



TOWN OF MELBOURNE BEACH

**PLANNING & ZONING BOARD
MEETING**

TUESDAY, MAY 5, 2026

AGENDA PACKET

Town of Melbourne Beach

PLANNING & ZONING BOARD MEETING

TUESDAY, MAY 5, 2026 @ 6:30 PM

COMMUNITY CENTER – 509 OCEAN AVENUE

PUBLIC NOTICE AGENDA

Board Members:

Chairperson April Evans
 Vice Chairperson Dan Harper
 Member Gabor Kishegyi
 Member Todd Albert
 Member Jason Judge

Alternate Board Members:

Staff Members:

Town Manager A. Marie Smith
 Town Clerk Amber Brown
 Building Official Jeff Parsons

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. APPROVAL OF MINUTES**
 - A. April 7, 2026 minutes – pages 3-8
- 4. NEW BUSINESS**
 - A. Site Plan Approval for 222 Sixth Ave. – addition – pages 9-19
 - B. Site Plan Approval for 218 Sixth Ave. – addition – pages 20-42
- 5. PUBLIC HEARINGS**
- 6. OLD BUSINESS**
 - A. Site Plan Approval for 200 Shannon Ave. – renovation and addition – pages 43-61
- 7. PUBLIC COMMENT**

Please limit comments to items that are not on the agenda
- 8. REPORTS: TOWN MANAGER AND TOWN ATTORNEY**
- 9. ITEMS TO BE ADDED TO THE AGENDA FOR FUTURE MEETINGS**
- 10. ADJOURNMENT**

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, THE TOWN HEREBY ADVISES THE PUBLIC THAT: In order to appeal any decision made at this meeting, you will need a verbatim transcript of the proceedings. It will be your responsibility to ensure such a record is made. Such person must provide a method for recording the proceedings verbatim as the Town does not do so. In accordance with the Americans with Disability Act and Section 286.26, Florida Statutes, persons needing special accommodations for this meeting shall, at least 5 days prior to the meeting, contact the Office of the Town Clerk at (321) 724-5860 or Florida Relay System at 711.

Planning and Zoning Meeting

Section: Approval of Minutes

Meeting Date: May 5, 2026

From: Deputy Town Clerk Cyd Cardwell

RE: Approval of the April 7, 2026 Minutes

Background Information:

Approval of the April 7, 2026 Planning and Zoning Board minutes.

Town of Melbourne Beach

MINUTES

PLANNING & ZONING BOARD MEETING

TUESDAY, APRIL 7, 2026 @ 6:30 PM

COMMUNITY CENTER – 509 OCEAN AVENUE

Board Members:

Chairperson April Evans
 Vice Chairperson Dan Harper
 Member Gabor Kishegyi
 Member Todd Albert
 Member Jason Judge

Alternate Board Members:

Staff Members:

Town Manager A. Marie Smith
 Town Clerk Amber Brown
 Building Official Jeff Parsons

1. CALL TO ORDER

Vice-Chairperson April Evans called the meeting to order at 6:30 p.m.

2. ROLL CALL

Deputy Town Clerk Cyd Cardwell conducted the roll call.

Present:

Chairperson April Evans
 Vice Chairperson Dan Harper
 Member Gabor Kishegyi
 Member Todd Albert
 Member Jason Judge

Staff Present:

Town Manager A. Marie Smith
 Building Admin Steve Freeman
 Deputy Town Clerk Cyd Cardwell

3. APPROVAL OF MINUTES

A. March 10, 2026 minutes

Member Todd Albert made a motion to approve; Member Gabor Kishegyi seconded; Motion carried 5-0.

4. NEW BUSINESS

A. Site Plan Approval for 608 Shannon Ave. – addition

Chair April Evans summarized the details of the site plans and spoke about everything appearing to be in compliance.

Member Gabor Kishegyi made a motion to approve; Vice Chair Dan Harper seconded; Motion carried 5-0.

B. Site Plan Approval for 200 Shannon Ave. – renovation and addition

Member Todd Albert spoke about being unable to find the Board of Adjustment details for this property.

Chair April Evans spoke about whether they have a variance not coming into play for this board.

Member Jason Judge spoke about the backstory of the setback issue at this property; there was a mistake on someone's part telling the owners that the setback was 15 feet instead of 25 feet.

Chair April Evans summarized the details of the site plans and spoke about everything appearing to be in compliance, including the setbacks with the variance granted.

Vice Chair Dan Harper had a question about the setbacks in reference to the patio placement.

Chair April Evans confirmed that the patio did not have to conform to the setback requirement.

Member Gabor Kishegyi also confirmed that the patio could extend into the setback.

Vice Chair Dan Harper spoke about the Town Planner's explanation on swales for this property; the board typically applies § 3A-80 but the Town Planner also looked at § 7A-83; he would like an explanation from the Town Planner on his rationale.

A discussion ensued on the 50% threshold for storm water inclusion and the Town Planner's exclusion of the interior remodel in the calculation.

Vice Chair Dan Harper made a motion to defer approval to next month, and in the interim, ask the Town Planner for further explanation and rationale as to why § 3A-80 does not apply in this instance, and would like to know when and if it would ever apply going forward in a residential remodel; Member Todd Albert seconded; Motion failed 3-2 with Chair April Evans, Member Gabor Kishegyi, and Member Jason Judge dissenting.

Member Jason Judge made a motion to approve 200 Shannon as-is; Motion failed for lack of second.

Vice Chair Dan Harper made a motion to defer approval to next month, and in the interim, ask the Town Planner for further explanation and rationale as to why § 3A-80 does not apply in this instance, and would like to know when and if it would ever apply going forward in a residential remodel; Member Todd Albert seconded; Motion carried 3-2 with Member Gabor Kishegyi and Member Jason Judge dissenting.

200 Shannon Builder – spoke about the difficulty of making drainage work on an existing build because there is no elevation change; would result in making the homeowner’s yard the lowest spot on the entire street; the elevation of the slab is not changing.

Chair April Evans spoke about board members who experience flooding because new construction in the past diverted the water away from the property rather than retaining it, which is what the Town has been trying to address.

Member Gabor Kishegyi spoke about reexamining the 50% requirement in the future to consider interior changes that don’t affect drainage outside.

Connor Scalise – 200 Shannon Ave. – asked if the board knew the date of the Board of Adjustment meeting that occurred for this property and if the Planning & Zoning Board would’ve been able to look at their plans months in advance of the meeting.

Chair April Evans explained the board receives site plans a few days prior to the meeting.

C. Site Plan Approval for 209 Surf Rd. – new home

Vice Chair Dan Harper asked Building Assistant Steve Freeman about the soil testing usually performed by KSM, but it appears that the swale designer only relied on the generic data published by Brevard County.

Building Assistant Steve Freeman stated that he doesn’t go over that, it’s typically reviewed by the Town Engineer.

A discussion ensued about whether more soil data is needed.

Chair April Evans went over the other site plan details.

Vice Chair Dan Harper spoke about getting the proper height requirement ordinance on the website.

Member Gabor Kishegyi made a motion to approve 209 Surf Rd.; Vice Chair Dan Harper seconded; Motion carried 5-0.

A conversation ensued about the publishing of the codified height ordinance on American Legal Publishing.

D. Guidance on which site plans should come before the Planning & Zoning Board

Chair April Evans spoke about the history of what has been brought in front of the board; the previous Building Official took away smaller projects like gazebos; she has seen things in town that the board would probably not approve and recommend to the Commission.

Building Assistant Steve Freeman stated that the board would be inundated if they

brought smaller projects to the board that the Building Department can easily decide on; spoke about trusting the department.

Member Todd Albert spoke about changing criteria such as dollar amount versus percentage.

Chair April Evans spoke about an example on Alden Place where a structure never came in front of P&Z and had extensive remodeling; also mentioned a garage on First and Oak.

Member Gabor Kishegyi spoke about monetary value not being the only qualifier, but also structural changes.

Member Jason Judge asked what Building Assistant Steve Freeman meant by “trust the Building Department”.

Building Assistant Steve Freeman explained the department’s process for approval.

Member Jason Judge suggested streamlining the process because of the wait and expense for homeowners to get through P&Z.

Chair April Evans spoke about anything that the Commission would see, should be seen by the board.

A discussion ensued on how to improve the process.

5. PUBLIC HEARINGS

6. OLD BUSINESS

7. PUBLIC COMMENT

8. REPORTS: TOWN MANAGER AND TOWN ATTORNEY

Town Manager A. Marie Smith announced that a new Code Enforcement Officer was scheduled to start this month.

Member Todd Albert asked where the Town is at on the repair of the 6th Ave. boat ramp seawall.

Town Manager A. Marie Smith spoke about having to do an RFP and the Town currently being in a large audit, but the plan is to release an RFP within the month.

9. ITEMS TO BE ADDED TO THE AGENDA FOR FUTURE MEETINGS

Deputy Town Clerk Cyd Cardwell provided a document showing a side-by-side comparison of the existing versus proposed language of the landscape ordinance.

The board agreed to start looking again at the landscape ordinance in the June meeting, starting with the first three sections.

10. ADJOURNMENT

Member Gabor Kishegyi motioned to adjourn; Member Jason Judge seconded; Motion carried 5-0.

The meeting adjourned at 7:24 p.m.

ATTEST:

April Evans
Chairperson

Cyd Cardwell
Deputy Town Clerk

Planning and Zoning Meeting

Section: New Business
Meeting Date: May 5, 2026
From: Building Department
RE: Site Plan Approval for 222 Sixth Ave. – Addition

Background Information:

The Town received plans for an addition at 222 Sixth Ave.

Recommendation:

Approve the site plan for 222 Sixth Ave contingent upon the pending Town Engineer report and drainage plan.

Attachments:

- Town Planner Letter – Pages 10-12
- Development Application – Pages 13-15
- Original Plans and Survey – Pages 16-19

Site Plan Review

Applicable Codes:

**Town of Melbourne Beach Land Development Code
Current Florida Building Code**

Date: May 5, 2026
Owner: Edward & Maria Drake
Owner Address: 222 6th Avenue, Melbourne Beach FL 32951
Site Address: 222 6th Avenue, Melbourne Beach FL 32951
Parcel ID: 28-38-08-FY-27-31
Zoning: 3RS - Single-Family

Proposed Project: Construct a 3BR/2BA, 2-Story Addition to Existing Single-Family Home
References: Town of Melbourne Beach Code of Ordinances:
 7A-33 Single-Family Residential District
 7A-51.1, Site Plan Approval For Single-Family Residential Districts

Request: Site Plan Approval in Accordance with 7A-51.1
Staff Review: The property lies in Zoning District 3RS

- 1) The project involves the construction of a 3-bedroom / 2-bath 2-story addition to an existing single-family home. The existing 1-story home includes a gross area under roof of 1,820 square feet based on the Property Appraiser's information. The proposed 2-story addition will include three (3) bedrooms, two (2) baths, great room, game room and covered porch for the first and second floors, and a gross area under roof of 1,814 square feet. The game room on the 2nd floor of the addition includes a refrigerator, double-sink and dishwasher which appears like a kitchen, although a kitchen is defined as having cooking facilities and there is no oven/range to qualify as a kitchen, so this would not be considered an additional dwelling unit.
- 2) The Building Lot Zoning District requirements of min. lot area, width and depth.
 Lot area is 10,125 sq. ft. (min. 10,000 sq. ft.)
 Lot width is 67.5 ft. (min. 90 ft.), nonconforming lot of record.
 Lot depth is 150 ft. (min. 100 ft.)
- 3) Lot coverage has a maximum of 30% for principal structure.
 Lot coverage per plan is 26%
 Footprint of Primary Structure is 2,635 SF.
 Max allowed for Primary Structure is 3,037.50 sq. ft. for Lot Area of 10,125 sq. ft.

Minimum pervious area per lot is 30%. Pervious area per plan is 56.7%.

- 4) Structure maximum height for zoning district is 28 ft.
Flood Zone: X per survey
FFE: 20' 6", for proposed 2-story addition.

Zoning District Setback requirements:

Existing Primary Structure Front Setback: 37.1' (min. 25'.)
Proposed Primary Structure Rear Setback (addition): 31.5' (min. 25')
Proposed Primary Structure West Side Setback (addition): 15' (min. 15')
Proposed Primary Structure East Side Setback (addition): 15.7' (min. 15')
Existing Primary Structure West Side Setback: 10.7' (min. 15'), existing nonconforming
Existing Primary Structure East Side Setback 10.2' (min. 15'), existing nonconforming

- 5) Sediment and Erosion control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.
- 6) On-site Storm water Retention Control measures shall be met, as applicable, and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.
- 7) Town Engineer will submit a review of the drainage plan per Ordinance 2019-06. The Town Engineer will require a final inspection before a Certificate of Occupancy will be issued.
- 8) The application did not include a landscape plan, however landscape standards, as applicable, must be met at the time of building permitting.

Based on the above review, the proposed site plan for the referenced property is in compliance with The Town of Melbourne Beach Code of Ordinances.



Corey W. O'Gorman
Town Planner

Note that the Lot Coverage, Impervious Coverage and Setbacks were calculated based on dimensions on survey, plans and information from the Property Appraiser.

