222 6TH AVE

**GENERAL STATEMENT:**  
THIS LOT DRAINAGE PLAN HAS BEEN PREPARED FOR A BUILDING ADDITION TO THE EXISTING SINGLE-FAMILY RESIDENCE ON THE SUBJECT LOT.

**OWNER:**  
DRAKE, EDWARD DAVENPORT; DRAKE, MARIA ELENA  
222 6TH AVE  
MELBOURNE BEACH FL 32951

**ENGINEER:**  
BENNETT ENGINEERING & CONSULTING, LLC  
4940 RANCHLAND ROAD  
MELBOURNE, FLORIDA 32934  
(321) 622-4462

**SURVEYOR:**  
AAL LAND SURVEYING SERVICES, INC.  
3970 MINTON ROAD,  
WEST MELBOURNE, FL 32904  
(321) 768-8110

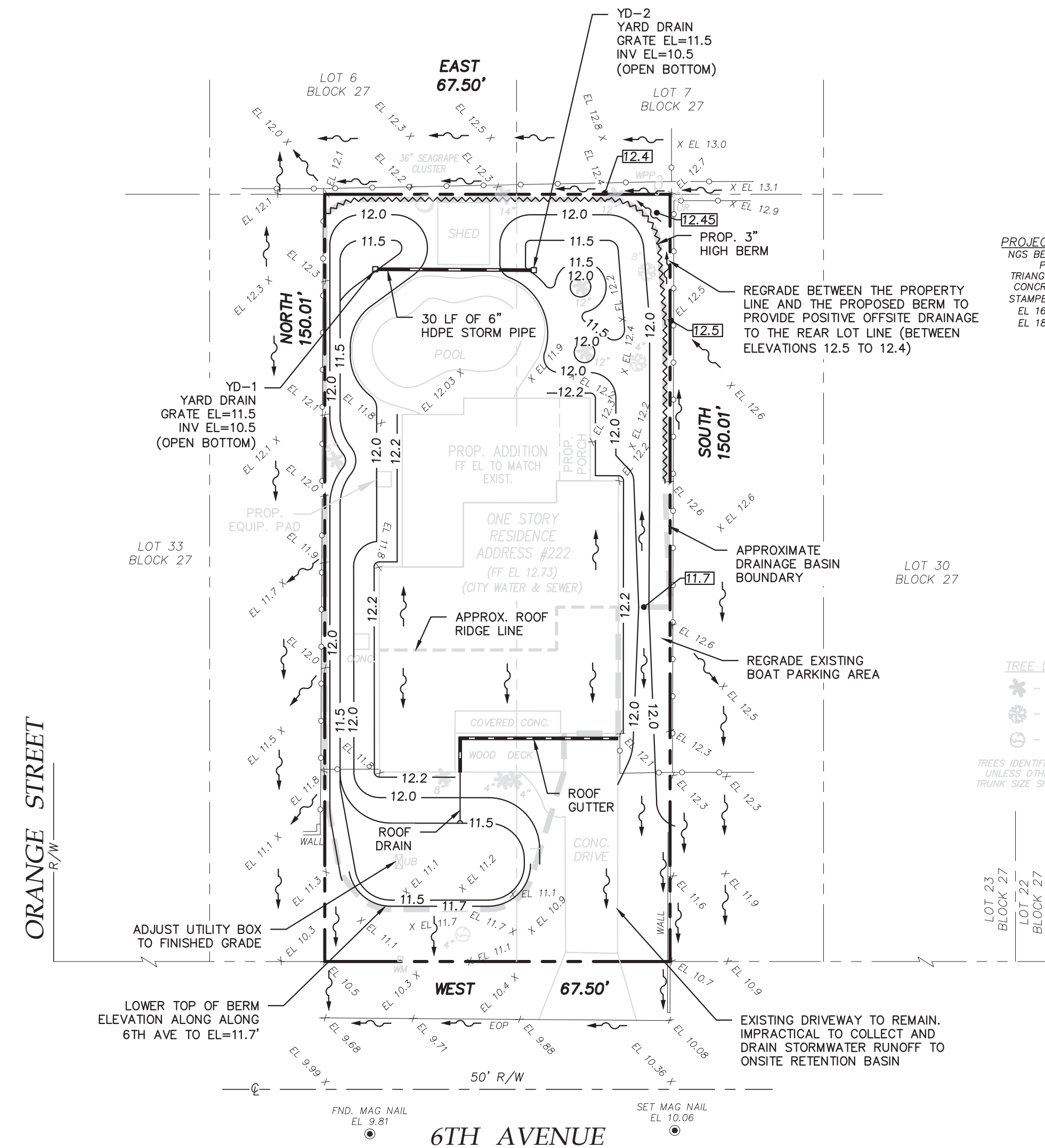
**SITE ADDRESS:**  
222 6TH AVE  
MELBOURNE BEACH FL 32951

**PARCEL ID:** 28-38-08-FY-27-31

**ACCOUNT NO.:** 2848021

**SITE AREA:** SITE AREA = ±0.23 (±10,126)

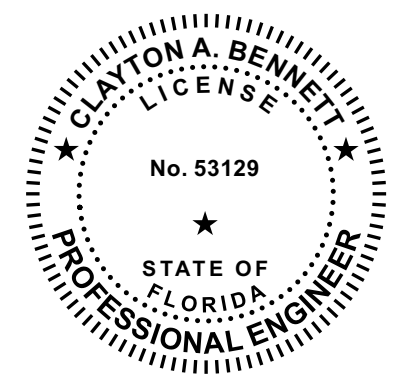
**NATIONAL FLOOD INSURANCE INFORMATION:**  
(AS PROVIDED ON THE SURVEY)  
MAP NO. 12009C0608H  
FIRM INDEX DATE: JANUARY 29, 2021  
FLOOD ZONES: "X"



**PROJECT BENCHMARK**  
NGS BENCHMARK ANT 2  
PID AK4032  
TRIANGULATION DISK IN  
CONCRETE MONUMENT  
STAMPED "ANT 2 1934"  
EL 16.93 (NAVD 88)  
EL 16.37 (NGVD 29)

**TREE LEGEND**  
- PALM  
- FLAMBERIA  
- TROPICAL  
TREES IDENTIFIED PER LEGEND  
UNLESS OTHERWISE NOTED.  
TRUNK SIZE SHOWN IN INCHES.

**LEGEND:**  
X EL. 10.9 EXISTING GRADE ELEVATION  
12.4 PROPOSED GRADE ELEVATION  
11.5 PROPOSED ELEVATION CONTOUR LINE  
~ PROPOSED FLOW DIRECTION  
--- APPROXIMATE DRAINAGE BASIN BOUNDARY

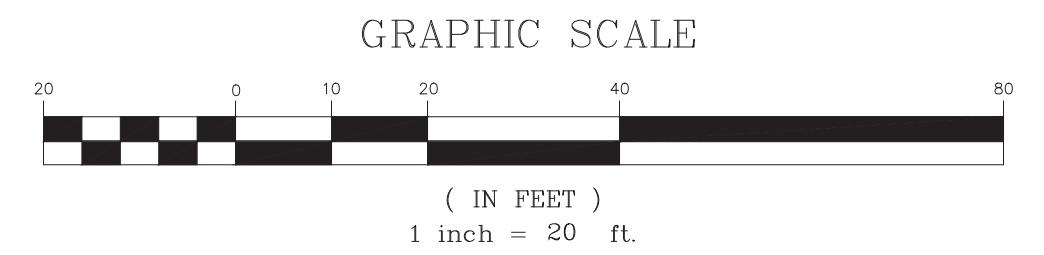


This item has been digitally signed and sealed by Clayton A. Bennett, PE on the date adjacent to the seal.  
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

**GENERAL NOTES**  
1. PROPOSED BUILDING ENVELOPE INDICATES MAXIMUM EXTERIOR WALL DIMENSIONS ONLY.  
2. BOUNDARY, TOPOGRAPHIC INFORMATION WAS PROVIDED BY AAL LAND SURVEYING SERVICES, INC., JOB NO. 50897, DATED 05/07/26.  
3. ELEVATIONS ARE BASED ON NAVD, 1988 DATUM.  
4. CONTOURS ARE APPROXIMATE ONLY.  
5. THE SOLID WASTE WITHIN THE PROJECT SITE WILL BE PICKED UP BY CURBSIDE PICKUP.  
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED WITHIN ROAD AND DRAINAGE RIGHT-OF-WAY AS A DIRECT RESULT OF NEW CONSTRUCTION.  
7. THE CONTRACTOR SHALL CONTACT SUNSHINE ONE (1-800-432-4770) AND ALL CONCERNED UTILITIES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS.  
8. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND DOCUMENT THE ACTUAL LOCATION AND EXTENT OF ALL EXISTING UTILITIES WHICH MAY AFFECT CONSTRUCTION. EXISTING UTILITIES SHOWN ARE BASED UPON THE BEST AVAILABLE INFORMATION SUPPLIED TO THE OWNER/ENGINEER AND IS SHOWN FOR INFORMATIONAL PURPOSE ONLY. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE UTILITY OWNER.

**FINISHED FLOOR ELEVATION:**  
MATCH EXISTING HOUSE FFE:  
EXISTING HOUSE FFE = 12.73  
HEIGHT ABOVE CROWN OF ROAD  
12.73' - 10.36' = 2.37 FEET

**GRADING NOTES**  
1. IMPERVIOUS PAVEMENT ADJACENT TO THE BUILDING SHALL SLOPE AWAY FROM THE BUILDING A MINIMUM OF 2% FOR THE FIRST 10 FEET.  
2. THE FINISHED PAVEMENT GRADE ADJACENT TO THE GARAGE DOOR(S) SHALL BE SET 1/2" BELOW THE ADJACENT GARAGE SLAB ELEVATION AND BE SLOPED AWAY FROM THE GARAGE AT A MINIMUM OF A 2% SLOPE FOR 10 FEET.  
3. FINISHED EARTH GRADES ADJACENT TO THE BUILDING SHALL BE A MINIMUM OF 6" BELOW THE FINISHED FLOOR ELEVATION AND THE GRADE SHALL FALL AWAY FROM THE BUILDING A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.



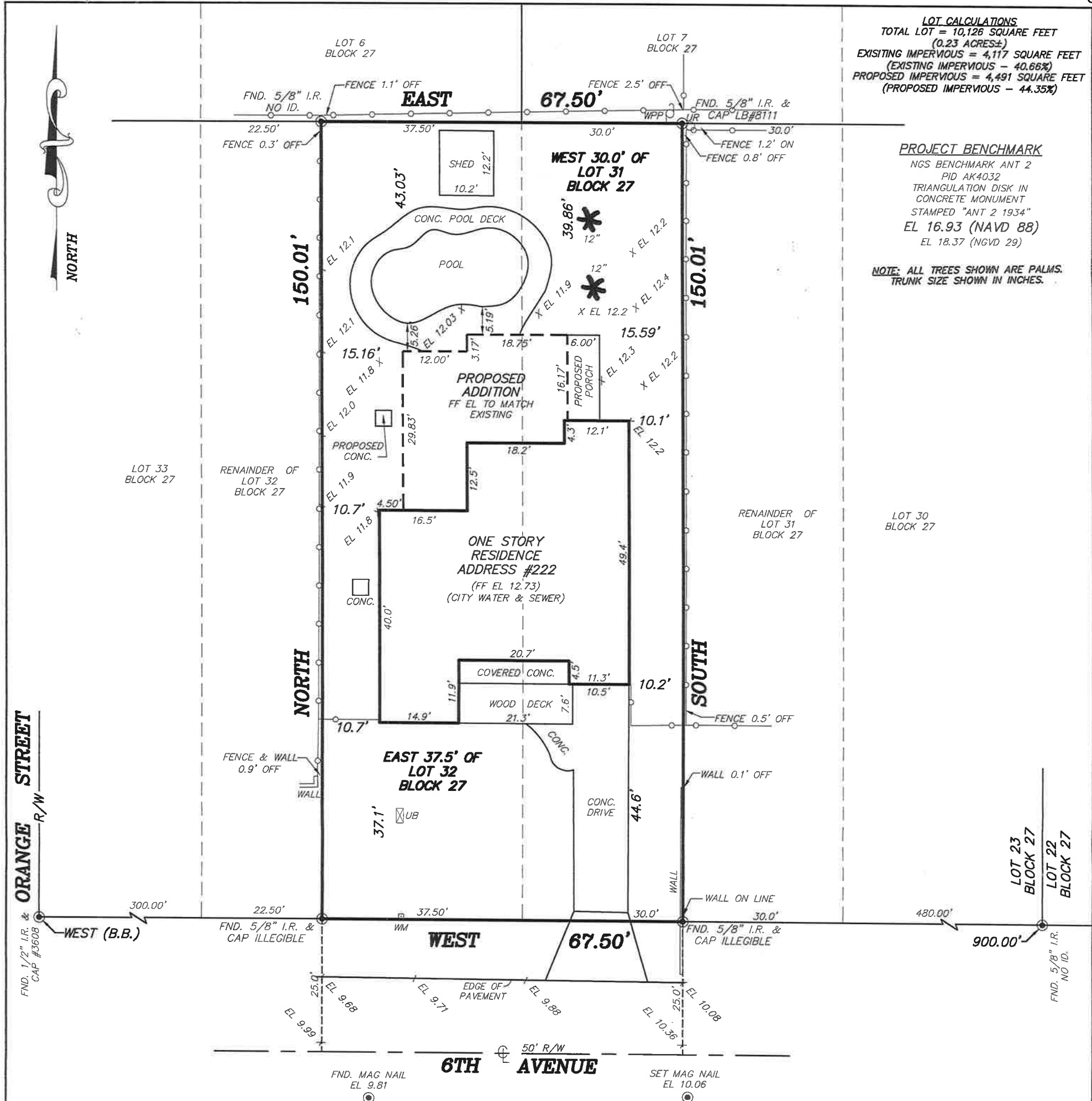
NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		