222 6th Avenue

IMPERVIOUS		PERVIOUS	
Primary Structure	2851	Open areas	5740
Wood Deck	176		
Pool/Pool Deck	724		
Driveway/Patio	634		
 Total Paved Area	 4385	 Total Pervious	 5740
<hr/>		<hr/>	
Total Lot Area	10,125	Total Lot Area	10,125
 <hr/>		 <hr/>	
% IMPERVIOUS	43.3%	% PERVIOUS	56.7%



TOWN OF MELBOURNE BEACH DEVELOPMENT APPLICATION

I. SUBMITTAL REQUIREMENTS:

1. Fees per current schedule.
2. Deed to property.
3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting.
4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

II. REQUEST:

- | | |
|--|--|
| <input type="checkbox"/> Land Use Plan Amendment | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Special Exception | <input type="checkbox"/> Coastal Construction Variance |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Appeal (Application must be filed within 30 days) |
| <input checked="" type="checkbox"/> Site Plan Review Single Family (1RS, 2RS, 3RS) | <input type="checkbox"/> Site Plan Review Multifamily (4RM, 5RMO) |
| <input type="checkbox"/> Site Plan Review Commercial (6B, 7C, 8B, 9I) | <input type="checkbox"/> Amendment to the Land Development Code |
| | <input type="checkbox"/> Other (specify) _____ |

III. PROPERTY INFORMATION:

General Location: WILCOX Melbourne Beach W 30' of Lot 31 + E 37.5' of Lot 32

Address: 222 5th Ave Melbourne Beach FL 32951

Parcel Number(s): T528 R38 508 WILCOX ^{SR 38} SD B 27 Lot 31

Area (in acreage): _____ Area (in square feet): 1512 Present - 2,500 sq ft Proposed

Current Zoning: Residential Proposed Zoning: Primary Residential

Current Future Land Use: Residential Proposed Future Land Use: Primary Residential

Brief Description of Application: Add Addition 3/2 + MR Daughters + grand children to move in C U S

Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable): _____

*

IV. APPLICANT INFORMATION:

Property Owner

Name: Edward + Maria Drake

Phone: 321-501-3867

Address: 222 Sixth Ave

Fax: N/A

Melbourne Beach FL 32951

Email: Edrake63@outlook.com

Applicant (if other than property owner)

Name: N/A

Phone: /

Address: /

Fax: /

/

Email: /

V. OWNER AUTHORIZATION:*

The undersigned hereby affirms the following:

- 1. That I/we are the fee simple title owner/contract purchaser (circle one) of the property described in this application.
- 2. That I/we have read and understands the entire application and concurs with the request.
- 3. That I/we have appointed the Applicant to represent the application, and empowers the Applicant to accept any and all conditions of approval imposed by the Town of Melbourne Beach.

Signature: Edward Davenport Drake
Maria Elena Drake

Date: 4/9/2020

Print Name: MARIA Elena Drake

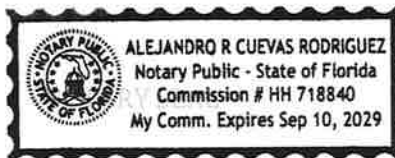
Title: OWNERS

*Must sign in front of notary.

State of Florida
County of Brevard.

The foregoing application is acknowledged before me this 9th day of April, 2020, by Edward Davenport Drake and Maria Elena Drake who is/are personally known to me, or who has/have produced Florida River License as identification.

[Signature]
Signature of Notary Public, State of Florida



VI. APPLICANT CERTIFICATION:*

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

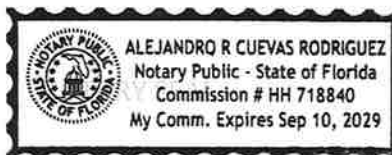
Signature: Edward Davenport Drake Date: 4/9/2020
Maria Elena Drake
Print Name: Edward Davenport Drake Title: Owners
Maria Elena Drake

*Must sign in front of notary.

State of Florida
County of Brevard.

The foregoing application is acknowledged before me this 9th day of April, 2020, by Edward Davenport Drake, Maria Elena Drake who is/are personally known to me, or who has/have produced Florida Driver License as identification.

[Signature]
Signature of Notary Public, State of Florida



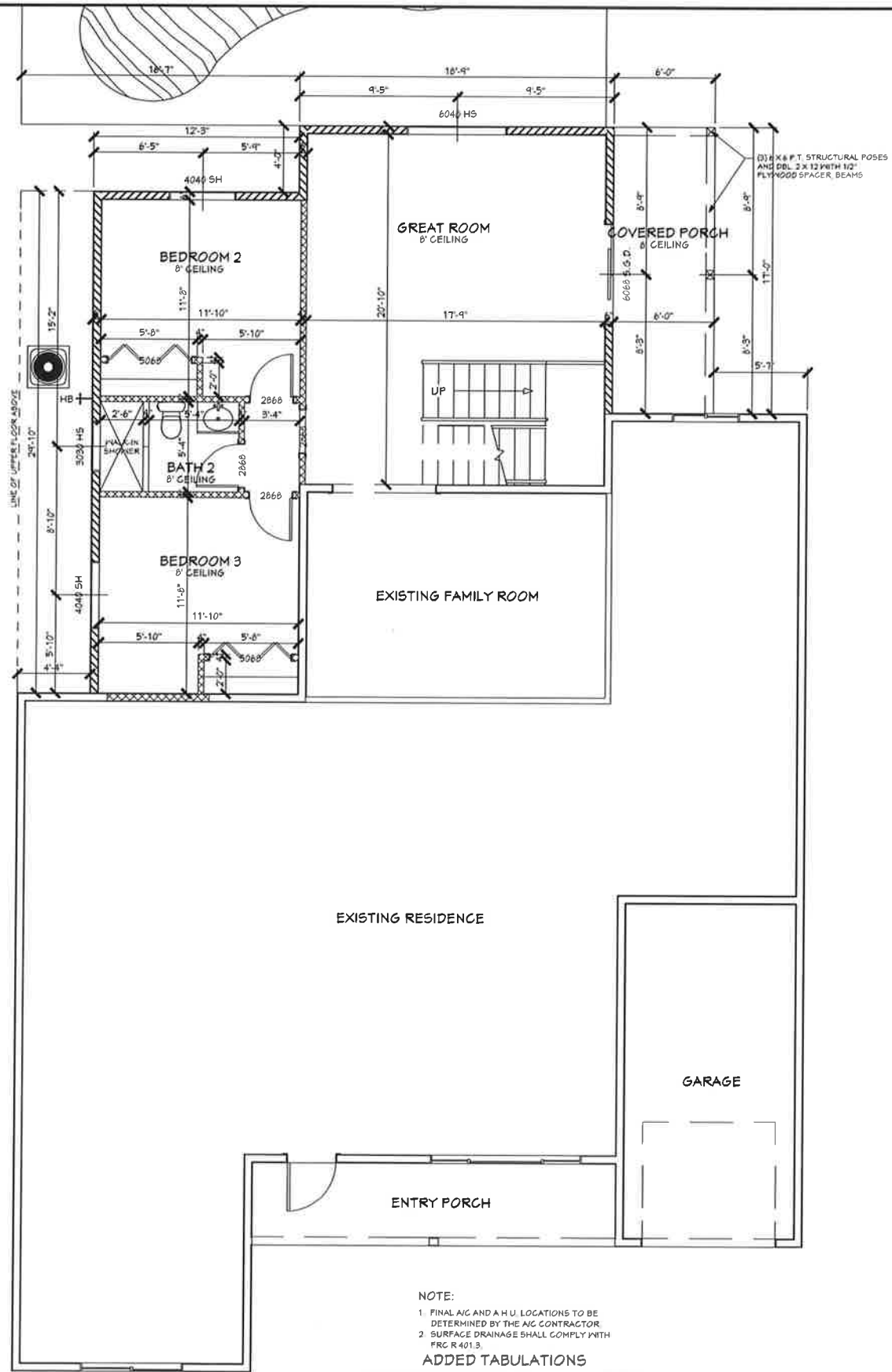
VII. PROJECT DESCRIPTION:

Describe Application: A 3/2 addition on
back of house

Provide attachment if more space is needed.

Describe Existing Conditions: single family home

Provide attachment if more space is needed.



LINE OF UPPER FLOOR ABOVE

2x8x8 F.T. STRUCTURAL POSES AND DBL 2x12 WITH 1/2" PLYWOOD SPACER BEAMS

GREAT ROOM 8' CEILING

COVERED PORCH 8' CEILING

BEDROOM 2 8' CEILING

BEDROOM 3 8' CEILING

BATH 2 8' CEILING

EXISTING FAMILY ROOM

EXISTING RESIDENCE

GARAGE

ENTRY PORCH

NOTE:
 1. FINAL A/C AND A/H U LOCATIONS TO BE DETERMINED BY THE A/C CONTRACTOR
 2. SURFACE DRAINAGE SHALL COMPLY WITH FRC R 401.5

ADDED TABULATIONS

GROUND FLOOR LIVING AREA	766 SF
UPPER FLOOR LIVING AREA	839 SF
TOTAL LIVING AREA	1605 SF
LOWER COVERED PORCH AREA	103 SF
UPPER COVERED PORCH AREA	106 SF
TOTAL AREA	1814 SF

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY BEN S. SCHWARTZ, P.E. ON THE DATE AND/OR TIME STAMP SHOWN USING A SIGN AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGN AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



SBS SERVICES, LLC

3813 GOND LEAF DRIVE (321) 434-1371
 MELBOURNE, FL 32940 sbs@ssm.com
 I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THESE PLANS AND SPECIFICATIONS COMPLY WITH THE STRUCTURAL PORTION OF THE 2018 FLORIDA BUILDING CODE - RESIDENTIAL, CHAPTER 9 FOR WINDS AND QUALITY STANDARDS AS AMENDED AND ENFORCED BY THE PERMITTING JURISDICTION. DATE: 1 APR 26
 BEN S. SCHWARTZ PE LIC NO. 41778 - CALIC NO. 26911

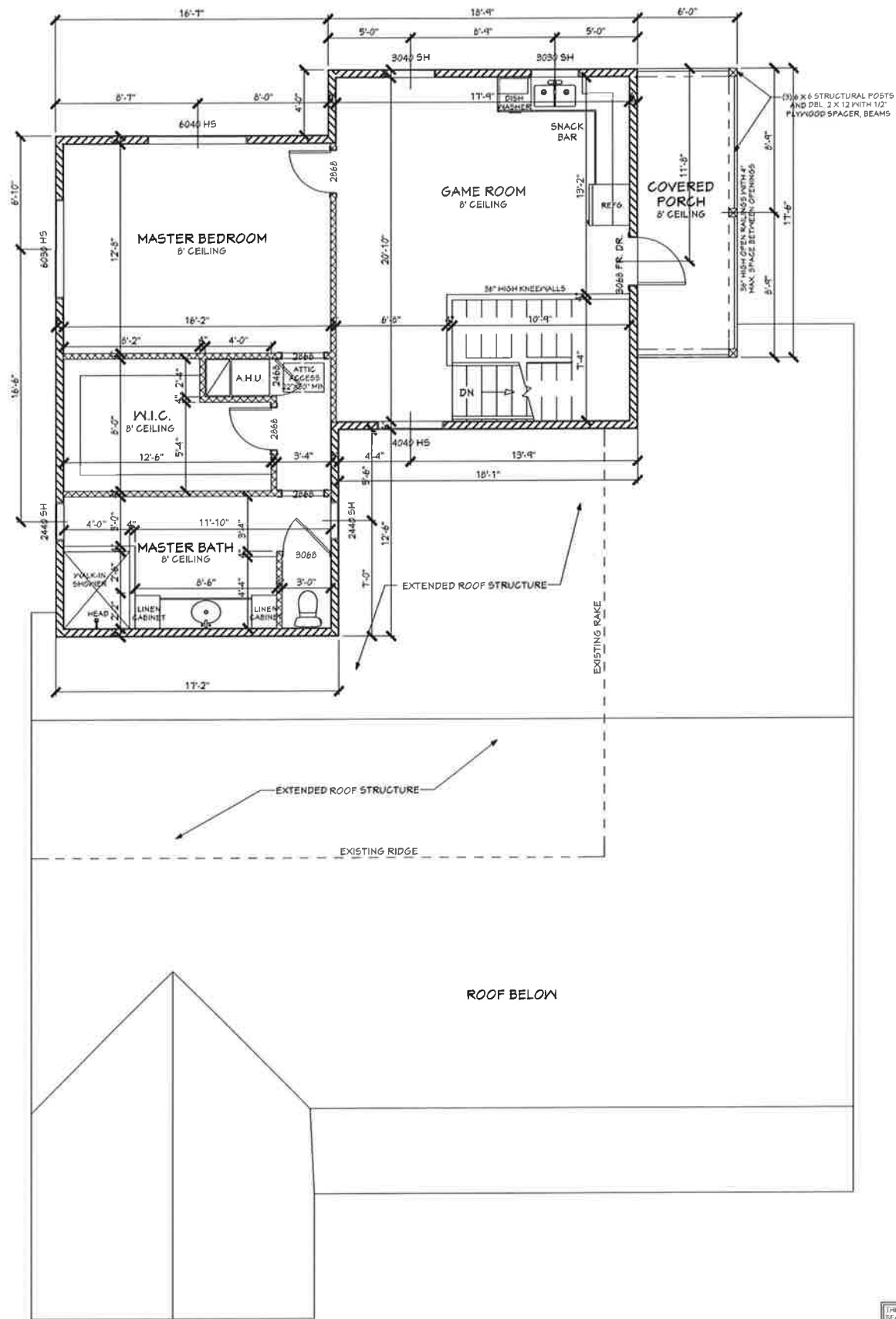
GROUND FLOOR PLAN

TOM MORTON DESIGN & DRAFTING
 123-0230
 212 S. PALM BLVD.
 MELBOURNE BEACH, FLA. 32951

ADDITION AND RENOVATIONS TO EXISTING RESIDENCE FOR:
THE DRAKES
 222 SIXTH AVENUE, MELBOURNE BEACH

DATE: 1 APR 26
 DRAWN: T.C.M.
 SCALE: 1/4"=1'-0"
 REVISION:

SHEET:
A1



UPPER FLOOR PLAN

TOM MORTON DESIGN & DRAFTING
723-0950
111 MARKET BLVD
MELBOURNE BEACH, FLA. 32951



ADDITION AND RENOVATIONS TO EXISTING RESIDENCE FOR:
THE DRAKES
222 SIXTH AVENUE, MELBOURNE BEACH



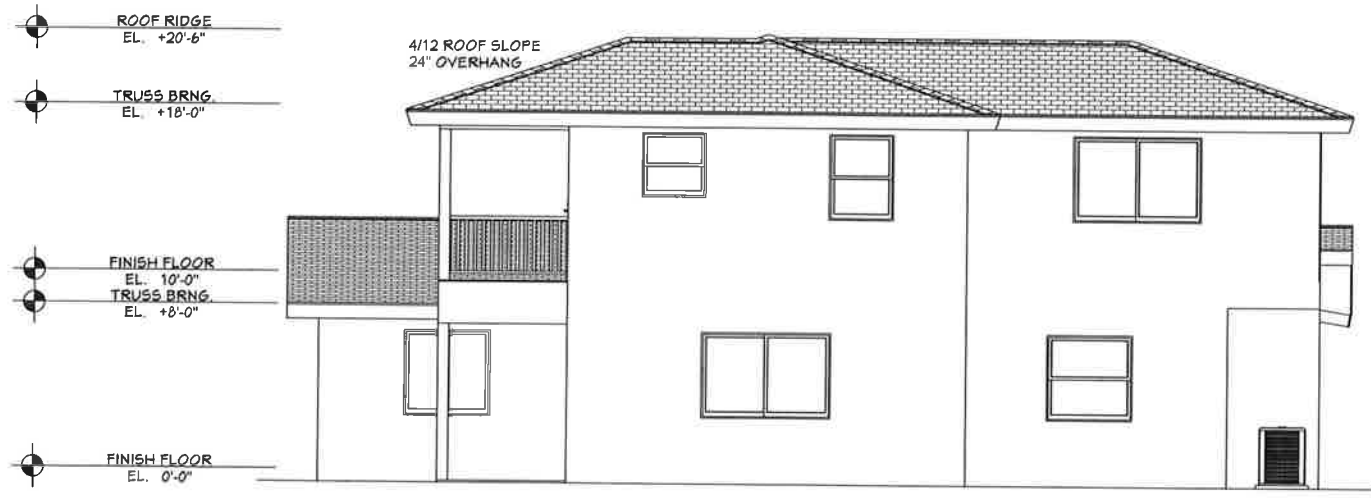
DATE: 7 APR 26
DRAWN: T.C.M.
SCALE: 1/4"=1'-0"
REVISION:

SBS SERVICES, LLC
2884 LONG LEAF DRIVE MELBOURNE, FL 32945 (321) 684-1371 sbsservices@tcm.com

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY BEN S. SCHWARTZ, P.E. ON THE DATE AND/OR TIME STAMP SHOWN USING A DSA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE DSA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SHEET:
A2

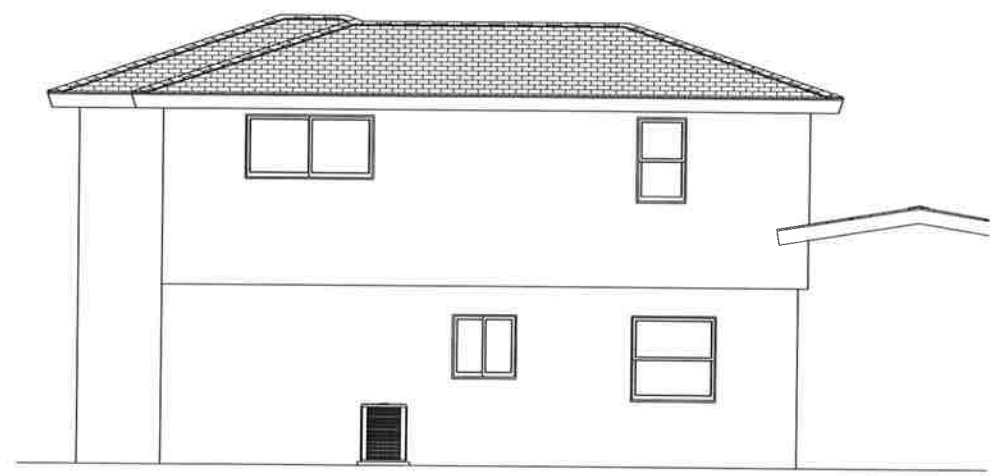
STRUCTURAL QUALIFICATION FOR WIND LOADS ONLY



ROOF RIDGE
 EL. +20'-6"
 TRUSS BRNG.
 EL. +18'-0"
 FINISH FLOOR
 EL. 10'-0"
 TRUSS BRNG.
 EL. +8'-0"
 FINISH FLOOR
 EL. 0'-0"

4/12 ROOF SLOPE
24" OVERHANG

REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



FRONT ELEVATION

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY BEN S. SCHWARTZ, P.E. ON THE DATE AND/OR TIME STAMP SHOWN USING A SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

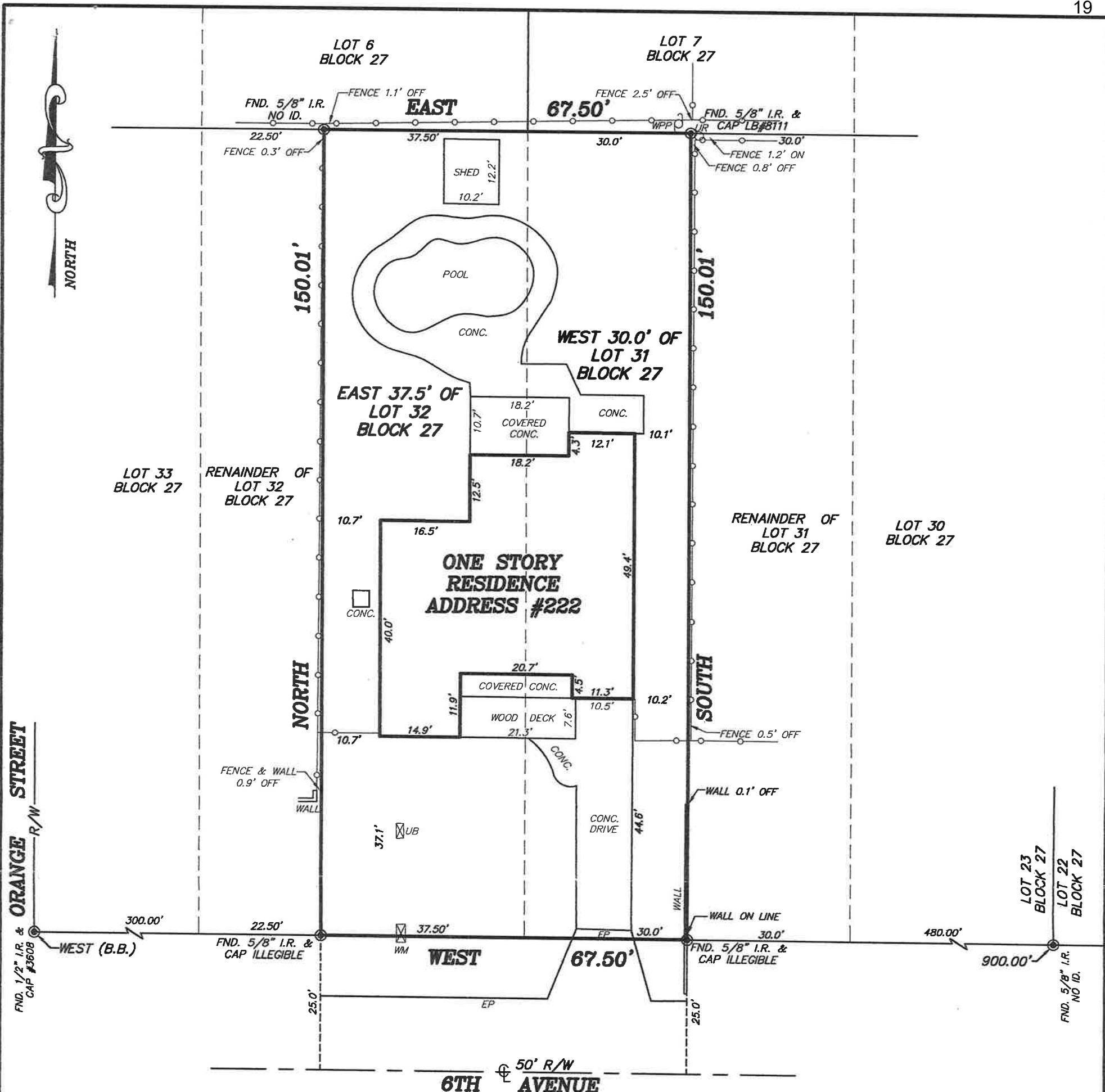


SBS SERVICES, LLC

3893 LONG LEAF DRIVE
 MELBOURNE, FL 32949
 (321) 684-1371
 sbs@svs.com
 I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THESE PLANS AND SPECIFICATIONS COMPLY WITH THE STRUCTURAL PORTION OF THE 8th EDITION FLORIDA BUILDING CODE - RESIDENTIAL, CHAPTER 3 FOR WIND AND GRAVITY LOADS AS AMENDED AND ENFORCED BY THE PERMITTING JURISDICTION.
 BEN S. SCHWARTZ
 P.E. LIC. NO. 41778 CALIC. NO. 26811 DATE

EXTERIOR ELEVATIONS
 TOM MORTON DESIGN & DRAFTING
 723-0330
 210 SANSET BLVD.
 MELBOURNE BEACH, FLA. 32951

 ADDITION AND RENOVATIONS TO EXISTING RESIDENCE FOR:
THE DRAKES
 222 SIXTH AVENUE, MELBOURNE BEACH
 DATE: 7 APR 26
 DRAWN: T.C.M.
 SCALE: 1/4"=1'-0"
 REVISION:
 SHEET:
A3



SURVEY PREPARED FOR:
EDWARD DAVENPORT DRAKE AND MARIA ELENA DRAKE

DESCRIPTION: WEST 30 FEET OF LOT 31 AND EAST 37.5 FEET OF LOT 32, BLOCK 27, WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 58, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

AAL LAND SURVEYING SERVICES, INC.

ACCORDING TO FLOOD INSURANCE RATE MAP #12009C 0608 H, DATED JANUARY 29, 2021 THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE X. (NAVD 1988)

TYPE OF SURVEY:
BOUNDARY

SCALE: 1" = 20'

REVISION: _____
 REVISION: _____
 REVISION: _____
 REVISION: _____
 REVISION: _____
 REVISION: _____

FIELD DATE: 03/20/2026

SECTION 08,
 TOWNSHIP 28 SOUTH,
 RANGE 38 EAST


PROJECT #50897

GENERAL NOTES:

1. THIS SURVEY AND DRAWING HAS BEEN PREPARED TO CONFORM WITH APPLICABLE STANDARD OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES.
2. THIS SURVEY AND DRAWING IS FOR THE SOLE USE AND BENEFIT OF THE PARTIES NAMED HEREON AND FOR THE SPECIFIC PURPOSE AS NOTED, AND SHOULD NOT BE RELIED UPON BY ANY OTHER ENTITY, AND IS NOT TRANSFERABLE UNDER ANY CIRCUMSTANCES.
3. THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE SEAL OF THE FLORIDA LICENSED SURVEYOR, AND REPRODUCTION OF THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE SURVEYOR IS HEREBY FORBIDDEN.
4. NO OPINION OF TITLE OR OWNERSHIP IS HEREBY EXPRESSED OR IMPLIED BY THE SURVEYOR.
5. THIS SURVEY WAS PREPARED FROM INFORMATION FURNISHED TO THE SURVEYOR BY THE CLIENT, AND MAY BE SUBJECT TO EASEMENTS OR LIMITATIONS EITHER RECORDED OR IMPLIED.
6. BEARINGS ARE BASED ON AN ASSUMED DATUM AND ON THE LINE SHOWN AS BEING THE BASIS OF BEARINGS.
7. NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED UNLESS OTHERWISE SHOWN.
8. ELEVATIONS, IF SHOWN, ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988, UNLESS OTHERWISE NOTED.
9. "NO WELLS" AND "NO SEPTICS" ARE DEFINITIONS TO SHOW AN ATTEMPT BY THE SURVEYOR TO LOCATE POSSIBLE EXISTING WELLS AND SEPTICS, HOWEVER NONE WERE FOUND USING STANDARD SURVEY LOCATING EQUIPMENT.

3970 MINTON ROAD, WEST MELBOURNE, FL 32904 L.B. #6623
PHONE: (321)768-8110 FAX: (321)952-9771 EMAIL: frontdesk@aalsurvey.com

LEGEND	
BB	- BEARING BASE
(M)	- MEASURED
(P)	- PLAT
(D)	- DEED
IR	- IRON ROD
IP	- IRON PIPE
N&D	- NAIL AND DISC
N&TT	- NAIL AND TIN TAB
C.M.	- CONCRETE MONUMENT
PRM	- PERMANENT REFERENCE MARKER
LB	- LICENSED BUSINESS
PLS	- PROFESSIONAL LAND SURVEYOR
TBM	- TEMPORARY BENCHMARK
FND.	- FOUND
D	- DELTA
R	- RADIUS
L	- ARC LENGTH
CH	- CHORD LENGTH
CB	- CHORD BEARING
PRC	- POINT OF REVERSE CURVE
P.O.L.	- POINT ON LINE
R/W	- RIGHT OF WAY
WPP	- WOOD POWER POLE
OHW	- OVERHEAD WIRES
E.P.	- EDGE OF PAVEMENT
P.U.	- PUBLIC UTILITY EASEMENT
D.E.	- DRAINAGE EASEMENT
FPL	- FLORIDA POWER & LIGHT
SSM	- SANITARY MANHOLE
UR	- UTILITY RISER
UB	- UTILITY BOX
CONC.	- CONCRETE
WM	- WATER METER
⊕	- WELL
⊙	- CENTERLINE


ANDREW W. POWSHOK
 P.L.S. No. 5383

DANIEL D. GARNER
 P.L.S. No. 6189

Planning and Zoning Meeting

Section: New Business
Meeting Date: May 5, 2026
From: Building Department
RE: Site Plan Approval for 218 Sixth Ave. – Addition

Background Information:

The Town received plans for an addition at 218 Sixth Ave.

Recommendation:

Approve the site plan for 218 Sixth Ave contingent upon the pending Town Engineer report.

Attachments:

- Town Planner Letter – Pages 21-23
- Initial Letter from Town Engineer – Pages 24
- Development Application – Pages 25-27
- Original Plans and Survey – Pages 28-42

Site Plan Review

Applicable Codes:

Town of Melbourne Beach Land Development Code

Current Florida Building Code

Date: May 5, 2026

Owner: Katherine R. Willoughby, and John Drenga

Owner Address: 218 6th Avenue, Melbourne Beach FL 32951

Site Address: 218 6th Avenue, Melbourne Beach FL 32951

Parcel ID: 28-38-08-FY-27-29

Zoning: 3RS - Single-Family

Proposed Project: Construction Master Suite Addition to Existing Single-Family Home

References: Town of Melbourne Beach Code of Ordinances:
7A-33 Single-Family Residential District
7A-51.1, Site Plan Approval For Single-Family Residential Districts

Request: Site Plan Approval in Accordance with 7A-51.1

Staff Review: The property lies in Zoning District 3RS

- 1) The project involves the addition of a master suite to an existing single-family home. The existing 1-story home includes three (3) bedrooms, two (2) baths, living, dining, kitchen, sun-room, and a 1-car garage with a gross area under roof of 1,647.69 square feet. The proposed addition and interior remodeling will result in three (3) bedrooms, three (3) baths, laundry, living, dining, kitchen, sun-room, covered porch and a 1-car garage with a gross area under roof of 2,309.55 square feet.