**Bennett Engineering & Consulting**  
4940 RANCHLAND ROAD  
MELBOURNE, FL 32934  
CLAYTON A. BENNETT  
P.E. NO. 53129  
DATE \_\_\_\_\_  
© 2026 BENNETT ENGINEERING & CONSULTING, LLC.

THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED HERE:  
DATE \_\_\_\_\_

DESIGNED BY:	CAB	DATE	05/18/2026
DRAWN BY:	CAB	DATE	05/18/2026
CHECKED:			
APPROVED:			
ACAD CODE:	26180M01.DWG		
PROJECT NO.:	26.180		

LOT DRAINAGE PLAN  
**C-1**  
SHEET 1 OF 1



**LOT CALCULATIONS**  
 TOTAL LOT = 10,126 SQUARE FEET  
 (0.23 ACRES±)  
 EXISTING IMPERVIOUS = 4,117 SQUARE FEET  
 (EXISTING IMPERVIOUS - 40.66%)  
 PROPOSED IMPERVIOUS = 4,491 SQUARE FEET  
 (PROPOSED IMPERVIOUS - 44.35%)

**PROJECT BENCHMARK**  
 NGS BENCHMARK ANT 2  
 PID AK4032  
 TRIANGULATION DISK IN  
 CONCRETE MONUMENT  
 STAMPED "ANT 2 1934"  
 EL 16.93 (NAVD 88)  
 EL 18.37 (NGVD 29)

**NOTE: ALL TREES SHOWN ARE PALMS.**  
 TRUNK SIZE SHOWN IN INCHES.

**SURVEY PREPARED FOR:**  
 EDWARD DAVENPORT DRAKE AND MARIA ELENA DRAKE

**DESCRIPTION:** WEST 30 FEET OF LOT 31 AND EAST 37.5 FEET OF LOT 32, BLOCK 27, WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 58, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

# AAL LAND SURVEYING SERVICES, INC.

ACCORDING TO FLOOD INSURANCE RATE MAP #12009C 0608 H, DATED JANUARY 29, 2021 THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE X. (NAVD 1988)

**TYPE OF SURVEY:**  
**BOUNDARY**

**SCALE:** 1" = 20'

REVISION: \_\_\_\_\_  
 REVISION: \_\_\_\_\_  
 REVISION: \_\_\_\_\_  
 REVISION: \_\_\_\_\_  
 REVISION: \_\_\_\_\_  
 REVISION: TOPOGRAPHIC/TREE: 04-28-26  
 REVISION: PLOT PLAN 04-08-26

FIELD DATE: 03/20/2026

SECTION 08,  
 TOWNSHIP 28 SOUTH,  
 RANGE 38 EAST

**PROJECT #50897**

- GENERAL NOTES:**
1. THIS SURVEY AND DRAWING HAS BEEN PREPARED TO CONFORM WITH APPLICABLE STANDARD OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES.
  2. THIS SURVEY AND DRAWING IS FOR THE SOLE USE AND BENEFIT OF THE PARTIES NAMED HEREON AND FOR THE SPECIFIC PURPOSE AS NOTED, AND SHOULD NOT BE RELIED UPON BY ANY OTHER ENTITY, AND IS NOT TRANSFERABLE UNDER ANY CIRCUMSTANCES.
  3. THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE SEAL OF THE FLORIDA LICENSED SURVEYOR, AND REPRODUCTION OF THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE SURVEYOR IS HEREBY FORBIDDEN.
  4. NO OPINION OF TITLE OR OWNERSHIP IS HEREBY EXPRESSED OR IMPLIED BY THE SURVEYOR.
  5. THIS SURVEY WAS PREPARED FROM INFORMATION FURNISHED TO THE SURVEYOR BY THE CLIENT, AND MAY BE SUBJECT TO EASEMENTS OR LIMITATIONS EITHER RECORDED OR IMPLIED.
  6. BEARINGS ARE BASED ON AN ASSUMED DATUM AND ON THE LINE SHOWN AS BEING THE BASIS OF BEARINGS.
  7. NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED UNLESS OTHERWISE SHOWN.
  8. ELEVATIONS, IF SHOWN, ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988, UNLESS OTHERWISE NOTED.
  9. "NO WELLS" AND "NO SEPTICS" ARE DEFINITIONS TO SHOW AN ATTEMPT BY THE SURVEYOR TO LOCATE POSSIBLE EXISTING WELLS AND SEPTICS, HOWEVER NONE WERE FOUND USING STANDARD SURVEY LOCATING EQUIPMENT.

**3970 MINTON ROAD, WEST MELBOURNE, FL 32904 L.B. #6623**  
**PHONE: (321)768-8110 FAX: (321)952-9771 EMAIL: frontdesk@aalsurvey.com**

**ANDREW W. POWSHOK**  
 P.L.S. No. 5383

**DANIEL D. GARNER**  
 P.L.S. No. 6189

LEGEND	
BB	- BEARING BASE
(M)	- MEASURED
(P)	- PLAT
(D)	- DEED
IR	- IRON ROD
IP	- IRON PIPE
N&D	- NAIL AND DISC
N&TT	- NAIL AND TIN TAB
C.M.	- CONCRETE MONUMENT
PRM	- PERMANENT REFERENCE MARKER
LB	- LICENSED BUSINESS
PLS	- PROFESSIONAL LAND SURVEYOR
TBM	- TEMPORARY BENCHMARK
FND.	= FOUND
D	= DELTA
R	= RADIUS
L	- ARC LENGTH
CH	- CHORD LENGTH
CB	- CHORD BEARING
PRC	- POINT OF REVERSE CURVE
P.O.L	- POINT ON LINE
R/W	- RIGHT OF WAY
WPP	- WOOD POWER POLE
OHW	- OVERHEAD WIRES
E.P.	- EDGE OF PAVEMENT
P.U.	- PUBLIC UTILITY EASEMENT
D.E.	- DRAINAGE EASEMENT
FPL	- FLORIDA POWER & LIGHT
SSM	- SANITARY MANHOLE
UR	- UTILITY RISER
UB	- UTILITY BOX
CONC.	- CONCRETE
WM	- WATER METER
⊙	- WELL
⊕	- CENTERLINE

# SURFACE WATER MANAGEMENT REPORT

TO

**TOWN OF MELBOURNE BEACH**

FOR

**222 Sixth Ave  
Melbourne Beach, FL 32951**

OWNERS:

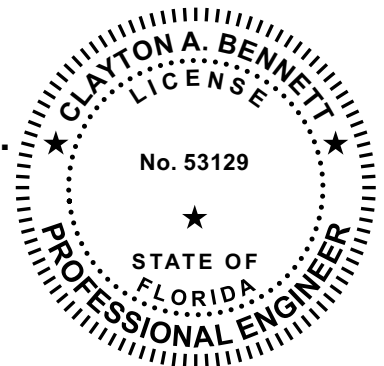
**Edward and Maria Drake**

222 Sixth Ave  
Melbourne Beach, FL 32951

PREPARED BY:

**Bennett Engineering & Consulting, LLC.**

4940 Ranchland Road  
Melbourne, Florida 32934  
Tel/Fax (321) 622-4462  
CA # 28236



BEC No. 26.180

May 21, 2026

This item has been digitally signed and sealed by Clayton A. Bennett, PE on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

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2. Stormwater Attenuation	2
<b>IV. STORMWATER MANAGEMENT SYSTEM MAINTENANCE PLAN</b>	2
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### ENGINEER'S CERTIFICATION

The following drainage calculations for 222 Sixth Ave, Melbourne Beach were prepared by me or under my direct supervision.

\_\_\_\_\_  
Clayton A. Bennett, P.E.  
Fla. Reg. 53129

Date: \_\_\_\_\_

## I. PROJECT OVERVIEW

### A. Existing Conditions

The proposed project is located at 222 6<sup>th</sup> Ave in the Town of Melbourne Beach, Florida. The overall site boundary contains  $\pm 0.23$  acres, more or less. The site is currently developed as a single-family residence.

### B. Proposed Conditions

The proposed project consists of the substantial building addition to the existing single-family residence. A stormwater management system has been proposed to retain the runoff from the 10-year/24-hour storm event, consisting of 8-inches of rainfall, from the site in accordance with the Town Criteria (Section 3A-30). The proposed improvements fall below the permit requirement thresholds of the SJRWMD Applicants Handbook Sec. 3.2.2 (a).

## II. SOILS INFORMATION

Pursuant to the NRCS Brevard County Soil Survey, the site soils landward of the top of dune consist of Canaveral-Palm Beach-Urban land complex which has a very high permeability rate. The said soil has a reported typical Ksat of 20 to 50 in/hr. A copy of the NRCS soils report has been included in Appendix C for informational purposes only.

For the stormwater management design, Ksat was assumed to be 10 in/hr by applying a factor of safety of 2 to the lower permeability range noted in the NRCS soils report.

## III. STORMWATER MANAGEMENT PLAN

### A. Existing Conditions

The rate of runoff was not computed as the Town requires the retention of the 10-year/24-hour storm event.

### B. Proposed Conditions

A normally dry retention basin is proposed to retain the runoff from the 10-year/24-hour storm event consisting of 8-inches of rainfall.

A gutter and downspout will be utilized to collect the stormwater runoff from the southeast corner of the roof. The existing driveway is to remain. As such, it is impractical to collect the stormwater runoff from the said driveway and convey the runoff to the stormwater retention basin. Likewise, it is impractical to collect and convey the stormwater runoff from the southeast side yard to the stormwater retention basin.

#### 1. Area information

Basin 1 =  $\pm 8,126$  sf

## 2. Stormwater Attenuation

The proposed stormwater management system is designed to retain the runoff from the 10-yr/24-hr storm event site area using the computer model HydroCAD. The results of the HydroCAD model are provided in Appendix B. The following summarizes the results of the HydroCAD analysis for the 10-yr/-24hr storm event:

<u>Basin</u>	<u>Peak Stage</u>	<u>Top of Swale El.</u>	<u>Pre-Dev. Discharge</u>	<u>Post Dev. Discharge</u>
Basin 1	11.56 ft	11.7 ft	N/A	0.0

## IV. STORMWATER MANAGEMENT SYSTEM MAINTENANCE PLAN

The stormwater management system for this project consists of normally dry retention basins. This system has been designed within the restrictions of the site and with the intent of satisfying the stormwater treatment requirements of the Town of Melbourne Beach stormwater management code. In order for the system to function properly, it must be maintained. The following maintenance and monitoring program shall be followed:

- Storm water retention basins shall be maintained and free of sand build up and debris, which could cause clogging and a reduction of storage volume.
- Grassed areas are to be maintained to avoid bare earth conditions where erosion could occur.
- Grass clippings are to be bagged and properly disposed of.
- The storm pipe(s) shall be maintained and free of obstruction.