- 2) The Building Lot Zoning District requirements of min. lot area, width and depth.
 Lot area is 10,125 sq. ft. (min. 10,000 sq. ft.)
 Lot width is 67.5 ft. (min. 90 ft.), nonconforming lot of record.
 Lot depth is 150 ft. (min. 100 ft.)

- 3) Lot coverage has a maximum of 30% for principal structure.
 Lot coverage per plan is 22.81%
 Footprint of Primary Structure is 2,309.55 SF.
 Max allowed for Primary Structure is 3,037.50 sq. ft. for Lot Area of 10,125 sq. ft.
 Minimum pervious area per lot is 30%. Pervious area per plan is 62.1%.

- 4) Structure maximum height for zoning district is 28 ft.
 The proposed height is not indicated on the plans. To scale, the height of the proposed 1-story addition is approximately 12'.
 Flood Zone: X per survey
 FFE: 14.26', for existing and proposed.

Zoning District Setback requirements:

- Existing Primary Structure Front Setback: 27.5' (min. 25'.)
 Proposed Primary Structure Rear Setback (addition): 46.33' (min. 25')
 Proposed Primary Structure West Side Setback (addition): 33.13' (min. 15')
 Proposed Primary Structure East Side Setback (addition): 17.93' (min. 15')
 Existing Primary Structure West Side Setback: 5.4' (min. 15'), existing nonconforming
 Existing Primary Structure East Side Setback 10' (min. 15'), existing nonconforming
 Note that where parts of the existing structure are nonconforming, all of the proposed additions comply with the requirements of the 3RS District.

- 5) Sediment and Erosion control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.
- 6) On-site Storm water Retention Control measures shall be met, as applicable, and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.
- 7) Town Engineer will submit a review of the drainage plan per Ordinance 2019-06. The Town Engineer will require a final inspection before a Certificate of Occupancy will be issued.
- 8) The application did not include a landscape plan, however landscape standards, as applicable, must be met at the time of building permitting.

Based on the above review, the proposed site plan for the referenced property is in compliance with The Town of Melbourne Beach Code of Ordinances.



Corey W. O'Gorman
 Town Planner

218 6th Avenue

IMPERVIOUS		PERVIOUS	
Primary Structure	2129	Open areas	6289
Shed	80		
Driveway and Pavers	1627		
Total Paved Area	3836	Total Pervious	6289
<hr/>		<hr/>	
Total Lot Area	10,125	Total Lot Area	10,125
<hr/>		<hr/>	
% IMPERVIOUS	38%	% PERVIOUS	62%



April 17, 2026

Via E-mail

Mr. Jeffrey Parsons
Town of Melbourne Beach
507 Ocean Avenue
Melbourne Beach, FL 32951
E-mail address: building@melbournebeachfl.org

**Re: 1st Site Plan Review – 218 Sixth Ave
File #11440.100.42**

Dear Jeffrey:

We have reviewed the submittal package provided for the above referenced project. The package was missing the items listed below.

1. Stormwater (drainage) calculations (signed/sealed by EOR)
2. Civil construction plans (signed/sealed by EOR) – note a grading plan was provided from a plan production company which is insufficient.
3. Survey provided does not contain any ground elevations beyond the property line to ensure property grading. Please provide existing elevations 5-10 feet outside the property line including the driveway and Sixth Avenue fronting the lot and driveway connection.

Review of the project will commence upon receipt of these documents. Should you have any questions, feel free to contact me at ASaunders@lja.com.

Very truly yours,

Ana Saunders, P.E.

Ana Saunders, P.E.
Vice President
B.S.E. Consultants, Inc. an LJA company

AS/as
11440.100.42.town.corr.26-as-1968.apr



**TOWN OF MELBOURNE BEACH
DEVELOPMENT APPLICATION**

I. SUBMITTAL REQUIREMENTS:

1. Fees per current schedule.
2. Deed to property.
3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting.
4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

II. REQUEST:

- | | |
|---|--|
| <input type="checkbox"/> Land Use Plan Amendment | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Special Exception | <input type="checkbox"/> Coastal Construction Variance |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Appeal (Application must be filed within 30 days) |
| <input type="checkbox"/> Site Plan Review Single Family (1RS, 2RS, 3RS) | <input type="checkbox"/> Site Plan Review Multifamily (4RM, 5RMO) |
| <input type="checkbox"/> Site Plan Review Commercial (6B, 7C, 8B, 9I) | <input type="checkbox"/> Amendment to the Land Development Code |
| | <input type="checkbox"/> Other (specify) _____ |

III. PROPERTY INFORMATION:

General Location: _____

Address: 218 Sixth Ave Melbourne Beach, Fl. 32951

Parcel Number(s): Lot 29 Blk 7

Area (in acreage): .23 Area (in square feet): 10,019

Current Zoning: _____ Proposed Zoning: _____

Current Future Land Use: _____ Proposed Future Land Use: _____

Brief Description of Application: Adding a master suite addition

Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable): _____

IV. APPLICANT INFORMATION:

Property Owner

Name: ^{JD} ~~Katherine Willoughby~~ JOHN DRENCA

Phone: 561-386-4517

Address: 218 Sixth Ave. Melbourne Beach, FL 32951

Fax: _____

Email: kw@kwill.me

Applicant (if other than property owner)

Name: JOHN DRENCA

Phone: 561-268-6197

Address: 218 6TH AVE

Fax: _____

MELBOURNE BEACH, FL
32951

Email: john_drenca@yahoo.com

V. OWNER AUTHORIZATION:*

The undersigned hereby affirms the following:

1. That I/we are the fee simple title owner/contract purchaser (circle one) of the property described in this application.
2. That I/we have read and understands the entire application and concurs with the request.
3. That I/we have appointed the Applicant to represent the application, and empowers the Applicant to accept any and all conditions of approval imposed by the Town of Melbourne Beach.

Signature: [Signature]

Date: 4/5/26

Print Name: JOHN DRENCA

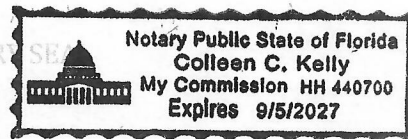
Title: OWNER

*Must sign in front of notary.

State of Florida
County of Brevard.

The foregoing application is acknowledged before me this 5th day of April, 2024, by John Drenca who is/are personally known to me, or who has/have produced _____ as identification.

[Signature]
Signature of Notary Public, State of Florida



VI. APPLICANT CERTIFICATION:*

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

Signature: *[Handwritten Signature]* Date: 4/15/26

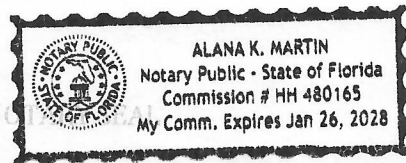
Print Name: DAVID SILVER Title: CONTRACTOR

*Must sign in front of notary.

State of Florida
County of Brevard.

The foregoing application is acknowledged before me this 15th day of APRIL, 2026, by DAVID SILVER, who is/are personally known to me, or who has/have produced FLORIDA DRIVERS LICENSE as identification.

[Handwritten Signature]
Signature of Notary Public, State of Florida



VII. PROJECT DESCRIPTION:

Describe Application: Adding a master suite addition onto the rear of the home.

Provide attachment if more space is needed.

Describe Existing Conditions: _____

Provide attachment if more space is needed.

Scaled To Sheet: ARCH D (24" x 36")

Standards - Abbreviations

Table with 2 columns: Abbreviation and Full Name. Includes entries like @ Pound or Number, A.B. Anchor Bolt, A.F.F. Above Finish Floor, etc.

Applicable Codes

Building Code: 2023 Florida Building Code, Building 8th Edition
Mechanical Code: 2023 Florida Building Code, Mechanical 8th Edition
Plumbing Code: 2023 Florida Building Code, Plumbing 8th Edition
Electrical Code: NEC 2020 and NFPA 70
Fire Code: 2023 8th Edition Fire Prevention or NFPA 101 2021
Accessibility Code: 2023 Florida Building Code, Building 8th Edition
Energy Code: 2023 Florida Building Code, Building 8th Edition
Method of Design: ASCE 7-22

Standards - Exterior Deck and Patio

Decks shall be designed and constructed in accordance with FBC Section R507. All structural elements including footings, posts, beams, joists, and connections shall conform to the prescriptive requirements of FBC or shall be designed by a registered design professional.
Deck footings shall extend below the frost line or to a minimum depth of 12 inches in regions without frost, and shall bear on undisturbed soil or engineered fill per FBC R403.1.4 and R507.3.
Deck ledger connections to existing structures shall comply with IRC Table R507.9.1.3, including required fastener size, spacing, and corrosion resistance. Flashing shall be installed at all points where the deck attaches to the dwelling to prevent water intrusion.
Guardrails shall be installed on all decks or patios that are 30 inches or more above grade at any point within 36 inches horizontally. Guards shall be a minimum of 36 inches in height and designed to resist a 200 lb point load in any direction per FBC R312.1 and Table R301.5.
Guard infill elements, including pickets or rails, shall be spaced such that a 4-inch diameter sphere cannot pass through any opening.
Stairways serving decks shall have a maximum riser height of 7 1/4 inches and a minimum tread depth of 10 inches, with consistent dimensions throughout the flight per FBC R311.7.
Handrails shall be installed on at least one side of all stairways with four or more risers and shall be 34 to 38 inches above stair nosings. Handrails shall be continuous, graspable, and have a clearance of at least 1 1/2 inches from adjacent surfaces (FBC R311.7.8).

Standards - General

Contractor shall verify that all site conditions are consistent with the contract drawings prior to beginning any work. Work not specifically detailed shall be constructed to match the quality and intent of similar detailed components. All work shall be performed in accordance with the applicable provisions of the International Building Code (IBC), International Residential Code (IRC), and all adopted local amendments (Florida Building Code (FBC)).
Written dimensions and specific notes shall take precedence over scaled measurements and general notes. The architect or engineer of record shall be consulted for clarification if actual site conditions deviate from the drawings, if discrepancies are found, or if questions arise regarding design intent. The contractor shall be responsible for verifying and confirming all field dimensions, including rough openings.
Each sleeping room shall be provided with at least one emergency egress window or door with a minimum net clear opening of 5.7 square feet, a minimum width of 20 inches, and a sill height not more than 44 inches above the finished floor, per FBC R310.
Safety glazing shall be installed where required by FBC R308.4, including:
- Within 18 inches of the floor
- Within 24 inches of a door
- Within 60 inches of the floor of a bathtub or shower
- Within 60 inches of a stair landing
- When the glass area exceeds 9 square feet in any location described above
 Skylights shall be glazed with tempered glass on the exterior and laminated glass on the interior, unless constructed from approved plastic glazing. Clear spans shall not exceed 25 inches unless specifically engineered. Skylight frames shall be mounted on a 2x curb extending at least 4 inches above the roof surface.
All bathtub and shower enclosures shall be constructed with safety glazing conforming to ANSI Z97.1 or CPSC 16 CFR 1201.
All exterior windows shall be double-glazed units. All exterior doors shall be solid core with full weatherstripping. Provide 1/2 inch deadbolt locks at all exterior doors, and secure all operable doors and windows located within 10 feet vertically of finished grade. Provide a peephole at each main exterior entry door, located 54 to 66 inches above finished floor.
Smoke alarms shall be installed in every sleeping room, in the corridor outside each sleeping area, and on every level of the dwelling including basements. All smoke alarms shall be hardwired, interconnected, and provided with battery backup, per FBC R314.
Carbon monoxide alarms shall be installed outside of each sleeping area, on every occupiable level, and in any room containing a fuel-burning appliance or adjacent to an attached garage. Alarms shall be hardwired with battery backup in accordance with FBC R315.
Combustion air shall be provided for gas fireplaces and all other gas- or fuel-burning appliances, including screened openings and backdraft dampers where required, in accordance with the International Fuel Gas Code (IFGC) or IRC Chapter 24.
Bathrooms and utility rooms shall be ventilated to the exterior with mechanical exhaust fans capable of providing no less than five air changes per hour, per FBC M1505.4. Exhaust fans shall be ducted directly to the outdoors and include backdraft dampers.
Kitchen range hoods shall be ducted to the exterior in accordance with FBC M1503. Ducts shall not terminate in attics, crawlspaces, or interstitial spaces.
All electrical receptacles installed in kitchens, bathrooms, garages, unfinished basements, laundry areas, and outdoors shall be protected by ground-fault circuit-interrupters (GFCIs) per NEC 210.8.
Access doors and hatches to attics and crawlspaces shall be insulated to match the thermal resistance of the surrounding wall, floor, or ceiling assembly. Unless otherwise noted:
- Attic insulation: R-38
- Exterior wall insulation: R-19
- Floor insulation over unconditioned space: R-15
Crawlspaces shall be vented in accordance with FBC R408. Provide minimum ventilation area or design to allow for unvented conditioned space with vapor barrier and perimeter insulation if applicable.
Special inspections, testing, and documentation shall be performed in accordance with IBC Chapter 17. Inspection programs shall be developed and agreed upon by the owner, architect, engineer, and building official prior to the start of construction.
Special Inspector Responsibilities:
- Monitor work for conformance with approved drawings and specifications
- Notify the contractor and building official of any observed discrepancies
- Provide written inspection reports to the owner, architect, engineer, contractor, and authority having jurisdiction
- Submit a final compliance report indicating if the inspected work meets the approved construction documents and code requirements

Standards - Code Notes

All vapor barrier joints, edges, punctures, and penetrations shall be sealed with approved vapor-retardant tape to form a continuous vapor retarder, in accordance with FBC Section R702.7 and IECC Section R402.4.
Seal the entire perimeter of each window and door unit using continuous insulation and vapor retarder, ensuring full coverage and continuity of the building envelope as required by FBC and manufacturer installation instructions.
Install self-adhered or mechanically fastened flashing at all exterior openings, including window and door heads and sills. Flashing shall be integrated into the water-resistive barrier to provide complete waterproofing per FBC R703.4 and manufacturer instructions.
All wall surfaces shall be made flush and smooth prior to application of paint, wall finishes, or coverings, per ASTM standards and industry best practice.
Floors, walls, and ceilings enclosing bathrooms shall be insulated to reduce airborne sound transmission, in accordance with FBC Section R302.10 or per project-specific acoustic design requirements.
All interior finishes shall meet a minimum Class B flame spread index in accordance with IBC Section 803.1.1 or FBC R302.9, tested per ASTM E84 or UL 723.
Shower and tub/shower walls shall have a smooth, hard, and nonabsorbent surface to a minimum height of 72 inches above the drain inlet. The substrate shall be fiber cement board or equivalent water-resistant backing material compliant with FBC R307 and manufacturer instructions.
Glazing shall be tempered safety glass in compliance with FBC R308.4, including but not limited to:

Standards - Mechanical

1. All environmental air ducts shall be a minimum of 3' from any openings ie. doors, windows, operable skylights, or attic vents, into the building including dryers, bath and utility exhaust.
2. Where a furnace is located in the attic, provide the following:
a. 30" x 30" attic access
b. 30" x 30" clear working area in front of furnace
c. Solid 24" wide platform path from the access point to the furnace
d. Provide a light fixture and a permanent convenience outlet at the furnace. Locate light switch at access opening

Standards - Special

Bathroom exhaust fans shall be ducted directly to the exterior, controlled by a humidistat, and shall be Energy Star certified.
Exhaust fans shall provide a minimum airflow of 50 CFM intermittent or 25 CFM continuous. Continuous fans shall have a sound rating not greater than 1.0 sone. Intermittent fans shall not exceed 3.0 sones. Each fan shall be equipped with a backdraft damper.
Plumbing fixtures shall comply with the following maximum flow rates:
- Showerheads: 1.8 gallons per minute (GPM) at 80 psi
- Residential lavatory faucets: 1.2 GPM at 60 psi
- Kitchen faucets: 1.8 GPM at 60 psi
- Gravity tank-type water closets: 1.28 gallons per flush
All plumbing fixtures shall be labeled as WaterSense certified where applicable.

Standards - Special

Bathroom exhaust fans shall be ducted directly to the exterior, controlled by a humidistat, and shall be Energy Star certified.
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- Kitchen faucets: 1.8 GPM at 60 psi
- Gravity tank-type water closets: 1.28 gallons per flush
All plumbing fixtures shall be labeled as WaterSense certified where applicable.

Standards - Glazing

Glazing in the following locations shall be safety glazing conforming to the human impact loads as required by IRC Section R308.4:
- Fixed and operable panels of swinging, sliding, and bifold door assemblies
- Glazing in an individual fixed or operable panel adjacent to a door where the nearest vertical edge is within a 24-inch arc of the door in a closed position, and the bottom edge is less than 60 inches above the floor or walking surface
- Glazing with all of the following: exposed area greater than 9 square feet, bottom edge less than 18 inches above the floor, top edge more than 36 inches above the floor, and located within 36 inches horizontally of a walking surface
- Glazing in railings
- Glazing in walls facing hot tubs, saunas, steam rooms, showers, or bathtubs where the bottom edge is less than 60 inches above the standing or walking surface
- Glazing in walls and fences adjacent to swimming pools, spas, and hot tubs, when less than 60 inches above a walking surface and within 60 inches horizontally of the water's edge
- Glazing adjacent to stairways, landings, and ramps where the bottom edge is less than 36 inches above the walking surface
- Glazing adjacent to the landing at the bottom of a stairway when less than 36 inches above the landing and within 60 inches horizontally of the bottom tread
Skylights and sloped glazing shall comply with IRC Section R308.6.

Standards - Disclaimer

To the best of our knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The [CONTRACTOR] shall verify all dimensions and enclosed drawing. Southern Integrity Enterprises, Inc. is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The [CONTRACTOR] of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

These drawings are the proprietary product and property of Southern Integrity Enterprises, Inc., developed for the exclusive use of the named, [CONTRACTOR] named on the permit documents. Use of these drawings and concepts contained therein without the written permission of Southern Integrity Enterprises, Inc. is prohibited and may subject you to a claim.
Homeowner will take necessary precautions to remove or relocate items of value to be reused and/or saved, which may be in danger of being damaged due to the construction process. Homeowner should discuss any items in or near the work zone with Designer and/or Contractor to assure they are removed or protected. Homeowner is responsible for protecting all pets. All pets should be isolated to another part of the house or temporarily housed off the premises (which is often better for the animals) to protect from loud noises and equipment.

Design Loads table with columns: Load Type, Load. Includes entries like Attic Dead Loads (10 PSF), Floor Live Loads (40 PSF), Guards In-fill Components (50 PSF), etc.

Page Index table with columns: Label, Title. Includes entries like G-1 General Spec and Project, G-2 Plot Plan, A101 Existing/Demo Plan, etc.

REVISION HISTORY table with columns: REV, DATE, BY, DESCRIPTION

Sheet Title: General Spec and Project

Plan Scale: AS NOTED

Client: 25-110 Kathy Willoughby & John Drenka, 218 Sixth Ave., Melbourne Beach, FL 32951

Southern Integrity Enterprises, Inc. 1340 Athens Dr. NE, Palm Bay, FL 32909, (321) 209-1001, E-Mail: info@southernintegrityhomes.com, Web: www.southernintegrityhomes.com



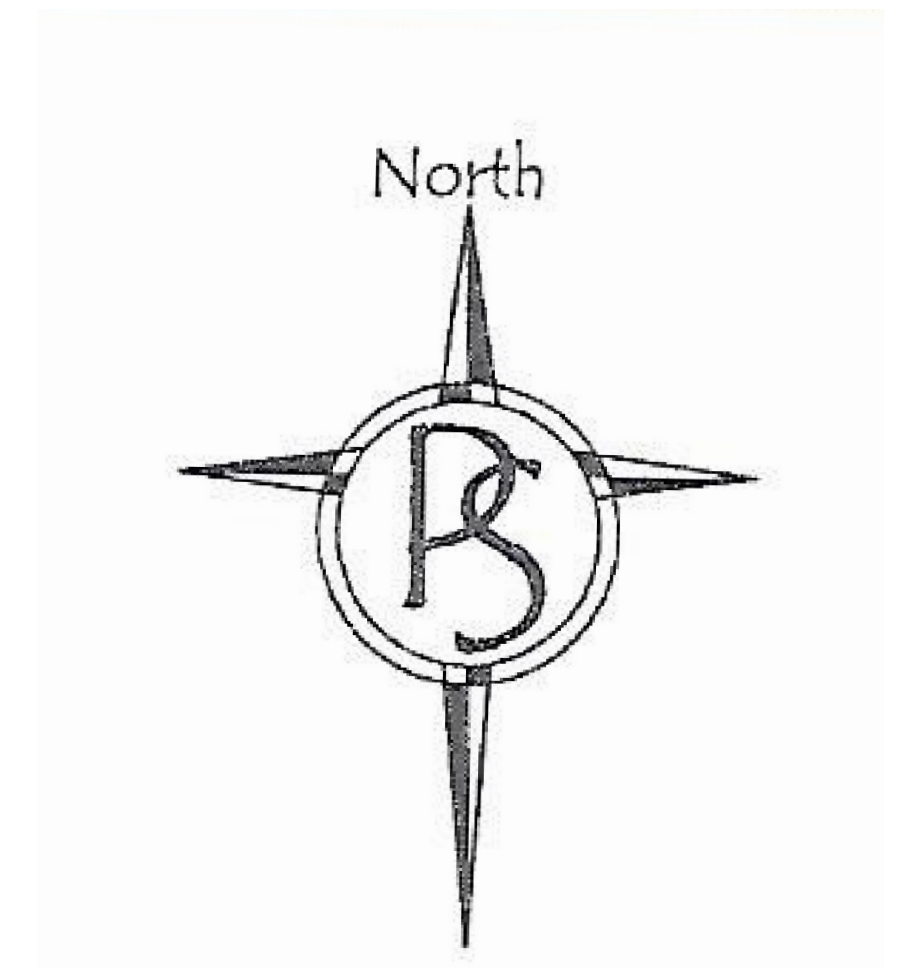
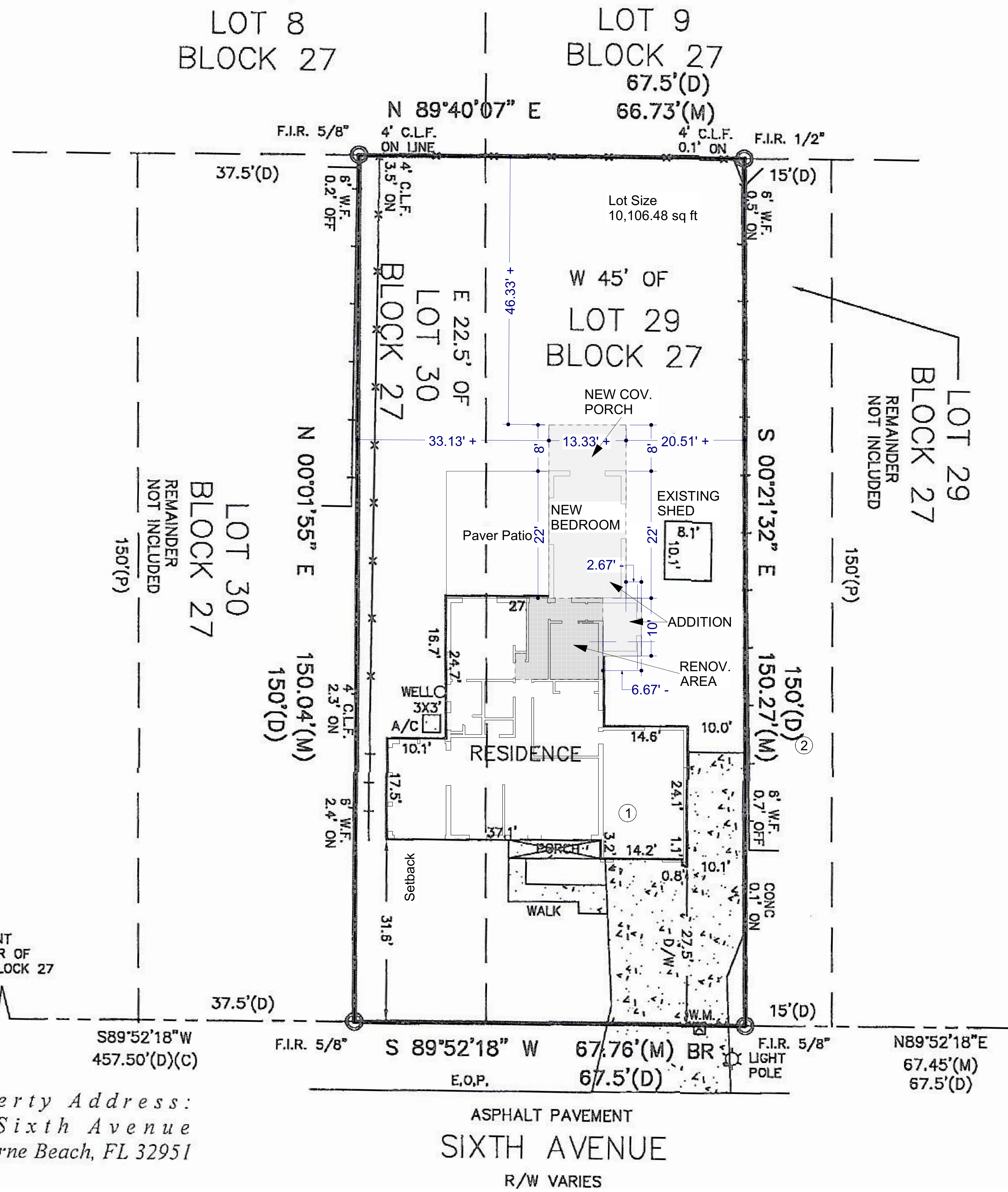
Rev:

Date: 2/19/2026

Sheet: G-1

LEE SMITH ENGINEERING SERVICES GROUP, LLC

PROFESSIONAL ENGINEER State of Florida, Registration #36177, 391 W. Alfred St. CA#8886, Tavares, FL 32778, Ph: (352)388-1735



Legal Description
 The West 45 feet of Lot 29 and East 22.5 feet of Lot 30, Block 27, WILCOX PLAT OF MELBOURNE BEACH, according to the plat thereof, as recorded in Plat Book 1, Page(s) 58, of the Public Records of Brevard County, FL.

CALC. POINT
 SW CORNER OF
 LOT 37, BLOCK 27
 PI

Property Address:
 218 Sixth Avenue
 Melbourne Beach, FL 32951

Proposed Plot Plan
 Scale: 1in = 10'-0"

LEE SMITH
 ENGINEERING SERVICES
 GROUP, LLC
 PROFESSIONAL ENGINEER
 State of Florida
 Registration #36177
 391 W. Alfred St. CA#8886
 Tavares, FL 32778
 Ph: (352)388-1735

REV	DATE	BY	DESCRIPTION

Sheet Title:
 Plot Plan

Plan Scale:
 AS NOTED

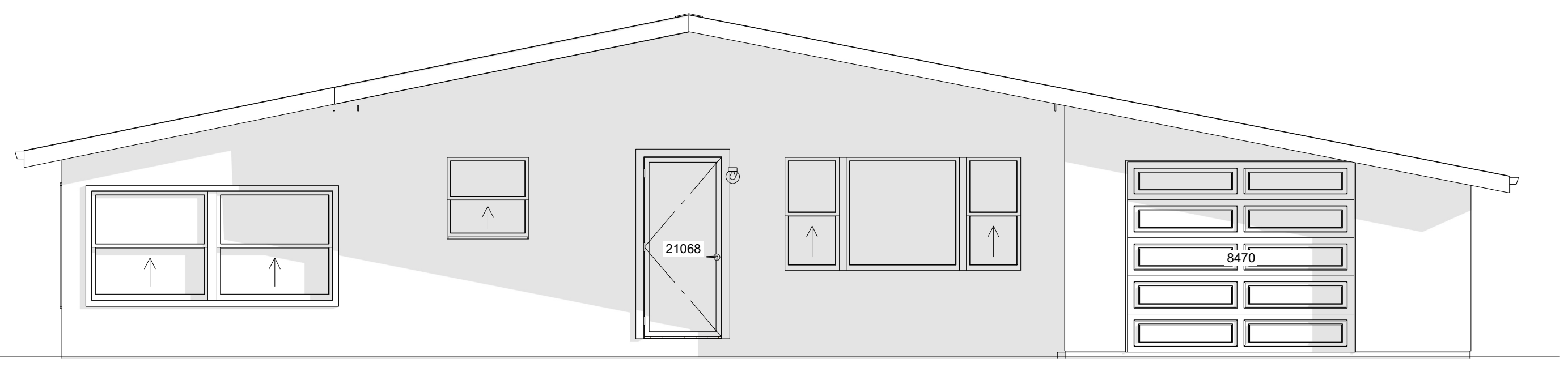
Client:
 25-110 Kathy Willoughby & John Drenka
 218 Sixth Ave.,
 Melbourne Beach, FL 32951