# **APPENDIX A**

## **STORMWATER MANAGEMENT PLAN**

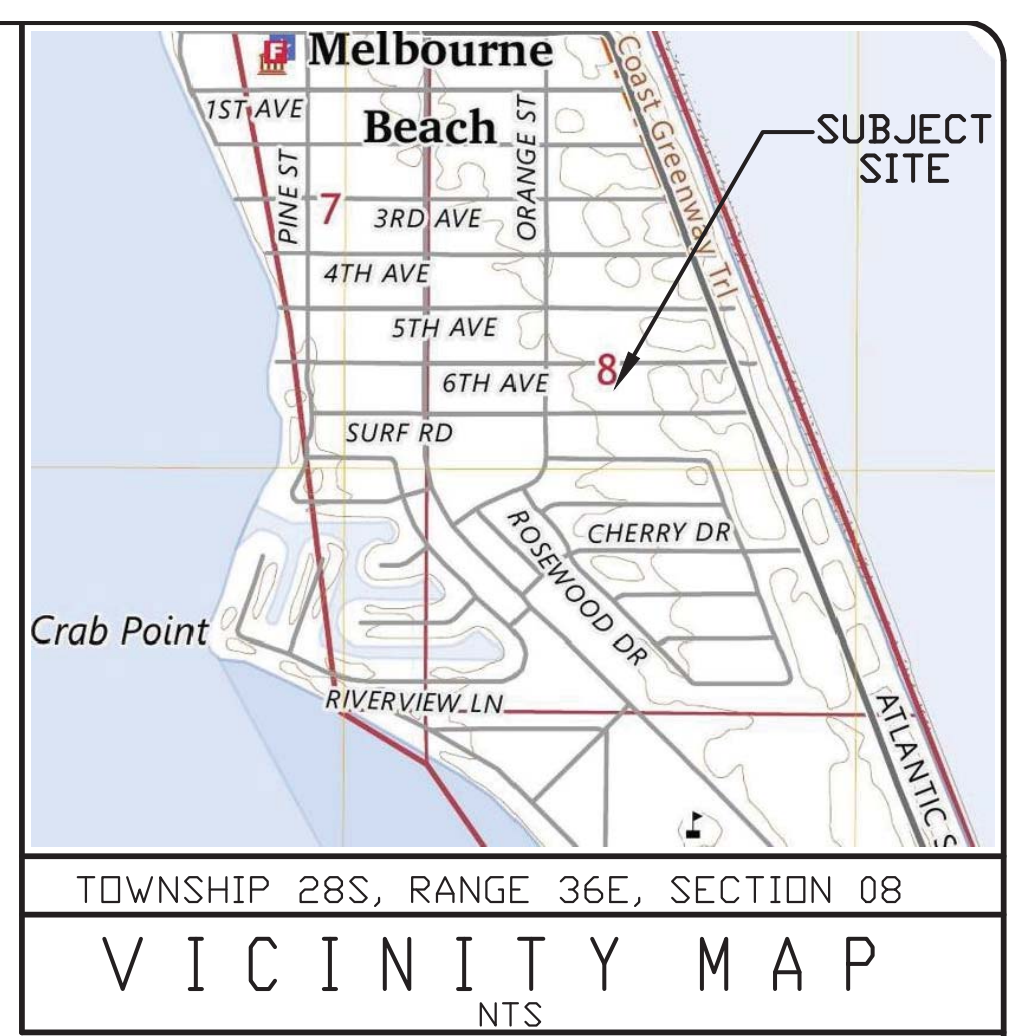
AREA OF ALTERATION = 0.23 ACRES

TYPE "A" LOT DRAINAGE (REAR TO FRONT)

NO FILL OR CONSTRUCTION MATERIALS MAY BE PLACED OUTSIDE OF THE SILT FENCING.



**EROSION NOTES:**  
BEST MANAGEMENT PRACTICES SHALL BE UTILIZED TO MINIMIZE ANY ON SITE EROSIONS. IN ADDITION TO BEST MANAGEMENT PRACTICES, AS A MINIMUM, SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE DEVELOPMENT AREA TO MINIMIZE SEDIMENTATION FROM LEAVING THE SITE.



SCALE: 1"=20'

DRAKE EDWARD DAVENPORT;  
DRAKE, MARIA ELENA  
222 6TH AVE  
MELBOURNE BEACH FL 32951

DRAKE RESIDENCE  
222 6TH AVE

**GENERAL STATEMENT:**

THIS LOT DRAINAGE PLAN HAS BEEN PREPARED FOR A BUILDING ADDITION TO THE EXISTING SINGLE-FAMILY RESIDENCE ON THE SUBJECT LOT.

**OWNER:**  
DRAKE, EDWARD DAVENPORT; DRAKE, MARIA ELENA  
222 6TH AVE  
MELBOURNE BEACH FL 32951

**ENGINEER:**  
BENNETT ENGINEERING & CONSULTING, LLC  
4940 RANCHLAND ROAD  
MELBOURNE, FLORIDA 32934  
(321) 622-4462

**SURVEYOR:**  
AAL LAND SURVEYING SERVICES, INC.  
3970 MINTON ROAD,  
WEST MELBOURNE, FL 32904  
(321) 768-8110

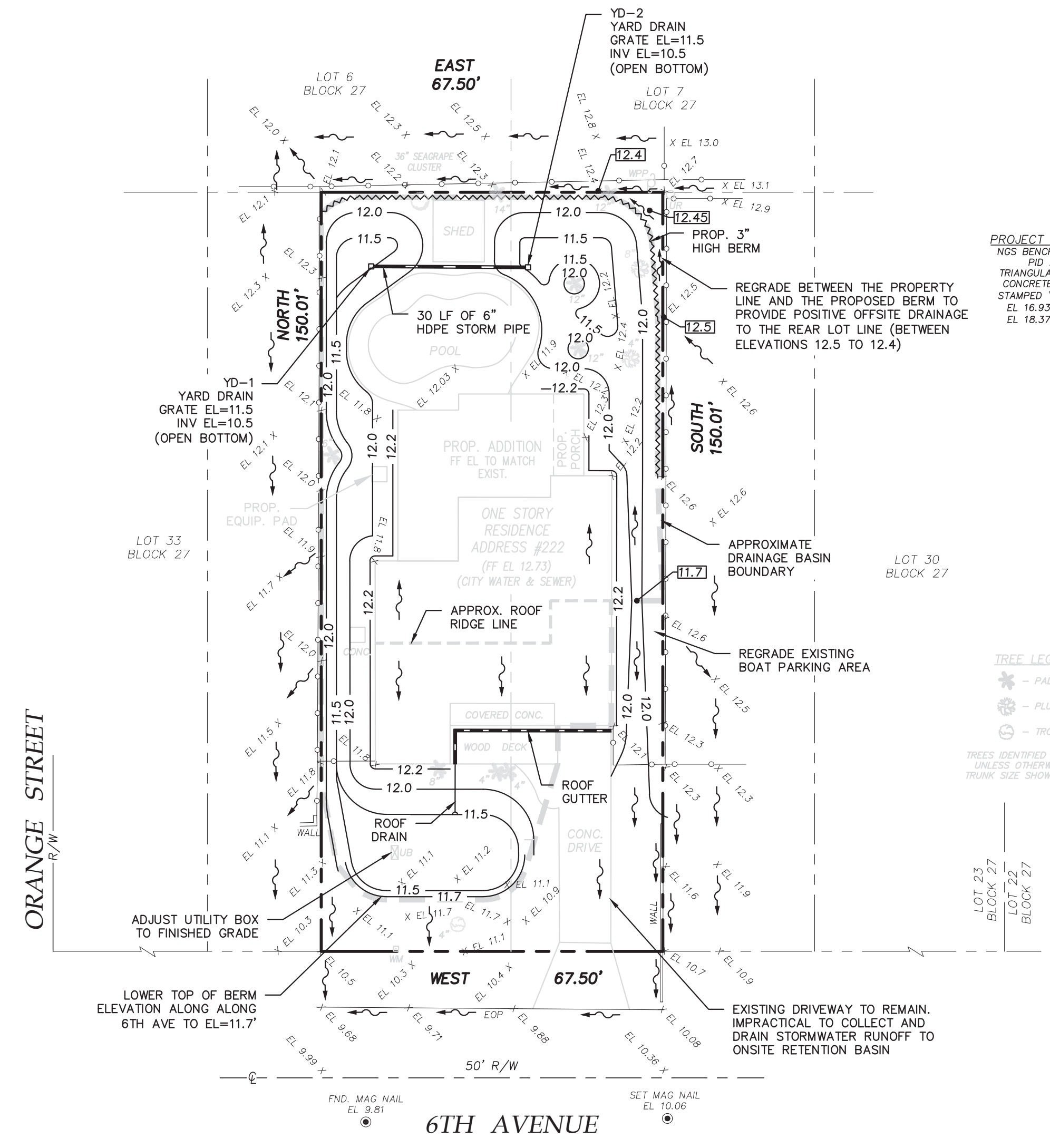
**SITE ADDRESS:**  
222 6TH AVE  
MELBOURNE BEACH FL 32951

**PARCEL ID:** 28-38-08-FY-27-31

**ACCOUNT NO.:** 2848021

**SITE AREA:** SITE AREA = ±0.23 (±10,126)

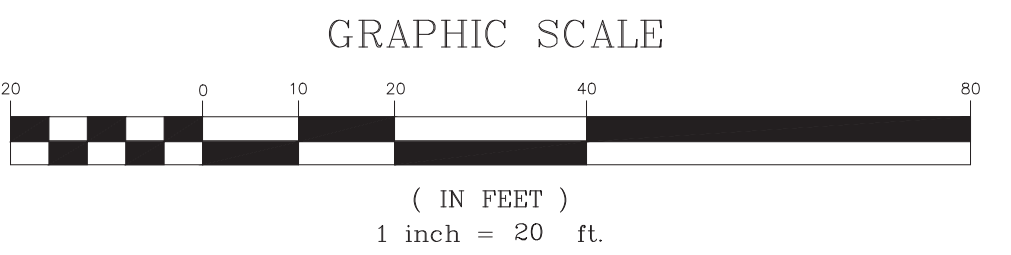
**NATIONAL FLOOD INSURANCE INFORMATION:**  
(AS PROVIDED ON THE SURVEY)  
MAP NO. 12009C0608H  
FIRM INDEX DATE: JANUARY 29, 2021  
FLOOD ZONES: "X"



**PROJECT BENCHMARK**  
NGS BENCHMARK ANT 2  
PID AK4032  
TRIANGULATION DISK IN  
CONCRETE MONUMENT  
STAMPED "ANT 2 1934"  
EL 16.93 (NAVD 88)  
EL 16.37 (NGVD 29)

**TREE LEGEND**  
- PALM  
- FLAMERIA  
- TROPICAL  
TREES IDENTIFIED PER LEGEND  
UNLESS OTHERWISE NOTED.  
TRUNK SIZE SHOWN IN INCHES.

**LEGEND:**  
X EL 10.9 EXISTING GRADE ELEVATION  
12.4 PROPOSED GRADE ELEVATION  
11.5 PROPOSED ELEVATION CONTOUR LINE  
~ PROPOSED FLOW DIRECTION  
--- APPROXIMATE DRAINAGE BASIN BOUNDARY



- GENERAL NOTES**
- PROPOSED BUILDING ENVELOPE INDICATES MAXIMUM EXTERIOR WALL DIMENSIONS ONLY.
  - BOUNDARY, TOPOGRAPHIC INFORMATION WAS PROVIDED BY AAL LAND SURVEYING SERVICES, INC., JOB NO. 50897, DATED 05/07/26.
  - ELEVATIONS ARE BASED ON NAVD, 1988 DATUM.
  - CONTOURS ARE APPROXIMATE ONLY.
  - THE SOLID WASTE WITHIN THE PROJECT SITE WILL BE PICKED UP BY CURBSIDE PICKUP.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED WITHIN ROAD AND DRAINAGE RIGHT-OF-WAY AS A DIRECT RESULT OF NEW CONSTRUCTION.
  - THE CONTRACTOR SHALL CONTACT SUNSHINE ONE (1-800-432-4770) AND ALL CONCERNED UTILITIES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS.
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND DOCUMENT THE ACTUAL LOCATION AND EXTENT OF ALL EXISTING UTILITIES WHICH MAY AFFECT CONSTRUCTION. EXISTING UTILITIES SHOWN ARE BASED UPON THE BEST AVAILABLE INFORMATION SUPPLIED TO THE OWNER/ENGINEER AND IS SHOWN FOR INFORMATIONAL PURPOSE ONLY. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE UTILITY OWNER.

**FINISHED FLOOR ELEVATION:**

MATCH EXISTING HOUSE FFE:  
EXISTING HOUSE FFE = 12.73  
HEIGHT ABOVE CROWN OF ROAD  
12.73' - 10.36' = 2.37 FEET

FEMA:  
FLOOD ZONE "X", NO ADDITIONAL FLOOD REQUIREMENTS

**GRADING NOTES**

- IMPERVIOUS PAVEMENT ADJACENT TO THE BUILDING SHALL SLOPE AWAY FROM THE BUILDING A MINIMUM OF 2% FOR THE FIRST 10 FEET.
- THE FINISHED PAVEMENT GRADE ADJACENT TO THE GARAGE DOOR(S) SHALL BE SET 1/2" BELOW THE ADJACENT GARAGE SLAB ELEVATION AND BE SLOPED AWAY FROM THE GARAGE AT A MINIMUM OF A 2% SLOPE FOR 10 FEET.
- FINISHED EARTH GRADES ADJACENT TO THE BUILDING SHALL BE A MINIMUM OF 6" BELOW THE FINISHED FLOOR ELEVATION AND THE GRADE SHALL FALL AWAY FROM THE BUILDING A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.

NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		

**BEC Bennett Engineering & Consulting**  
4940 RANCHLAND ROAD  
MELBOURNE, FL 32934  
CLAYTON A. BENNETT  
P.E. NO. 53129  
DATE  
© 2026 BENNETT ENGINEERING & CONSULTING, LLC.

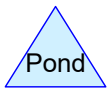
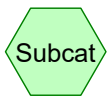
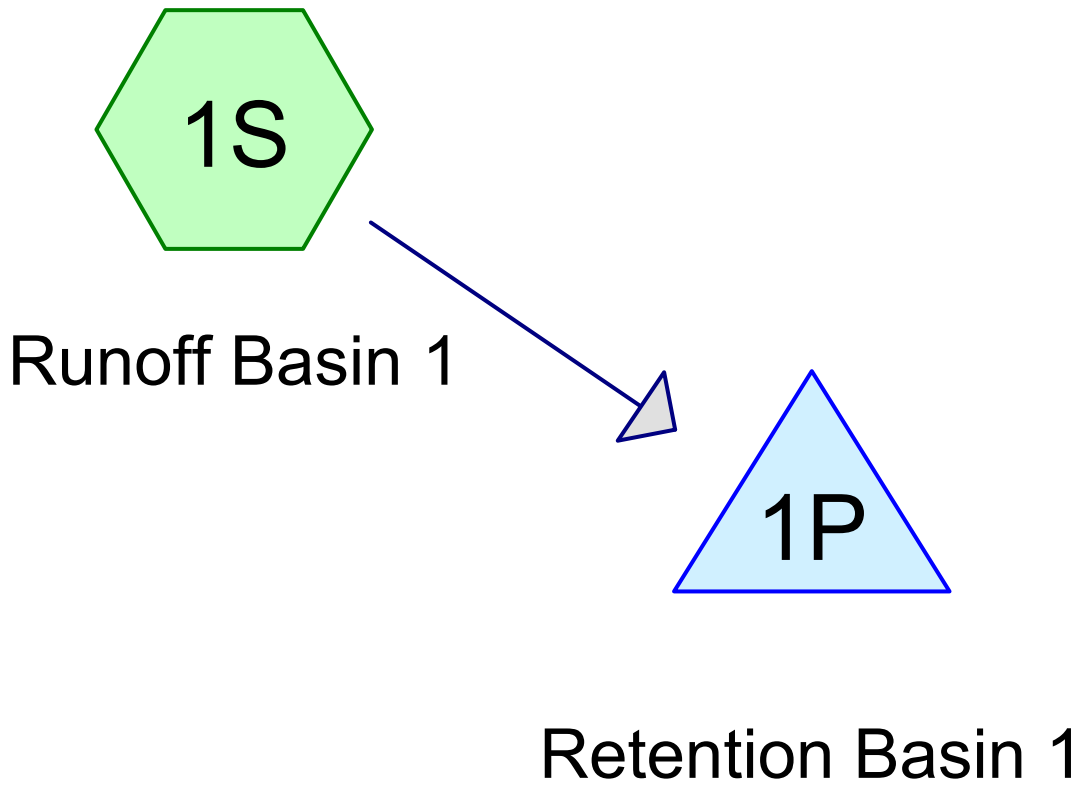
THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED HERE:  
DATE

DESIGNED:	CAB	DATE	05/18/2026
DRAWN BY:	CAB		05/18/2026
CHECKED:			
APPROVED:			
ACAD CODE:	26180M01.DWG		
PROJECT NO.:	26.180		

LOT DRAINAGE PLAN  
**C-1**  
SHEET 1 OF 1

# **APPENDIX B**

## **POST DEVELOPMENT STORMWATER CALCULATIONS**



**Post-01**

Prepared by Bennett Engineering & Consulting, LLC  
HydroCAD® 10.10-4b s/n 08593 © 2020 HydroCAD Software Solutions LLC

Printed 5/21/2026

Page 2

**Rainfall Events Listing (selected events)**

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	10y-24h	Type II FL 24-hr		Default	24.00	1	8.00	2

Post-01

Prepared by Bennett Engineering & Consulting, LLC  
 HydroCAD® 10.10-4b s/n 08593 © 2020 HydroCAD Software Solutions LLC

Type II FL 24-hr 10y-24h Rainfall=8.00"

Printed 5/21/2026

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Summary for Subcatchment 1S: Runoff Basin 1

Runoff = 0.59 cfs @ 12.19 hrs, Volume= 0.076 af, Depth> 4.91"

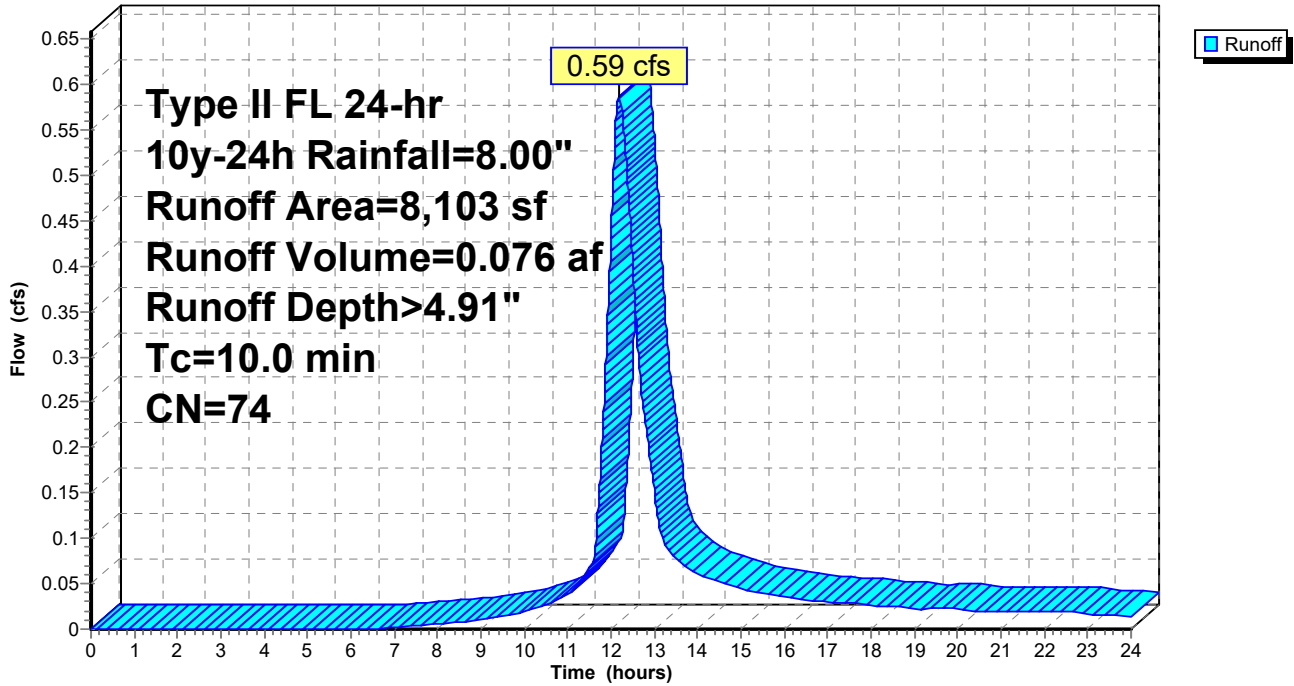
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
 Type II FL 24-hr 10y-24h Rainfall=8.00"

Area (sf)	CN	Description
* 738	100	Retention Swale
* 3,093	98	Roof, Paved parking, HSG A
* 803	98	Pool and Deck
* 18	98	Equipment pad
* 124	98	Shed
3,327	39	>75% Grass cover, Good, HSG A
8,103	74	Weighted Average
3,327		41.06% Pervious Area
4,776		58.94% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 1S: Runoff Basin 1

Hydrograph



**Post-01**

Prepared by Bennett Engineering & Consulting, LLC  
 HydroCAD® 10.10-4b s/n 08593 © 2020 HydroCAD Software Solutions LLC

Type II FL 24-hr 10y-24h Rainfall=8.00"

Printed 5/21/2026

Page 4

**Summary for Pond 1P: Retention Basin 1**

Inflow Area = 0.186 ac, 58.94% Impervious, Inflow Depth > 4.91" for 10y-24h event  
 Inflow = 0.59 cfs @ 12.19 hrs, Volume= 0.076 af  
 Outflow = 0.58 cfs @ 12.22 hrs, Volume= 0.076 af, Atten= 1%, Lag= 2.2 min  
 Discarded = 0.58 cfs @ 12.22 hrs, Volume= 0.076 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
 Peak Elev= 11.56' @ 12.22 hrs Surf.Area= 911 sf Storage= 52 cf

Plug-Flow detention time= 0.7 min calculated for 0.076 af (100% of inflow)  
 Center-of-Mass det. time= 0.7 min ( 834.0 - 833.3 )

Volume	Invert	Avail.Storage	Storage Description
#1	11.50'	792 cf	Custom Stage Data (Irregular) Listed below (Recalc)