Southern Integrity Enterprises, Inc.
 1340 Athens Dr. NE
 Palm Bay, FL 32907
 (321) 209-1001
 E-Mail: info@southernintegrityhomes.com
 Web: www.southernintegrityhomes.com

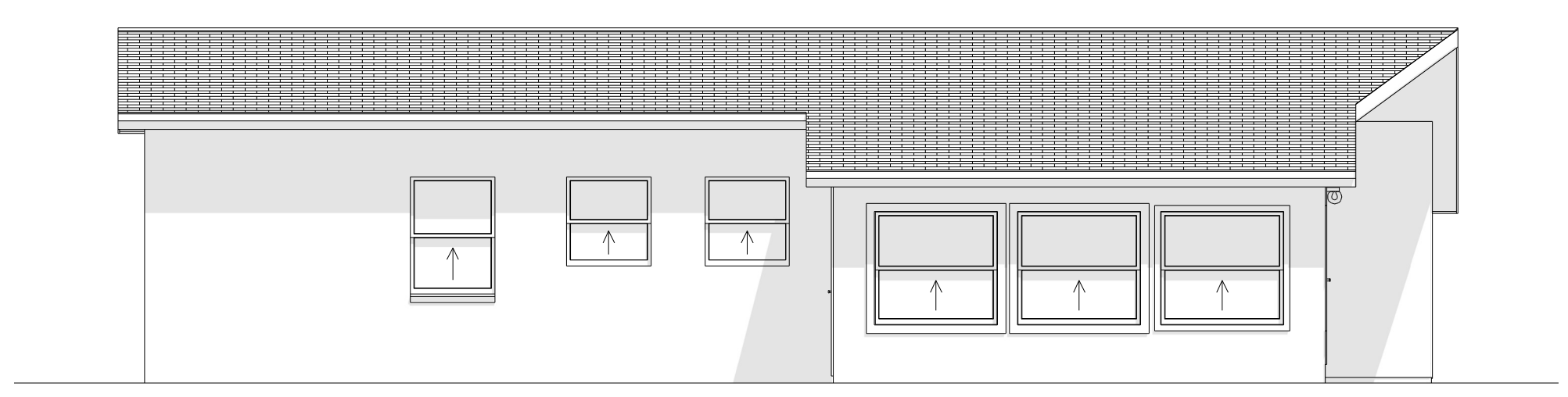
Rev:
 Date:
2/19/2026
 Sheet:
G-2

Scaled To Sheet: ARCH D (24" x 36")

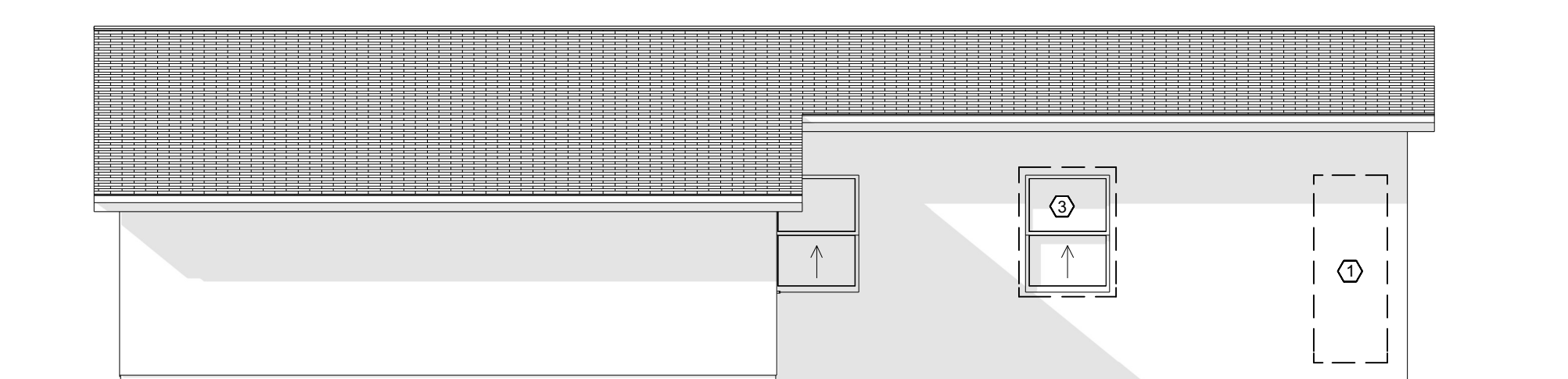
Callout	Keynotes-Demo
①	REMOVE CMU WALL FOR OPENING
②	REMOVE WALL
③	REMOVE WINDOW & FILL IN W/ NEW CMU PER DETAIL - EXISTING HEADER TO REMAIN
④	REMOVE WINDOW & WALL BELOW - FILL IN W/ NEW CMU PER DETAIL - SEE PROPOSED FLOOR PLAN FOR DETAILS - EXISTING HEADER TO REMAIN



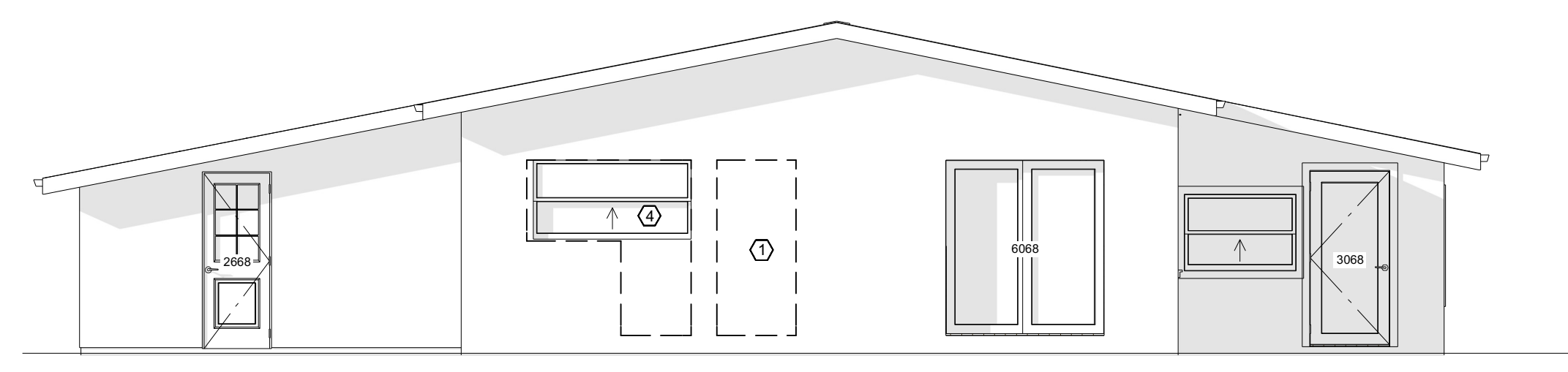
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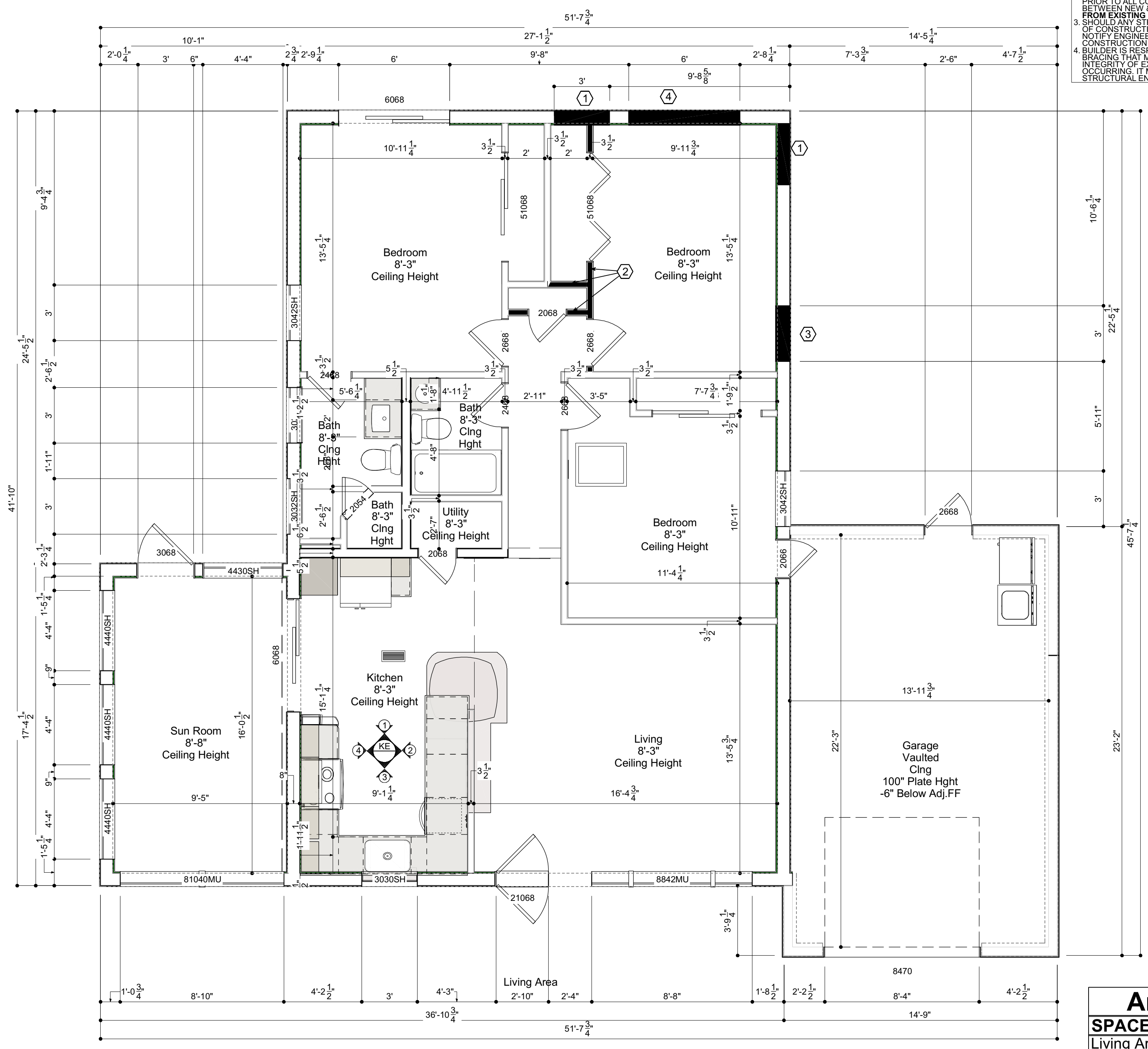
Existing Left Elevation
Scale: 3/16in = 1'-0"



Existing Right Elevation
Scale: 3/16in = 1'-0"



Existing Rear Elevation
Scale: 3/16in = 1'-0"



Existing Main Level Floor Plan
Scale: 1/4in = 1'-0"

GENERAL DEMOLITION NOTES

- SOME STRUCTURAL COMPONENTS DESIGNATED ON THIS PLAN MAY REQUIRE MODIFICATIONS PENDING ENGINEERING FIELD INSPECTION DURING CONSTRUCTION.
- ALL DIMENSIONS SHOWN THROUGHOUT THE PLAN ARE APPROXIMATE. BUILDER MUST FIELD VERIFY ALL EXACT EXISTING CONDITIONS PRIOR TO ALL CONSTRUCTION BEGINNING TO ENSURE COMPATIBILITY BETWEEN NEW & EXISTING STRUCTURE. DIMENSIONS MEASURED FROM EXISTING WALLS ARE FROM SURFACE MATERIALS.
- SHOULD ANY STRUCTURAL CONDITIONS OCCUR DURING THE COURSE OF CONSTRUCTION NOT DEPICTED IN THESE DRAWINGS, BUILDER TO NOTIFY ENGINEER OF RECORD IMMEDIATELY PRIOR TO FURTHER CONSTRUCTION COMMENCING.
- BUILDER IS RESPONSIBLE FOR ANY TEMPORARY SHORING OR BRACING THAT MAY BE NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE PRIOR TO ANY DEMOLITION OCCURRING. IT MAY BE NECESSARY TO OBTAIN DETAILS FROM STRUCTURAL ENGINEER FOR TEMPORARY STRUCTURAL DESIGN.