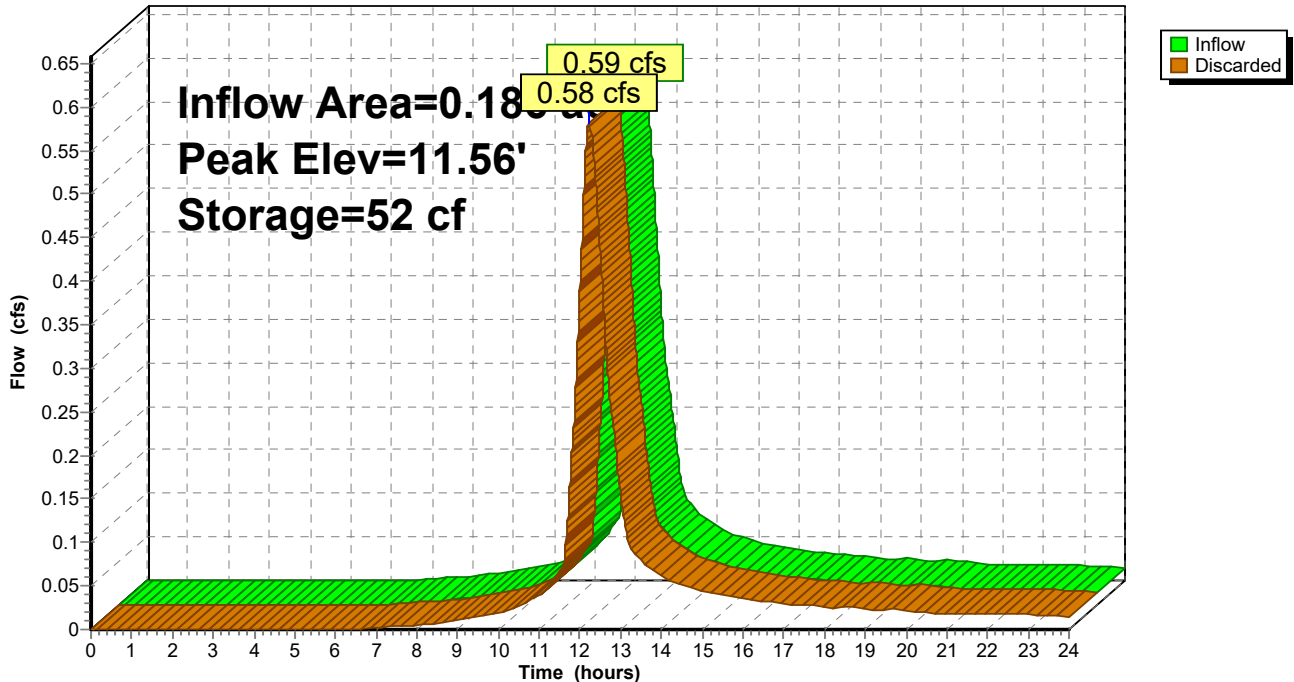
Elevation (feet)	Surf.Area (sq-ft)	Perim. (feet)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)
11.50	738	320.0	0	0	738
12.00	2,621	577.0	792	792	19,084

Device	Routing	Invert	Outlet Devices
#1	Discarded	11.50'	10.000 in/hr Exfiltration over Wetted area Conductivity to Groundwater Elevation = 9.50'

Discarded OutFlow Max=0.58 cfs @ 12.22 hrs HW=11.56' (Free Discharge)  
 ↳1=Exfiltration ( Controls 0.58 cfs)

**Pond 1P: Retention Basin 1**

Hydrograph



# APPENDIX C

## Soils Report

Prepared by: NRCS

*Soils report included for informational purposes only and  
Not part of the Engineer's Certification*



A product of the National Cooperative Soil Survey, a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local participants

# Custom Soil Resource Report for Brevard County, Florida

## Drake Residence



# Preface

---

Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist ([http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2\\_053951](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951)).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

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# Contents

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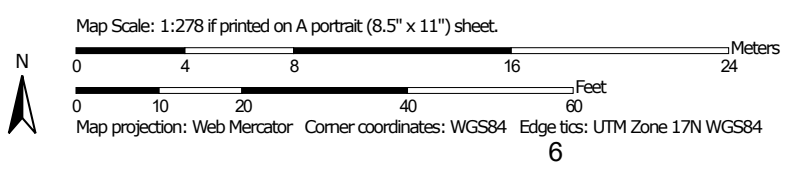
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## Soil Map

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The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.


# Custom Soil Resource Report Soil Map



Custom Soil Resource Report

**MAP LEGEND**

**Area of Interest (AOI)**

 Area of Interest (AOI)




















**Soils**







 Soil Map Unit Polygons

 Soil Map Unit Lines


 Soil Map Unit Points

**Special Point Features**






-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features

**Water Features**

 Streams and Canals

**Transportation**

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

**Background**

 Aerial Photography

**MAP INFORMATION**

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Brevard County, Florida  
 Survey Area Data: Version 25, Sep 2, 2025

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jan 19, 2022—Mar 2, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
25	Canaveral-Palm Beach-Urban land complex	0.2	100.0%
<b>Totals for Area of Interest</b>		<b>0.2</b>	<b>100.0%</b>

## Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

## Custom Soil Resource Report

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

## Brevard County, Florida

### 25—Canaveral-Palm Beach-Urban land complex

#### Map Unit Setting

*National map unit symbol:* 1lg35  
*Landscape:* Coastal plains  
*Elevation:* 10 to 20 feet  
*Mean annual precipitation:* 49 to 57 inches  
*Mean annual air temperature:* 68 to 75 degrees F  
*Frost-free period:* 350 to 365 days  
*Farmland classification:* Not prime farmland

#### Map Unit Composition

*Canaveral and similar soils:* 31 percent  
*Palm beach and similar soils:* 30 percent  
*Urban land:* 29 percent  
*Minor components:* 10 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Canaveral

##### Setting

*Landscape:* Coastal plains  
*Landform:* Ridges on marine terraces, Flats on marine terraces  
*Landform position (three-dimensional):* Interfluve  
*Down-slope shape:* Convex  
*Across-slope shape:* Linear  
*Parent material:* Sandy marine deposits

##### Typical profile

*A - 0 to 6 inches:* sand  
*C - 6 to 12 inches:* sand  
*C - 12 to 80 inches:* coarse sand

##### Properties and qualities

*Slope:* 0 to 2 percent  
*Depth to restrictive feature:* More than 80 inches  
*Drainage class:* Somewhat poorly drained  
*Runoff class:* Low  
*Capacity of the most limiting layer to transmit water (Ksat):* Very high (19.98 to 50.02 in/hr)  
*Depth to water table:* About 12 to 36 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Calcium carbonate, maximum content:* 15 percent  
*Maximum salinity:* Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)  
*Sodium adsorption ratio, maximum:* 6.0  
*Available water supply, 0 to 60 inches:* Very low (about 1.4 inches)

##### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 6s  
*Hydrologic Soil Group:* A/D  
*Ecological site:* R155XY170FL - Sandy Coastal Grasslands and Forests

## Custom Soil Resource Report

*Forage suitability group:* Forage suitability group not assigned (G156BC999FL)

*Other vegetative classification:* Forage suitability group not assigned (G156BC999FL)

*Hydric soil rating:* No

**Description of Palm Beach****Setting**

*Landscape:* Coastal plains

*Landform:* Flats on marine terraces

*Landform position (three-dimensional):* Talf

*Down-slope shape:* Convex

*Across-slope shape:* Linear

*Parent material:* Shells and sandy marine deposits

**Typical profile**

*A - 0 to 3 inches:* sand

*C - 3 to 80 inches:* sand

**Properties and qualities**

*Slope:* 0 to 2 percent

*Depth to restrictive feature:* More than 80 inches

*Drainage class:* Excessively drained

*Runoff class:* Negligible

*Capacity of the most limiting layer to transmit water (Ksat):* Very high (19.98 to 50.02 in/hr)

*Depth to water table:* More than 80 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Calcium carbonate, maximum content:* 30 percent

*Maximum salinity:* Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)

*Sodium adsorption ratio, maximum:* 4.0

*Available water supply, 0 to 60 inches:* Very low (about 1.8 inches)

**Interpretive groups**

*Land capability classification (irrigated):* None specified

*Land capability classification (nonirrigated):* 7s

*Hydrologic Soil Group:* A

*Ecological site:* R155XY230FL - Sandy Scrub on Ridges, Knolls, and Dunes of Xeric Uplands

*Forage suitability group:* Forage suitability group not assigned (G156BC999FL)

*Other vegetative classification:* Forage suitability group not assigned (G156BC999FL)

*Hydric soil rating:* No

**Description of Urban Land****Setting**

*Landscape:* Coastal plains

*Landform:* Marine terraces

*Landform position (three-dimensional):* Interfluve, talf

*Down-slope shape:* Linear

*Across-slope shape:* Linear

*Parent material:* No parent material

**Interpretive groups**

*Land capability classification (irrigated):* None specified

## Custom Soil Resource Report

*Ecological site:* R155XY170FL - Sandy Coastal Grasslands and Forests  
*Forage suitability group:* Forage suitability group not assigned (G156BC999FL)  
*Other vegetative classification:* Forage suitability group not assigned (G156BC999FL)  
*Hydric soil rating:* Unranked

**Minor Components****Paola**

*Percent of map unit:* 4 percent  
*Landscape:* Coastal plains  
*Landform:* Rises on marine terraces, Flats on marine terraces  
*Landform position (three-dimensional):* Interfluve  
*Down-slope shape:* Convex  
*Across-slope shape:* Linear  
*Ecological site:* R155XY230FL - Sandy Scrub on Ridges, Knolls, and Dunes of Xeric Uplands  
*Other vegetative classification:* Sand Pine Scrub (R155XY001FL), Forage suitability group not assigned (G156BC999FL)  
*Hydric soil rating:* No

**Pomello**

*Percent of map unit:* 3 percent  
*Landscape:* Coastal plains  
*Landform:* Rises on marine terraces, Flats on marine terraces  
*Landform position (three-dimensional):* Interfluve  
*Down-slope shape:* Convex  
*Across-slope shape:* Linear  
*Ecological site:* F155XY150FL - Sandy Flatwoods and Hammocks on Rises and Knolls of Mesic Uplands  
*Other vegetative classification:* Sand Pine Scrub (R155XY001FL), Forage suitability group not assigned (G156BC999FL)  
*Hydric soil rating:* No

**Welaka**

*Percent of map unit:* 3 percent  
*Landscape:* Coastal plains  
*Landform:* Rises on marine terraces  
*Landform position (three-dimensional):* Interfluve  
*Down-slope shape:* Convex  
*Across-slope shape:* Linear  
*Ecological site:* R155XY180FL - Sandy Scrub on Rises, Ridges, and Knolls of Mesic Uplands  
*Other vegetative classification:* Sand Pine Scrub (R155XY001FL), Forage suitability group not assigned (G156BC999FL)  
*Hydric soil rating:* No

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## Planning and Zoning Meeting

**Section:** Old Business  
**Meeting Date:** June 2, 2026  
**From:** Building Department  
**RE:** Discussion on the proposed Chapter 9A: Landscaping and Trees ordinance

### Background Information:

The Planning & Zoning Board was tasked with reviewing the landscaping and trees ordinance.

### Recommendation:

Continue discussion of changes to the ordinance.

### Attachments:

- Existing vs. Proposed Document – Pages 66-83

## CHAPTER 9A: LANDSCAPING AND TREES

## Section

## Article I. Landscaping

9A-1 Definition

9A-2 Intent

9A-3 Applicability

9A-4 Permit required for cutting down tree

9A-5 Application for permit; review of application

9A-6 On-site inspection

9A-7 Minimum tree plantings

9A-8 Tree protection

9A-9 Trees on public lands

9A-10 Exceptions

9A-11 Reserved

9A-12 Penalty

9A-13 – 9A-99 Reserved

## ARTICLE I. LANDSCAPING

**EXISTING**

## § 9A-1. DEFINITION.

For the purpose of this article the following definitions shall apply unless the context clearly indicates or requires a different meaning.

**YARD AREA.** The front, side and rear yard areas as established and required by Chapter 7A.

(75 Code, § 22-17) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17)

**PROPOSED**

## § 9A-1. DEFINITION.

For the purpose of this article the following definitions shall apply unless the context clearly indicates or requires a different meaning.

**TREE.** A Florida native tree species with a trunk diameter of four inches (4") diameter at breast height (dbh) or greater, and a native palm with a minimum clear trunk height of eight feet (8').

**YARD AREA.** The front, side and rear yard areas as established and required by Chapter 7A.

(75 Code, § 22-17) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17)

## EXISTING

### § 9A-2. INTENT.

The intent of this article is to preserve trees whenever and wherever they exist and to provide trees wherever they are sparse or do not exist, thus enhancing the health, welfare and beautification of the Town. The intent of the article also includes the encouragement of “Florida Friendly Landscaping” as defined by § 375.185(b), Fl. Stat. and “Florida Native Landscaping” as defined by the University of Florida’s Institute of Food and Agricultural Sciences (IFAS).

(`75 Code, § 22-16) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17)

## PROPOSED

### § 9A-2. INTENT.

The intent of this article is to define Florida native and invasive plant species, establish provisions for the preservation and replacement of native species and removal of invasive species, and to provide a procedure for Town review and approval of tree removal applications and landscape development applications.

The intent of this article is also to preserve Florida native trees whenever and wherever they exist and to provide trees wherever they are sparse or do not exist, thus enhancing the health, welfare and beautification of the Town. The intent of the article also includes the encouragement of “Florida Friendly Landscaping” as defined by § 375.185(b), Fl. Stat. and “Florida Native Landscaping” as defined by the University of Florida’s *Institute of Food and Agricultural Sciences (IFAS)*.

Landscaping and trees benefit the Town by performing the following functions:

- Improve air quality through the absorption of carbon dioxide and release of oxygen to the atmosphere.
- Remove dust and other particulates from the air.
- Provide wildlife habitat, particularly for birds which, in turn, help control insects.
- Provide soil stabilization, which reduces erosion and mitigates the effect of flooding.
- Provide shade to conserve energy, reduce glare, modulate temperature and reduce heat island effects.
- Provide barrier to ground-level wind speeds during tropical storms and hurricanes
- Enhance the Town's attractiveness.
- Provide attractive buffering between different land uses.
- Reduce noise and surface water runoff.
- Maintain preservation of native ecosystems for future generations.

(`75 Code, § 22-16) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17)

## EXISTING – No Changes

### § 9A-3. APPLICABILITY.

The terms and provisions of this article shall apply to all real property in all zoning districts.

(`75 Code, § 22-18) (Ord. 75-3, passed 5-27-75; Am. Ord. 87-13, passed 9-22-87; Am. Ord. 2017-05, adopted 12-20-17)

## EXISTING

### § 9A-4. PERMIT REQUIRED FOR CUTTING DOWN TREE.

No person, organization, society, association or corporation, or any agent or representative thereof, directly or indirectly, shall cut down, destroy, remove, move or effectively destroy through damaging any tree situated on property in any zoning district without first obtaining a permit as herein provided. Tree removal on any property in any zoning district shall be in accordance with the standards mandated in the most recent edition of the Best Management Practices - Tree Risk Assessment published by the International Society of Arboriculture or a certification from an arborist certified by the International Society of Arboriculture or a Florida licensed landscape architect as to substantial compliance with such standards. Any tree which poses an unacceptable risk may qualify for removal without a permit pursuant to Fla. Stat. § 163.045 or as such section may be amended

(`75 Code, § 22-19(a)) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17; Ord. 2023-01, adopted 3-15-23)

## PROPOSED

### § 9A-4. PERMIT REQUIRED FOR ~~CUTTING DOWN~~ TREE REMOVAL

No person, organization, society, association or corporation, or any agent or representative thereof, directly or indirectly, shall cut down, destroy, remove, move or effectively destroy through damaging any native Tree or cluster of Trees including palm trees, scrub oak or sand live oak of any size, as defined herein, situated on property in any zoning district without first obtaining a permit as herein provided. Tree removal on any property in any zoning district shall be in accordance with the standards mandated in the most recent edition of the *Best Management Practices - Tree Risk Assessment* published by the International Society of Arboriculture or a certification from an arborist certified by the International Society of Arboriculture or a Florida licensed landscape architect as to substantial compliance with such standards. Any tree which poses an unacceptable risk may qualify for removal without a permit pursuant to Fla. Stat. § 163.045 or as such section may be amended

(`75 Code, § 22-19(a)) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17; Ord. 2023-01, adopted 3-15-23)

## EXISTING

### § 9A-5. APPLICATION FOR PERMIT; REVIEW OF APPLICATION.

(a) Application. Permits for removal, relocation, or replacement of trees covered herein, shall be obtained by making application for a permit to the Building Official. The application shall be accompanied by a written statement indicating the reason for removal, relocation, or replacement of trees and two copies of a legible site plan drawn to a minimum scale of one inch equals 20 feet, indicating the following:

(1) Location of all existing or proposed structures, improvements, and sites used, properly dimensioned and referenced to property lines, setback, and yard requirements;

(2) Location of existing or proposed utility services, when known;

(3) The location of all trees on the site designating the trees to be retained, removed, relocated, or replaced. Groups of trees in close proximity may be designated as clumps of trees with the predominant type and estimated number and average diameter noted. Only those trees to be removed, relocated, or replaced must be named (common or botanical name) on the site plan;

(4) The tree information required above shall be summarized in legend form on the plan and shall include the reason for the proposed removal, relocation, or replacement; and

(5) An application involving developed properties may be based on drawings showing only that portion of the site directly involved, and adjacent structures and landscaping or natural growth incidental thereto.

(b) Application review. Upon receipt of a proper application, the Building Official shall review the application, which will include a field check of the site and referral of the application to others concerned as necessary, to determine any adverse effect upon the general public welfare, adjacent properties, or Town services and facilities.

(`75 Code, § 22-19(b), (c)) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23) Penalty, see § 9A-12

## PROPOSED

### § 9A-5. APPLICATION FOR PERMIT; REVIEW OF APPLICATION.

(a) Application. Permits for removal, relocation, or replacement of trees covered herein, shall be obtained by making application for a permit to the Building Official. The application shall be accompanied by a written statement indicating the reason for removal, relocation, or replacement of trees and two copies of a legible site plan drawn to a minimum scale of one inch (1") equals 20 twenty feet (20'), indicating the following and including a tree survey accurately locating the trees in relationship to other improvements and including a legend identifying the type and size of trees:

(1) Location of all existing or proposed structures, improvements, and sites used, properly dimensioned and referenced to property lines, setback, and yard requirements;

(2) Location of existing or proposed utility services and drainage plan;

(3) The location of all trees on the site designating the trees to be retained, removed, relocated, or replaced. Groups of trees in close proximity may be designated as clumps of trees with the predominant type and estimated number and average diameter noted. Only those trees to be removed, relocated, or replaced must be named (common or botanical name) on the site plan;

(4) The tree information required above shall be summarized in legend form on the plan and shall include the reason for the proposed removal, relocation, or replacement; and

(5) An application involving developed properties may be based on drawings showing only that portion of the site directly involved, and adjacent structures and landscaping or natural growth incidental thereto.

(b) Application review. Upon receipt of a ~~proper~~ complete application, the Building Official shall review the application, which will include a field check of the site and referral of the application to ~~others concerned~~ other departments including planning and engineering as necessary, to determine any adverse effect upon the general public welfare, adjacent properties, or Town services and facilities.

(`75 Code, § 22-19(b), (c)) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23) Penalty, see § 9A-12

## EXISTING

### § 9A-6. ON-SITE INSPECTION.

(a) On-site inspection. Prior to the issuance of a permit for tree removal or relocation, the Building Official or his agent shall conduct an on-site inspection to determine whether or not such a removal or relocation conforms to the requirements of this chapter.

(b) Issuance.

(1) Removal. No permit shall be issued for tree removal unless one of the following conditions exists:

a. The tree is located in a buildable area or yard where a structure or improvements may be placed where inability to remove the tree would unreasonably restrict the permitted use of the property and the tree removal has been authorized by the Town as part of a site plan review;

b. The tree cannot be relocated on or off the site because of age, type, or size of tree;

c. The tree is diseased, dead, injured, in danger of falling, too close to existing or proposed structures, interferes with utility service, creates unsafe vision clearance, or conflicts with other ordinances or regulations; or

d. It is in the welfare of the general public that the tree be removed for a reason other than set forth above.

(2) Relocation or replacement. As a condition to the granting of a permit, the applicant may be required, where practical, to relocate the tree being removed or be required to replace the tree being removed with a tree somewhere within the site of the type that will attain an overall height of at least twelve feet (12') and have a trunk caliper of at two inches (2") at planting, measured four and one-half feet (4.5') above grade. The green areas left after all building and parking lot requirements have been met shall contain a tree density equal to or greater than that existing on the overall site before the beginning of construction.

(75 Code, § 22-19(d)) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23) Penalty, see § 9A-12

## PROPOSED

### § 9A-6. ~~ON-SITE INSPECTION~~ CRITERIA FOR TREE REMOVAL PERMITTING.

(a) On-site inspection. Prior to the issuance of a permit for tree removal or relocation (and prior to issuance of a certificate of occupancy in the case of new construction), the Building Official or his agent shall conduct an on-site inspection to determine whether or not such a removal or relocation conforms to the requirements of this chapter.

(b) Issuance.

(1) Removal. No permit shall be issued for tree removal unless one of the following conditions exists:

a. The tree is located in a buildable area or yard of the property where a structure or improvements may be placed and where inability to remove the tree would unreasonably restrict the permitted use of the property and the tree removal has been authorized by the Town as part of a site plan review;

b. The tree cannot be relocated on or off the site because of age, type, or size of tree;

c. The tree is diseased, dead, injured, in danger of falling, too close to existing or proposed structures, interferes with utility service, creates unsafe vision clearance at intersections or road entries, or conflicts with other ordinances or regulations; or

d. It is in the welfare of the general public that the tree be removed for a reason other than set forth above and in accordance with Florida Statute 163.045 Tree pruning, trimming, or removal on residential property.

e. (a) Mangroves can only be trimmed per state code. 1996 Mangrove Trimming and Preservation Act (sections 403.9321-403.9333, F.S.)

(2) Relocation or replacement. As a condition to the granting of a permit, the applicant ~~may~~ will be required, where practical, to relocate the tree being removed or be required to replace the tree being removed with a tree ~~somewhere within the site~~ on the property of the same or similar species type that will attain an overall height of at least twelve feet (12') and have a trunk caliper of at least four ~~two~~ inches (24) ~~24~~ dbh at planting for canopy trees; and a measured four and one-half feet (4.5') above grade minimum clear trunk height of eight feet (8') for Palms. ~~The green areas left after all building and parking lot requirements have been met shall contain a tree density equal to or greater than that what was existing on the overall site before the beginning of construction.~~ A permit to relocate a tree will be granted only if there is a reasonable expectation that the tree will survive the relocation and thrive in the new location. The Town may require a recommendation from a Department of Agriculture Forester or a Certified Arborist to determine and assure that the tree is of a species which can be successfully moved at its current size and that all conditions for its survival are being met in the plan to relocate.

(`75 Code, § 22-19(d)) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23) Penalty, see § 9A-12

## EXISTING

### § 9A-7. MINIMUM TREE PLANTINGS.

(a) Trees in residential zoning districts. Trees planted must be of a variety which is compatible with the existing soil and drainage-conditions and must be provided with adequate water and food materials to encourage growth. Trees shall be planted in locations so as not to cause danger to nor interference with existing structures at the time of maturity.

(b) Buffer and tree planting requirements for all non-residential and multiple family residential uses.

(1) A landscape buffer with a minimum of ten feet in width shall be provided between any residentially zoned property and a property utilized for a non-residential or multiple family residential use. Responsibility for providing a landscape buffer shall be upon the nonresidential or multifamily use. The landscape buffer shall include a minimum of one canopy tree for every 40 linear feet, or fraction thereof. In addition one ornamental tree or palm shall be planted for each 50 linear feet, or fraction thereof.

(2) A landscape buffer with a minimum of ten feet in width shall be provided along all road frontage of the site. The landscape buffer shall include a minimum of one canopy tree for every 25 feet of frontage, or fraction thereof.

(3) A continuous hedge shall be planted in all perimeter landscape buffer areas.

(4) Parking areas shall be designed so that there is a minimum of 200 square feet of open space, not including perimeter landscape buffer areas, at the end of each row of parking. In addition a minimum of 200 square feet of open space shall be provided in the interior of the parking lot for each ten parking spaces, or fraction thereof. These open spaces shall be distributed throughout the parking lot in a manner that no more than ten parking spaces in a row shall be allowed without an intervening landscaped area.