Area Calculations	
SPACE	AREA
Living Area	1311.87
Garage Area	335.82
Totals:	1647.69

REV	DATE	BY	DESCRIPTION

Sheet Title:
Existing/Demo Plan

Plan Scale:
AS NOTED

Client:
25-110 Kathy Willoughby & John Drenka
218 Sixth Ave.,
Melbourne Beach, FL 32851

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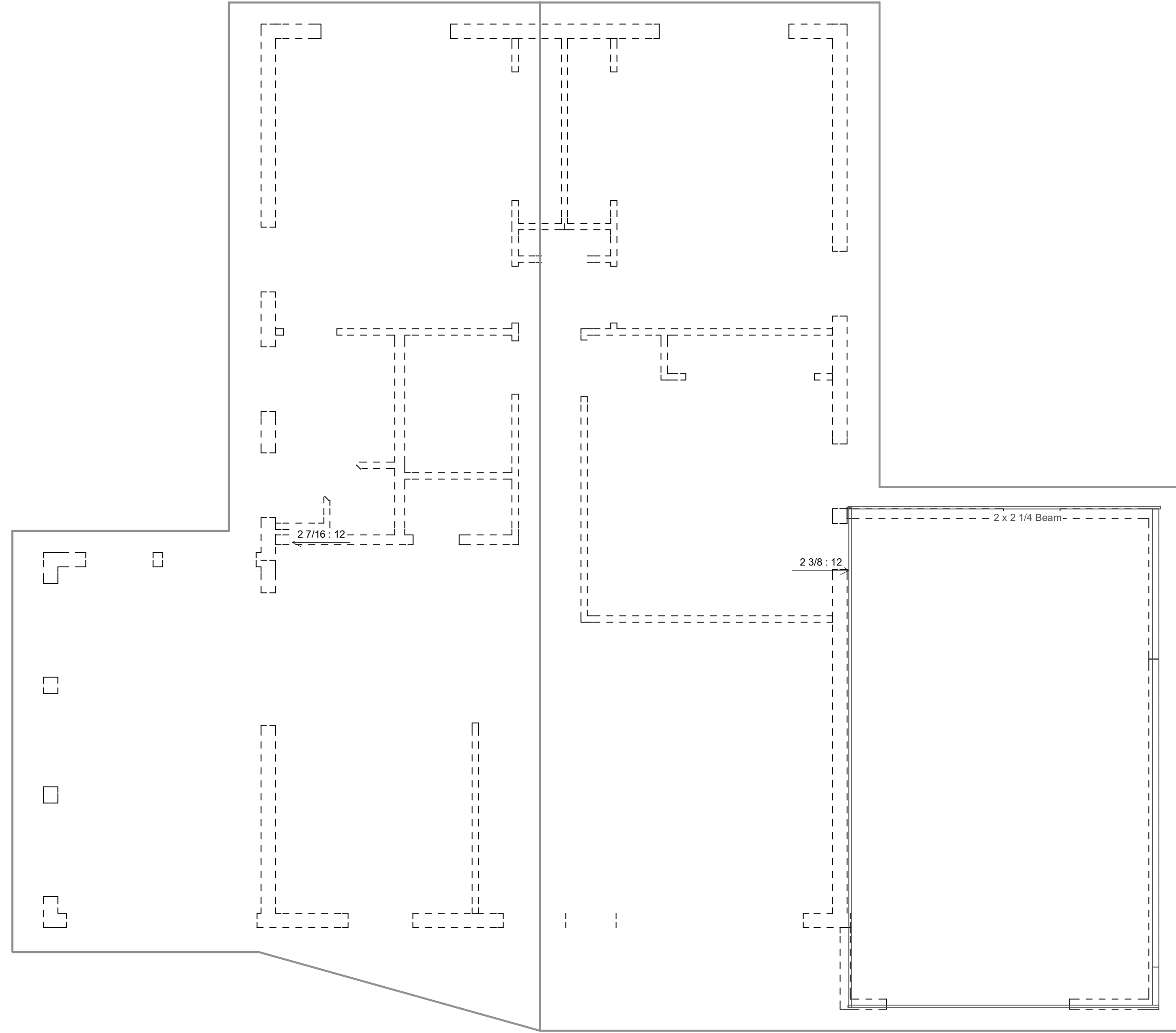
Rev:

Date:
2/19/2026

Sheet:
A101

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PROFESSIONAL ENGINEER
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Existing Framing, Roof Plan
 Scale: 1/4in = 1'-0"

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REV	DATE	BY	DESCRIPTION

Sheet Title:
 Existing Roof Plan

Plan Scale:
 AS NOTED

Client:
 25-110 Kathy Willoughby & John Drenka
 218 Sixth Ave.,
 Melbourne Beach, FL 32851

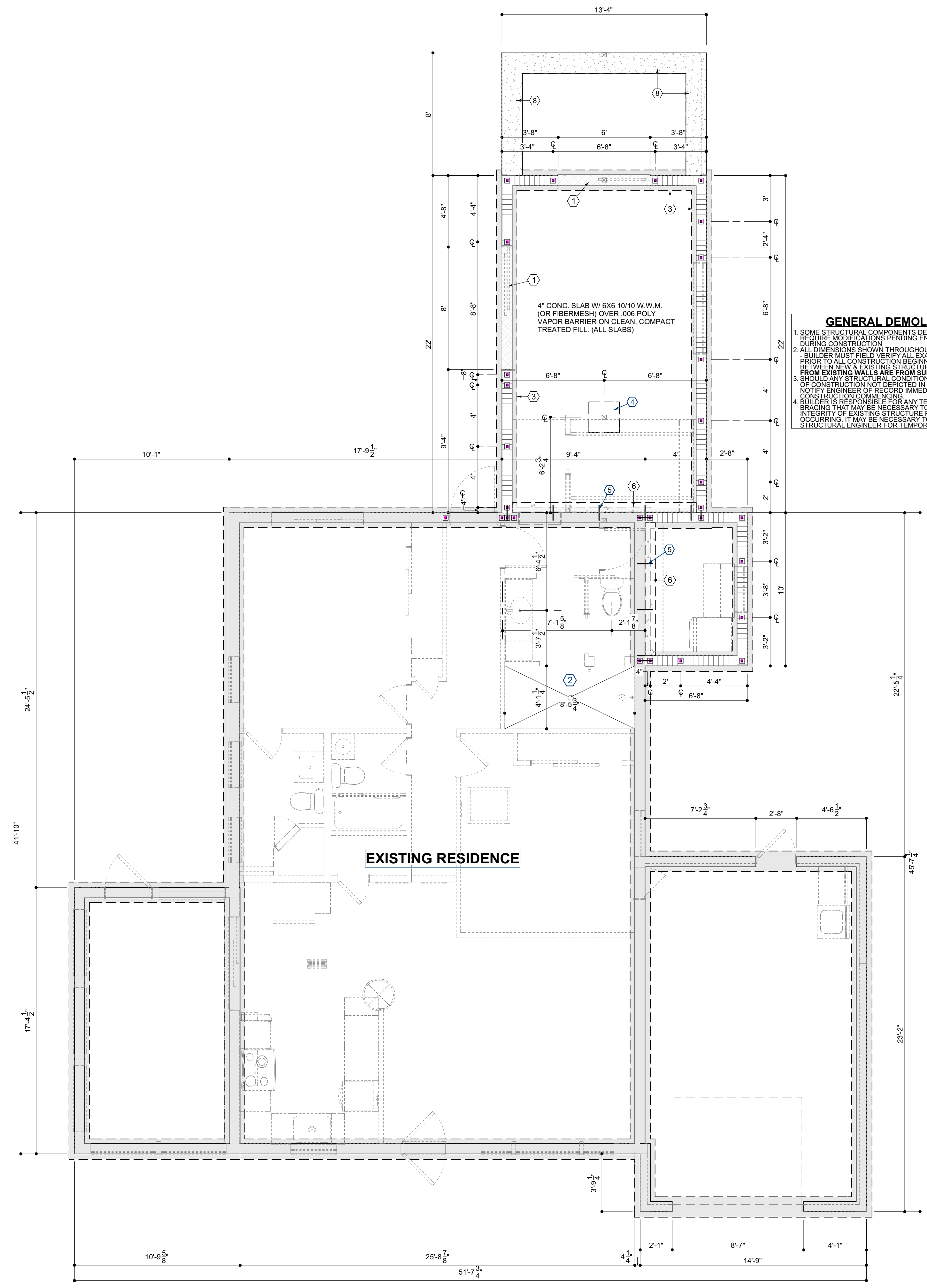
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Date:
 2/19/2026

Sheet:
 A102

Scaled To Sheet: ARCH D (24" x 36")



GENERAL DEMOLITION NOTES

- SOME STRUCTURAL COMPONENTS DESIGNATED ON THIS PLAN MAY REQUIRE MODIFICATIONS PENDING ENGINEERING FIELD INSPECTION DURING CONSTRUCTION.
- ALL DIMENSIONS SHOWN THROUGHOUT THE PLAN ARE APPROXIMATE. BUILDER MUST FIELD VERIFY ALL EXACT EXISTING CONDITIONS PRIOR TO ALL CONSTRUCTION BEGINNING TO ENSURE COMPATIBILITY BETWEEN NEW & EXISTING STRUCTURE. DIMENSIONS MEASURED FROM EXISTING WALLS ARE FROM SURFACE MATERIALS.
- IF ANY STRUCTURAL CONDITIONS OCCUR DURING THE COURSE OF CONSTRUCTION NOT DETICED IN THESE DRAWINGS, BUILDER TO NOTIFY ENGINEER OF RECORD IMMEDIATELY PRIOR TO FURTHER CONSTRUCTION COMMENCING.
- BUILDER IS RESPONSIBLE FOR ANY TEMPORARY SHORING OR BRACING THAT MAY BE NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE PRIOR TO ANY DEMOLITION OCCURRING. IT MAY BE NECESSARY TO OBTAIN DETAILS FROM STRUCTURAL ENGINEER FOR TEMPORARY STRUCTURAL DESIGN.

Callout	Keynotes-Foundation
①	PROVIDE 1 3/4" RECESS @ S.G.D. (SEE DETAIL 44)
②	SEE DETAIL FOR FOUNDATION SPEC.
③	16" X 8" Poured Conc. Foot'g w/ 2 # 5 Rebar 25" lap min.
④	24" X 24" X 12" CONC. PAD (TYP.) W/ 5 #5 REBAR EACH WAY
⑤	(1) 12" LONG #5 REBAR DRILLED & EPOXY INTO EXISTING SLAB/FOOT'G W/ 4" EMBED. @ 36" O.C. (TYP.)
⑥	8" Conc. Thickened Edge w/ (1) # 5 Rebar Cont.
⑧	16" x 20" MONOLITHIC POUR W/ 2 # 5 REBAR CONT. W/25" LAP MIN.

REV	DATE	BY	REVISION HISTORY	DESCRIPTION

Sheet Title:
Proposed Foundation Plan

Plan Scale:
AS NOTED

Client:
25-110 Kathy Willoughby & John Drenga
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2/19/2026

Sheet:
A103

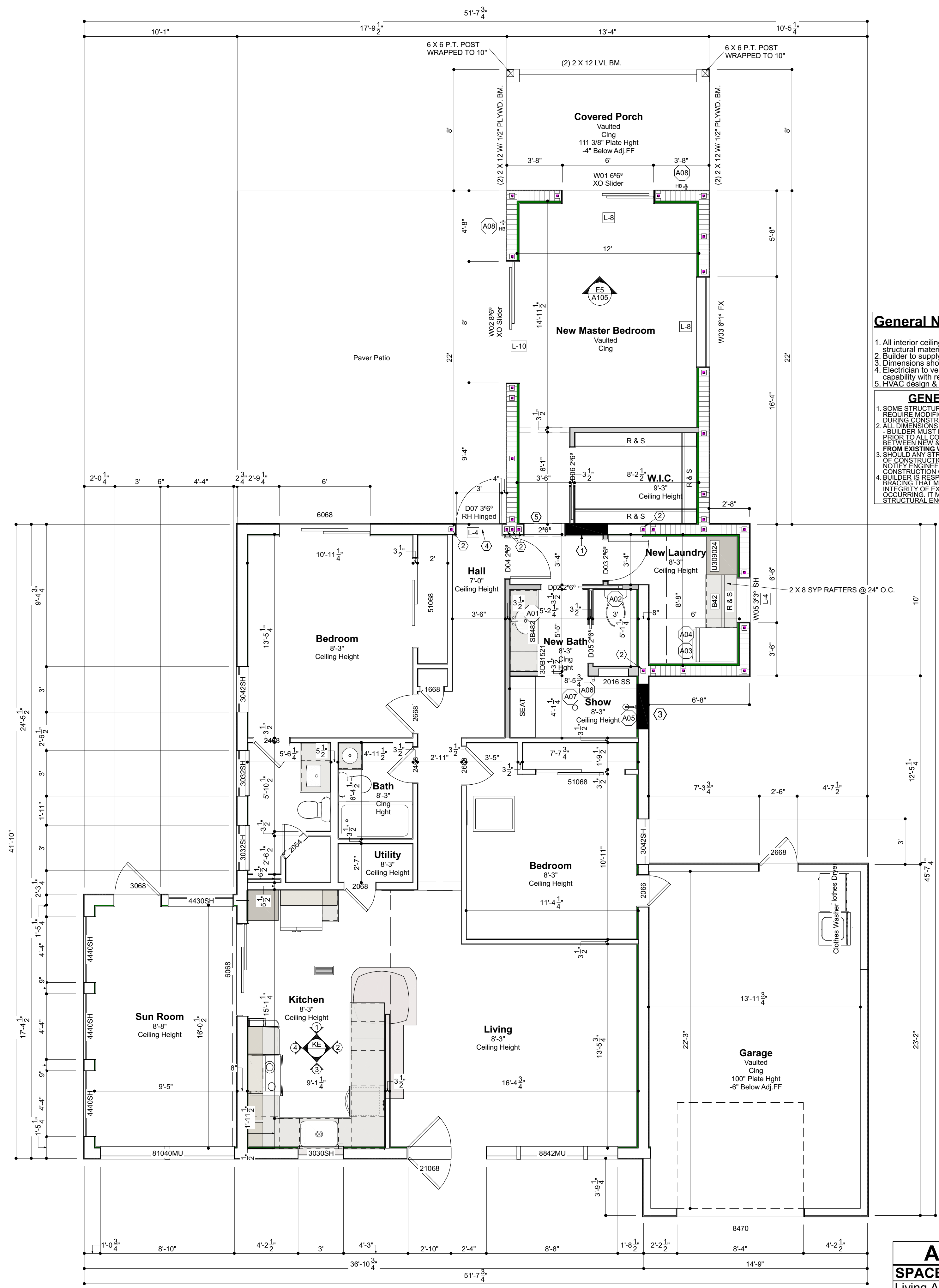
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Proposed Foundation Plan
Scale: 1/4in = 1'-0"

Scaled To Sheet: ARCH D (24" x 36")

FIXTURE SCHEDULE				
Num.	2D Sym.	Qty	Label	Comments
A01		1	Oval Undermount Sink [20 3/4W]	
A02		1	K-11451	
A03		1	Clothes Washer 3	
A04		1	Clothes Dryer 3	
A05		1	Retro Head	
A06		1	Hoop Handle	
A07		1	Round Drain - Large Round Slotted	
A08		2	Hose Bibb	



General Notes

- All interior ceiling heights shown are to approx. finished surfaces not to structural materials.
- Builder to supply all rough door & window opening sizes.
- Dimensions shown are from rough framing to rough framing U.O.
- Electrician to verify electrical service & panel sizes & specs to ensure capability with required loads.
- HVAC design & specs by others.