(5) Minimum specifications for trees and hedge material shall be as follows:

a. Canopy trees at the time of planting shall have a trunk diameter of two inches measured four and one-half feet above grade. The trees shall be a minimum of eight feet in height and have a minimum spread of five feet. The trees are not required to be spaced evenly along property lines.

b. Ornamental trees at the time of planting shall have a trunk diameter of one and one-half inches measured four and one-half feet above grade. The trees shall be a minimum of six feet in height and have a minimum spread of four feet.

c. Palms at the time of planting shall have a minimum clear trunk of eight feet.

d. Hedge material at the time of planting shall be a minimum of 18 inches in height when planted. Individual plants shall be planted a maximum of 24 inches on center.

(6) All plant material shall be Florida Number 1 in quality and shall be planted according to sound landscape installation standards.

(7) All landscaping shall be maintained to present a neat and orderly appearance. Dead, deteriorating or missing landscape material shall be replaced with substantially equivalent landscaping as permitted by the Land Development Code. Replacement of landscaping material shall occur within 60 days, unless said time is extended by the Town Manager for good cause shown.

(8) Exceptions shall be considered on an individual basis when obstacles such as overhead power lines or other conditions inhibit the ability to comply.

(9) Canopy trees shall be those that develop a crown spread of 25 feet or greater at maturity. Trees with less than 25 feet of crown spread at maturity shall be considered ornamental trees.

(10) Clusters of three palms shall be an acceptable substitute for up to 50% of the required canopy trees and 50% of the required ornamental trees.

(11) Landscape material should be drought tolerant to the extent practical and feasible. A water source shall be available to ensure the plant material can be watered while it is being established and during drought occurrence. Automatic irrigation systems may be utilized.

(12) Currently developed sites that do not meet the landscape requirements will not be considered non-conforming. Landscaping consistent with the regulations shall be installed at these sites, to the extent practical, as redevelopment occurs. Unless complete reconstruction or rehabilitation that results in closure of a building or buildings for a period of over six months occurs, full compliance with this section shall not be required.

(c) Minimum replacement standards for new construction. Any trees that are removed for new construction shall be replaced by the same or similar species. Specifically for mature oak trees, replacement of one (1) similar species for each tree removed shall be required which at a minimum will attain an overall height of at least twelve feet (12') and have a trunk caliper of at least two inches (2") at planting, measured four and one-half feet (4.5') above grade.

(d) Maintenance of trees and landscaping. If the removal of any tree or landscaping from any lot causes the number of remaining trees or vegetative species to fall below the minimum standards required by this section or as reflected on any approved site plan or landscaping plan for said lot, replacement trees or vegetative species meeting the requirements of this section or any approved site plan or landscaping plan shall be replanted on the lot within thirty (30) days after removal.

(75 Code, § 22-20) (Ord. 75-3, passed 5-27-75; Am. Ord. 87-13, passed 9-22-87; Am. Ord. 2008-08, adopted 9-3-08; Am. Ord. 2009-03, adopted 4-15-09; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23) Penalty, see § 9A-12

## PROPOSED

### § 9A-7. MINIMUM TREE PLANTINGS. LANDSCAPE PLANS

#### (a) Landscaping in all zoning districts.

(1) All lots to be developed or re-developed shall be landscaped in accordance with this chapter prior to the issuance of a final building inspection or certificate of occupancy.

(2) Landscaping plans are encouraged to incorporate Florida-Friendly Landscaping and Florida Native Landscaping principles consistent with the guidelines, including the use of drought-tolerant native plants, efficient irrigation systems, and soil amendments that promote water retention. Landscaping plans shall be comprised of 50% native plants selected from the current edition of the Florida Native Plant Society's list of native plants, as applicable to the East Central Florida Region.

(3) Plants in the Florida Invasive Species Council's most current list of invasive species shall be removed from a property during development or redevelopment and shall not be planted as part of the approved landscape plan.

(4) Minimum replacement standards for new construction /development or re-development under the guidelines of the Land Development Code: Any trees that are removed for new construction or reconstruction shall be replaced by the same or similar species. Specifically for mature oak trees replacement of one (1) similar species for each tree removed shall be required which at a minimum will attain an overall height of at least twelve feet (12') and have a trunk caliper of at least two four (4) inches dbh(2") at planting, measured four and one-half feet (4.5') above grade.

~~(a) Trees in residential zoning districts. Trees planted must be of a variety which is compatible with the existing soil and drainage conditions and must be provided with adequate water and food materials to encourage growth. Trees shall be planted in locations so as not to cause danger to nor interference with existing structures at the time of maturity.~~

(5) Minimum specifications for trees and hedge material shall be as follows:

a. Canopy trees at the time of planting shall have a trunk diameter of four (4) inches dbh. The trees shall be a minimum of eight feet in height and have a minimum spread of five feet. The trees are not required to be spaced evenly along property lines.

b. Trees smaller than canopy trees shall at the time of planting have a trunk diameter of one and one-half inches measured four and one-half feet above grade. The trees shall be a minimum of six feet in height and have a minimum spread of four feet.

c. Palms at the time of planting shall have a minimum clear trunk of eight feet.

d. Hedge material at the time of planting shall be a minimum of eighteen (18) inches in height when planted. Individual plants shall be planted a maximum of 24 inches on center.

(6) All plant material shall be Florida Number 1 in quality and shall be planted according to sound landscape installation standards.

(7) All landscaping shall be maintained to present a neat and orderly appearance. Dead, deteriorating or missing landscape material shall be replaced with landscaping as permitted in 9A-7(a). Replacement of landscaping material shall occur within sixty (60) days of loss, unless said time is extended by the Town Manager for good cause shown.

(8) Exceptions shall be considered on an individual basis based upon demonstrated unique characteristics of the site in question Any such reduction or relocation shall comply with the intent of this chapter.

(9) Canopy trees shall be those that develop a crown spread of 25 feet or greater at maturity. Trees with less than twenty-five (25) feet of crown spread at maturity shall be considered ornamental trees or small trees.

(10) Clusters of three palms shall be an acceptable substitute for up to 50% of the required canopy trees and 50% of the required ornamental trees.

(11) Landscape material should be drought tolerant to the extent practical and feasible. A water source shall be available to ensure the plant material can be watered while it is being established and during drought occurrence. Automatic irrigation systems may be utilized.

(12) Currently developed sites that do not meet the landscape requirements will not be considered non-conforming. Landscaping consistent with the regulations shall be installed at these sites, to the extent practical, as redevelopment occurs. If over six months occurs, full compliance with this section shall not be required.

(b) Buffer and tree planting requirements for all non-residential and multiple family residential uses in addition to (5) above.

(1) A landscape buffer with a minimum of ten feet in width shall be provided between any residentially zoned property and a property utilized for a non-residential or multiple family residential use. Responsibility for providing a landscape buffer shall be upon the nonresidential or multifamily use. The landscape buffer shall include a minimum of one native canopy tree for every 40 linear feet, or fraction thereof. In addition, one ~~ornamental smaller~~ tree or palm shall be planted for each 50 linear feet, or fraction thereof.

(2) A landscape buffer with a minimum of ten feet in width shall be provided along all road frontage of the site. The landscape buffer shall include a minimum of one canopy tree for every 25 feet of frontage, or fraction thereof.

(3) A continuous hedge shall be planted in all perimeter landscape buffer areas.

(4) Parking areas shall be designed so that there is a minimum of two hundred (200) square feet of open space, not including perimeter landscape buffer areas, at the end of each row of parking. In addition, a minimum of two hundred (200) square feet of open permeable green space shall be provided in the interior of the parking lot for each ten parking spaces, or fraction thereof. These open spaces shall be distributed throughout the parking lot in a manner that no more than ten parking spaces in a row shall be allowed without an intervening landscaped area.

~~(5) Minimum specifications for trees and hedge material shall be as follows:~~

~~a. Canopy trees at the time of planting shall have a trunk diameter of two four (4) inches dbh measured four and one-half feet above grade. The trees shall be a minimum of eight feet in height and have a minimum spread of five feet. The trees are not required to be spaced evenly along property lines.~~

~~b. Ornamental tTrees smaller than canopy trees at the time of planting shall at the time of planting have a trunk diameter of one and one-half inches measured four and one-half feet above grade. The trees shall be a minimum of six feet in height and have a minimum spread of four feet.~~

~~c. Palms at the time of planting shall have a minimum clear trunk of eight feet.~~

~~d. Hedge material at the time of planting shall be a minimum of eighteen (18) inches in height when planted. Individual plants shall be planted a maximum of 24 inches on-center.~~

~~(6) All plant material shall be Florida Number 1 in quality and shall be planted according to sound landscape installation standards.~~

~~(7) All landscaping shall be maintained to present a neat and orderly appearance. Dead, deteriorating or missing landscape material shall be replaced with substantially equivalent landscaping as permitted by the Land Development Code in 9A-7(a). Replacement of landscaping material shall occur within sixty (60) days of loss, unless said time is extended by the Town Manager for good cause shown.~~

~~(8) Exceptions shall be considered on an individual basis based upon demonstrated unique characteristics of the site in question. Any such reduction or relocation shall comply with the intent of this chapter when obstacles such as overhead power lines or other conditions inhibit the ability to comply.~~

~~(9) Canopy trees shall be those that develop a crown spread of 25 feet or greater at maturity. Trees with less than twenty five (25) feet of crown spread at maturity shall be considered ornamental trees.~~

~~(10) Clusters of three palms shall be an acceptable substitute for up to 50% of the required canopy trees and 50% of the required ornamental trees.~~

~~(11) Landscape material should be drought tolerant to the extent practical and feasible. A water source shall be available to ensure the plant material can be watered while it is being established and during drought occurrence. Automatic irrigation systems may be utilized.~~

~~(12) Currently developed sites that do not meet the landscape requirements will not be considered non-conforming. Landscaping consistent with the regulations shall be installed at these sites, to the extent practical, as redevelopment occurs. Unless complete reconstruction or rehabilitation that results in closure of a building or buildings for a period of over six months occurs, full compliance with this section shall not be required.~~

~~(c) Minimum replacement standards for new construction development or re-development under the guidelines of the Land Development Code. Any trees that are removed for new construction shall be replaced by the same or similar species. Specifically for mature oak trees 10 years old or more, replacement of one (1) two for one similar species for each tree removed shall be required which at a minimum will attain an overall height of at least twelve feet (12') and have a trunk caliper of at least two four (4) inches dbh (2") at planting, measured four and one-half feet (4.5') above grade. The two for one oak replacement is required until the minimum number of canopy trees required has been met.~~

~~(ac) Trees in residential zoning districts. Trees planted must be of a variety which is compatible with the existing soil and drainage conditions and must be provided with adequate water and food materials to encourage growth. Trees shall be planted in locations so as not to cause danger to nor interference with existing structures at the time of maturity.~~

~~(d) Maintenance of trees and landscaping. If the removal of any tree or landscaping from any lot causes the number of remaining trees or vegetative species to fall below the minimum standards required by this section or as reflected on any approved site plan or landscaping plan for said lot, replacement trees or vegetative species meeting the requirements of this chapter section or any approved site plan or landscaping plan shall be re-planted on the lot within thirty (30) days after removal.~~

~~(75 Code, § 22-20) (Ord. 75-3, passed 5-27-75; Am. Ord. 87-13, passed 9-22-87; Am. Ord. 2008-08, adopted 9-3-08; Am. Ord. 2009-03, adopted 4-15-09; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23) Penalty, see § 9A-12~~

## EXISTING

### § 9A-8. TREE PROTECTION.

#### (a) Protection of trees during land-clearing.

(1) Trees that are retained during land-clearing can be applied toward total tree requirements for the property. Prior to land-clearing, on-site protection must be initiated by constructing suitable protective barricades around trees to prevent mechanical damage. Barriers should be constructed around individual trees or groups of trees that are susceptible to mechanical damage. Prior to any land-clearing activity, a visual inspection of the site will be made by the Building Official before a land-clearing permit is issued. The land-clearing permit must be posted on-site. Only land-clearing is permitted within the drip line of the tree to be protected.

(2) On-site protection of trees may be barriers consisting of two-by four-inch lumber or flag rope and stakes visible to workers and equipment operators, but far enough from the tree to prevent soil compaction and large enough to include the area within the drip line of the tree (drip line refers to the outer edges of tree limbs and branches).

(3) Should a deep filling around a tree be necessary, a dry well, retaining wall or terracing may be required. Procedures for these are available in the site planning and tree protection regulations available at the County Extension Office.

(b) Attachments to tree. No attachments or wires other than those of a protective nature shall be attached to any tree.

(c) Tree survival. Trees must survive on-site in a viable condition. Trees failing to meet this survival requirement must be replaced within 45 days after a written notification is received by the property owner from the town.

(d) Landscaping prohibition. Plants included on the current Florida Noxious Weed list – Rule 5B-57.007 in Florida Administrative Code.

(75 Code, § 22-21) (Ord. 75-3, passed 5-27-75; Am. Ord. 87-13, passed 9-22-87; Am. Ord. 2017-05, adopted 12-20-17)

## PROPOSED

### § 9A-8. TREE PROTECTION.

#### (a) Protection of trees during land-clearing.

(1) Trees ~~that are~~ retained during land-clearing of an approved development or re-development project can be applied toward total tree requirements for the property. Prior to land-clearing, on-site protection must be initiated by constructing suitable protective barricades around trees to prevent mechanical damage. Barriers should be constructed around individual trees or groups of trees that are susceptible to mechanical damage. Protective barriers shall be placed around all trees to be retained on the site in accordance with the University of Florida's Institute of Food and Agricultural Sciences (UF/IFAS) "Tree Preservation During Land Development" 1 guidance to prevent the destruction or damaging of the trees. No disturbance or addition of soil will be made within the umbrella or drip line of retained trees. Any clearing within the umbrella or drip line of such trees shall be done with utmost care and avoid the use of heavy machinery. Prior to any land-clearing activity, a visual inspection of the site will be made by the Building Official ~~and the Landscape Officer~~ before a land-clearing permit is issued. The land-clearing permit must be posted on-site. Only land-clearing is permitted ~~within~~ outside the drip line of the tree to be protected.

(2) On-site protection of trees may be barriers consisting of two-by four-inch lumber or flag rope and stakes visible to workers and equipment operators, but far enough from the tree to prevent soil compaction and large enough to include the area within the drip line of the tree ~~(drip line refers to the outer edges of tree limbs and branches).~~

(3) Should a deep filling around a tree be necessary, a dry well, retaining wall or terracing may be required. Procedures for these are available in the site planning and tree protection regulations available at the County Extension Office.

(b) Attachments to tree. No attachments or wires other than those of a protective nature shall be attached to any tree.

(c) Tree survival. Trees must survive on-site in a viable condition for a minimum of three (3) years after the final building inspection or certificate of occupancy is issued, or after a permit is granted for any tree replacement otherwise. Trees failing to meet this survival requirement must be replaced within 45 days after a written notification of code violation is received by the property owner from the town issued by the Town. Replacement trees must be tagged or indicated on the as built plans on file with the Town and reinspected for continued viability annually for three (3) years by Code Enforcement.

(d) Landscaping prohibition. Plants included on the current Florida Noxious Weed list – Rule 5B-57.007 in Florida Administrative Code.

(75 Code, § 22-21) (Ord. 75-3, passed 5-27-75; Am. Ord. 87-13, passed 9-22-87; Am. Ord. 2017-05, adopted 12-20-17)

## EXISTING – No Changes

### § 9A-9. TREES ON PUBLIC LANDS.

No tree shall be removed from any public park or public right-of-way except under the provisions of this article.

(75 Code, § 22-23) (Ord. 75-3, passed 5-27-75; Am. Ord. 2017-05, adopted 12-20-17)

## EXISTING

### § 9A-10. EXCEPTIONS.

(a) In the event that any tree shall be determined to pose an unacceptable risk as provided for in § 9A-4 or to be in a hazardous or dangerous condition so as to endanger the public health, welfare or safety and requires immediate removal without delay such tree may be removed without first obtaining a written permit as herein required.

(b) During a period of emergency, such as a hurricane, tropical storm, flood, or any other act of God, the requirements of this Article may be waived by the Town Commission.

(c) All licensed plant or tree nurseries shall be exempt from the terms and provisions of this Article only in relation to those trees planted and growing on the premises of the licensee, which are so planted and growing for sale or intended sale to the general public in the ordinary course of the licensee's business.

(d) The types of trees included on the current Florida Noxious Weed List and Florida Exotic Pest Council's List of Invasive Plant Species shall be exempt from the terms and provisions of this article and shall not be used to meet any replacement or planting requirements.

(`75 Code, § 22-22) (Ord. 75-3, passed 5-27-75; Am. Ord. 87-13, passed 9-22-87; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23)

## PROPOSED

### § 9A-10. VARIATIONS TO LANDSCAPE REQUIREMENTS EXCEPTIONS.

(a) In the event that any tree shall be determined to pose an unacceptable risk as provided for in § 9A-4 or to be in a hazardous or dangerous condition so as to endanger the public health, welfare or safety and requires immediate removal without delay such tree may be removed without first obtaining a written permit as herein required.

(b) During a period of emergency, such as a hurricane, tropical storm, flood, or any other act of God, the requirements of this Article may be waived by the Town Commission.

(c) All licensed plant or tree nurseries shall be exempt from the terms and provisions of this Article only in relation to those trees planted and growing on the premises of the licensee, which are so planted and growing for sale or intended sale to the general public in the ordinary course of the licensee's business.

(d) The types of trees included on the current Florida Noxious Weed List and Florida Exotic Pest Council's List of Invasive Plant Species shall be exempt from the terms and provisions of this article and shall not be used to meet any replacement or planting requirements. A copy of the Florida Invasive Species Council List of Invasive Plant Species will be available from the Town.

(`75 Code, § 22-22) (Ord. 75-3, passed 5-27-75; Am. Ord. 87-13, passed 9-22-87; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23)

## EXISTING

§ 9A-11. RESERVED.

§ 9A-12. PENALTY.

The improper removal of each tree shall constitute a separate offense under this chapter. Violation of this chapter and imposition of the penalty shall be determined and imposed by the Code Enforcement Special Magistrate or by a court of proper jurisdiction.

Removal of any mature oak or similar trees without first obtaining a permit from the Town as required in § 9A-4 shall constitute prima facie evidence of a violation which is irreparable or irreversible in nature for the purposes of enhanced fine assessment provided for in § 11-21(b)(1) or as otherwise amended.

(75 Code, § 22-25) (Ord. 75-3, passed 5-27-75; Am. Ord. 87-13, passed 9-22-87; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23)

§§ 9A-13.–9A-99. RESERVED.

## PROPOSED

§ 9A-11. RESERVED.

~~(a) Mangroves can only be trimmed per state code. 1996 Mangrove Trimming and Preservation Act (sections 403.9321-403.9333, F.S.)~~

§ 9A-12. PENALTY.

The improper removal of each tree shall constitute a separate offense under this chapter. Violation of this chapter and imposition of the penalty shall be determined and imposed by the Code Enforcement Special Magistrate or by a court of proper jurisdiction.

Removal of any mature oak or similar trees without first obtaining a permit from the Town as required in § 9A-4 shall constitute prima facie evidence of a violation which is irreparable or irreversible in nature for the purposes of enhanced fine assessment provided for in § 11-21(b)(1) or as otherwise amended. Photography (either ground, aerial, or geospatial) or other applicable data may be used as prima-facie evidence of the existence of trees on a site prior to any unapproved removal.

(75 Code, § 22-25) (Ord. 75-3, passed 5-27-75; Am. Ord. 87-13, passed 9-22-87; Am. Ord. 2017-05, adopted 12-20-17; Am. Ord. 2023-01, adopted 3-15-23)

~~§§ 9A-13.–9A-99. RESERVED.~~

§ 9A-13. NUISANCE TREES.

The following trees are considered non-native, noxious, invasive species. Property owners are encouraged to remove all such trees from the properties they own within the Town consistent with this chapter Contact the Town's Environmental Advisory Board for free site visits to identify these species.

- Brazilian pepper (Schinus terebinthifolius)
- Melaleuca (Melaleuca quinquenervia)
- Australian pine (Causarina equisetifolia)
- Carrotwood (Cupaniopsis anacardioides (A. Rich.) Radlk)
- Schefflera (Schefflera digitata)

§§ 9A-14.–9A-99. RESERVED.

## **EXISTING – Chapter 11A**

### CHAPTER 11A: ENVIRONMENTALLY SENSITIVE LANDS

#### Section

#### Article I. Wetlands Protection

11A-1 Purpose and intent

11A-2 General provisions.

11A-3 Permitted uses in wetlands

11A-4 Prohibited uses in wetlands

11A-5 –11A-99 Reserved

#### ARTICLE I. WETLANDS PROTECTION

### **EXISTING – No Changes**

#### § 11A-1. PURPOSE AND INTENT.

The purpose of this chapter is to protect, preserve and enhance the natural functions of wetlands and other environmentally sensitive areas. It is also the intent of this article to apply the following standards for development in and adjacent to wetlands.

(Am. Ord. 2017-05, adopted 12-20-17)

## EXISTING

### § 11A-2. GENERAL PROVISIONS.

(a) During the review of a site plan or any other plan for development, the Town Manager shall use the Natural Wetlands Inventory maps, the Brevard County Soil Survey, the Town Comprehensive Plan, aerial photography or other applicable data in order to determine the potential existence of wetlands on or adjacent to the site.

(b) If a review of the above documents indicates that wetlands may exist on or adjacent to the site, an inspection will be performed by the Town Manager.

(c) Based on the assessment of the above site visit, the Town Manager may require the developer to have the site inspected by a representative from the St. Johns River Water Management District for a determination of jurisdictional limits of the site. This may require the involvement of the Army Corps of Engineers, the Department of Environmental Regulation and the Department of Natural Resources.

(d) No building permit will be issued by the Town until either the site plan has been approved or an exemption letter has been issued by the applicable environmental agency.

(e) All proposed development adjacent to canals, the Indian River and east of State Road A1A will automatically be reviewed under the above process.

(Am. Ord. 2017-05, adopted 12-20-17)

## PROPOSED

### § 11A-2. GENERAL PROVISIONS.

(a) During the review of a site plan or any other plan for development, the Town Manager shall use the Natural Wetlands Inventory maps, the Brevard County Soil Survey, the Town Comprehensive Plan, aerial photography or other applicable data in order to determine the potential existence of wetlands on or adjacent to the site.

(b) If a review of the above documents indicates that wetlands may exist on or adjacent to the site, ~~the Town manager or designee shall contact the property owner appropriate authorities listed in section 11A-2(c) to perform verification of wetland determination and provide guidance on and follow wetlands permitting requirements. an inspection will be performed by the Town Manager.~~

(c) Based on the assessment of the above site visit, the ~~Town Manager may require the developer to~~ property owner shall have the site inspected by a representative from the St. Johns River Water Management District for a determination of jurisdictional limits of the site. This may require the involvement of the Army Corps of Engineers, the Department of Environmental Regulation and the Department of Natural Resources.

(d) No building permit will be issued by the Town until either the site plan has been approved or an exemption letter has been issued by the applicable environmental agency.

(e) All proposed development adjacent to canals, the Indian River and east of State Road A1A will automatically be reviewed under the above process.

(Am. Ord. 2017-05, adopted 12-20-17)

## **EXISTING – No Changes**

### § 11A-3. PERMITTED USES IN WETLANDS.

The following uses shall be permitted in wetlands provided that they are approved by the St. Johns River Water Management District or the applicable environmental agency:

- (1) Open space;
- (2) Fish and wildlife management;
- (3) Recreation; or

(4) Any other use deemed appropriate by the St. Johns River Water Management District or the Department of Natural Resources.

(Am. Ord. 2017-05, adopted 12-20-17)

### § 11A-4. PROHIBITED USES IN WETLANDS.

The following uses are specifically prohibited in wetlands:

- (1) Residential, commercial, industrial and institutional uses, except as provided for in § 1A-3;
- (2) Disposal of solid or liquid wastes, and the application or storage of pesticides and herbicides; and
- (3) Any activity which impairs the function of the wetlands.

(Am. Ord. 2017-05, adopted 12-20-17)

§§ 11A-5. – 11A-99. RESERVED.