GENERAL DEMOLITION NOTES

- SOME STRUCTURAL COMPONENTS DESIGNATED ON THIS PLAN MAY REQUIRE MODIFICATIONS PENDING ENGINEERING FIELD INSPECTION DURING CONSTRUCTION.
- ALL DIMENSIONS SHOWN THROUGHOUT THE PLAN ARE APPROXIMATE. BUILDER MUST FIELD VERIFY ALL EXACT EXISTING CONDITIONS PRIOR TO ALL CONSTRUCTION BEGINNING TO ENSURE COMPATIBILITY BETWEEN NEW & EXISTING STRUCTURE. DIMENSIONS MEASURED FROM EXISTING WALLS ARE FROM SURFACE MATERIALS.
- SHOULD ANY STRUCTURAL CONDITIONS OCCUR DURING THE COURSE OF CONSTRUCTION NOT DEPICTED IN THESE DRAWINGS, BUILDER TO NOTIFY ENGINEER OF RECORD IMMEDIATELY PRIOR TO FURTHER CONSTRUCTION COMMENCING.
- BUILDER IS RESPONSIBLE FOR ANY TEMPORARY SHORING OR BRACING THAT MAY BE NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE PRIOR TO ANY DEMOLITION OCCURRING. IT MAY BE NECESSARY TO OBTAIN DETAILS FROM STRUCTURAL ENGINEER FOR TEMPORARY STRUCTURAL DESIGN.

Area Calculations	
SPACE	AREA
Living Area	1311.87
Renovated Area	195.12
New Living Area	360.07
New Cov. Porch	106.67
Garage Area	335.82
Totals:	2309.55

Callout		Keynotes-Floor Plan	
①	FRAME IN EXISTING WINDOW OPENING - SEE EXISTING ELEVATION - EXISTING HEADER TO REMAIN	①	IF THERE IS NO EXISTING VERT. FILLED CELL, APPLY (1) #6 ROD EMBEDMENT 6" INTO SLAB/FOOTG & TIE BM. & POUR CELL W/ 3000 psi CONC. USE SIMPSON EPOXY. #ET LAPS @ 25" MIN.
②	FILL IN W/ CMU - SEE DETAIL - HEADER TO REMAIN	②	INSTALL NEW CMU LINTEL ABOVE
③	EXISTING HEADER TO REMAIN	③	

Door Schedule						
3D Ext. Elev.	Num.	Qty	Floor	Size	Description	Comments
	D01	1	1	1668 R IN	Hinged-Door P04	
	D02	1	1	2868 L	Pocket-Door P04	
	D03	1	1	2868 L IN	Hinged-Door P04	
	D04	1	1	2868 R IN	Hinged-Door P04	
	D05	1	1	2668 R	Pocket-Door P04	
	D06	1	1	2668 L	Pocket-Door P04	
	D07	1	1	3068 R EX	Ext. Hinged-Glass Panel	

Window Schedule								
Image	Num.	Label	Size	Qty	Top	Temp.	Egress	Comments
	W01	RO 74" x 83"	6068 L EX	1	80"		Yes	
	W02	RO 98" x 83"	8068 L EX	1	80"		Yes	
	W03	N/A	6014FX	1	80"			
	W05	N/A	3030SH	1	80"			

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Rev: _____

Date: 2/19/2026

Sheet: A104

Professional Engineer: LEE SMITH
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Sheet Title: Main Floor Plan Level

Plan Scale: AS NOTED

Revision History:

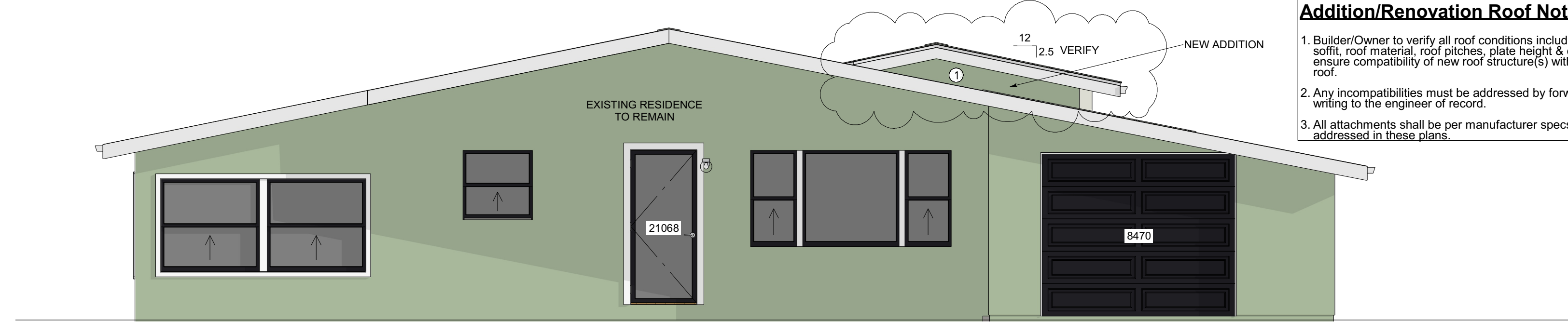
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Scaled To Sheet: ARCH D (24" x 36")

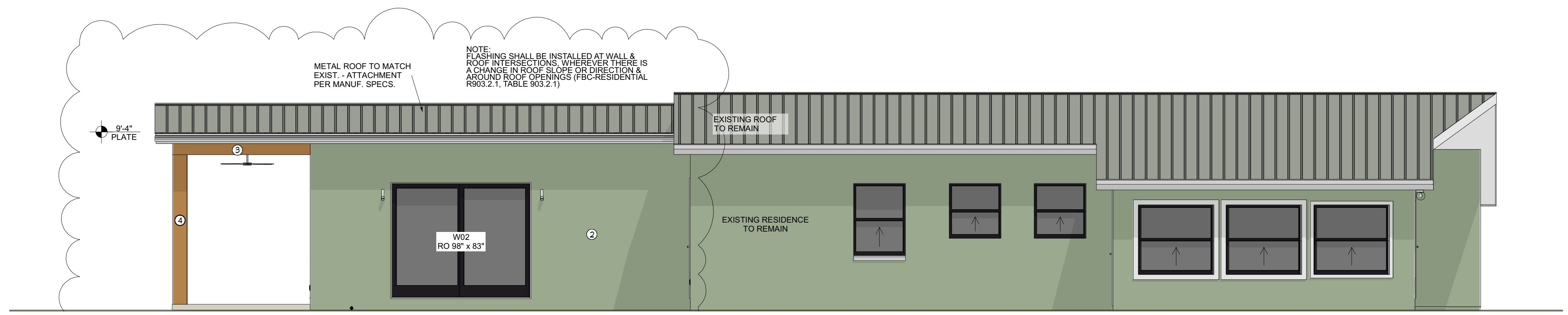
Callout	Keynotes-Elevations
①	7/8" Stucco Finish over wire lath & frame
②	Concrete Textured Finish over C.M.U.
③	Beam per Engineer
④	6 X 6 P.T. POST WRAPPED TO 10"

Addition/Renovation Roof Notes

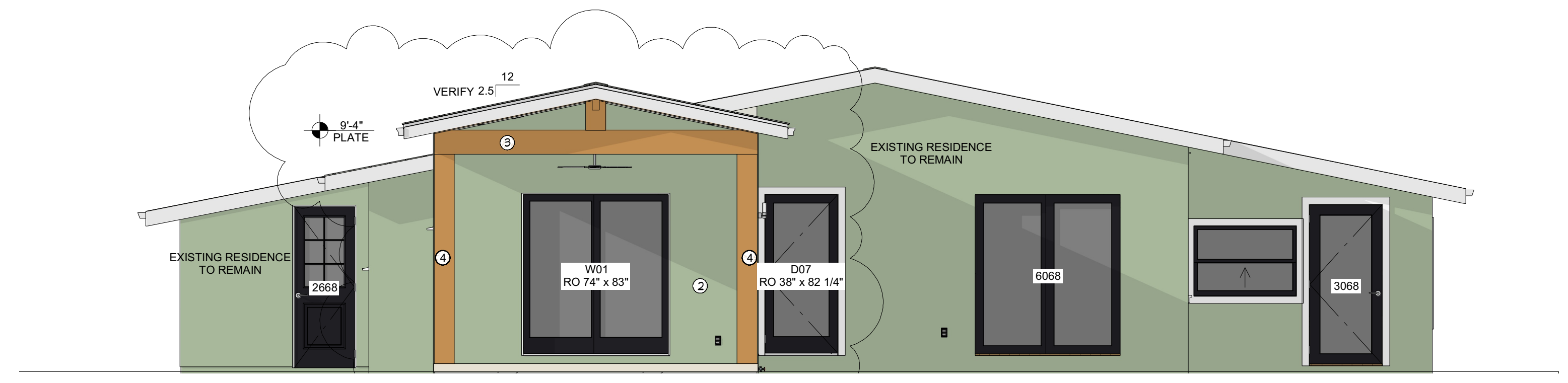
1. Builder/Owner to verify all roof conditions including fascia, soffit, roof material, roof pitches, plate height & overhangs to ensure compatibility of new roof structure(s) with the existing roof.
2. Any incompatibilities must be addressed by forwarding in writing to the engineer of record.
3. All attachments shall be per manufacturer specs or details addressed in these plans.



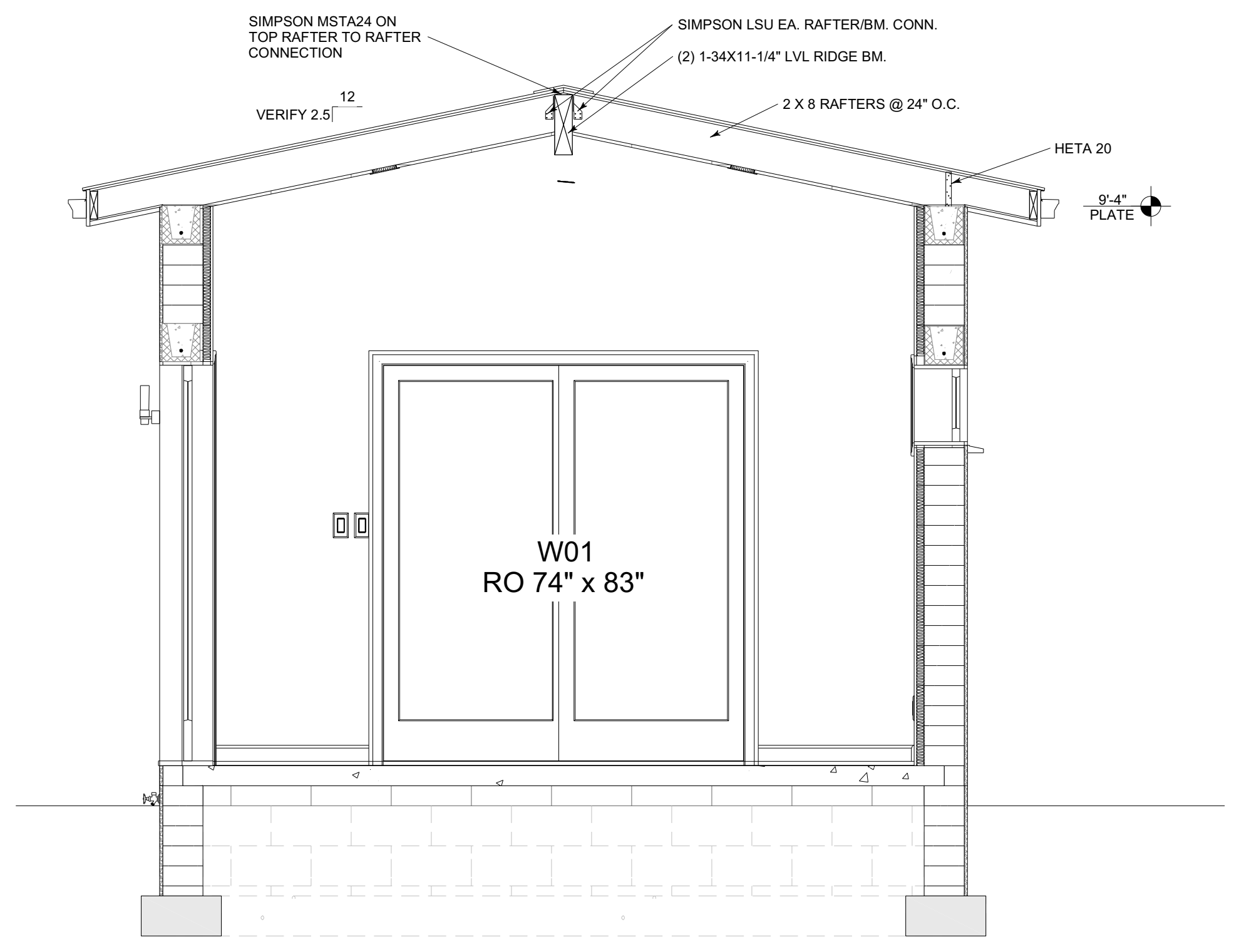
Proposed Front Elevation
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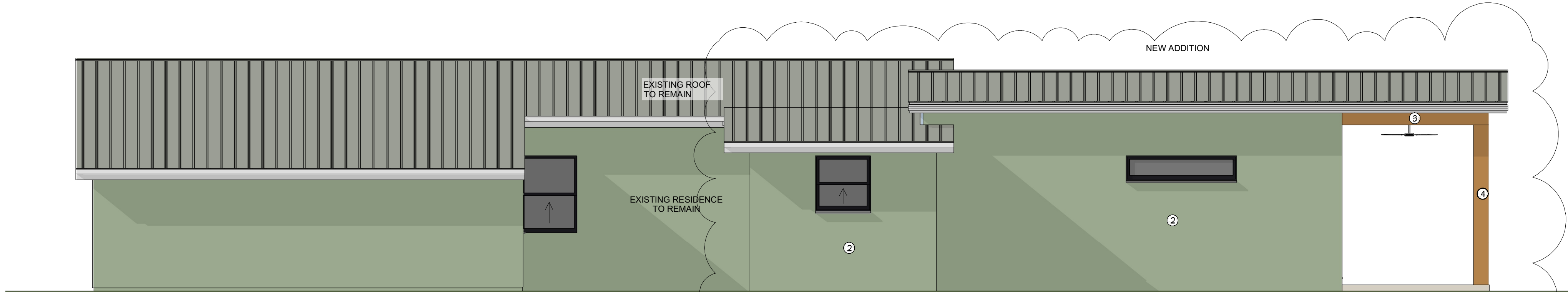
Proposed Left Elevation
Scale: 1/4in = 1'-0"



Proposed Rear Elevation
Scale: 1/4in = 1'-0"



Proposed Elevation
Scale: 1/2in = 1'-0"



Proposed Right Elevation
Scale: 1/4in = 1'-0"

REV	DATE	BY	DESCRIPTION

Sheet Title:
Elevations 1

Plan Scale:
AS NOTED

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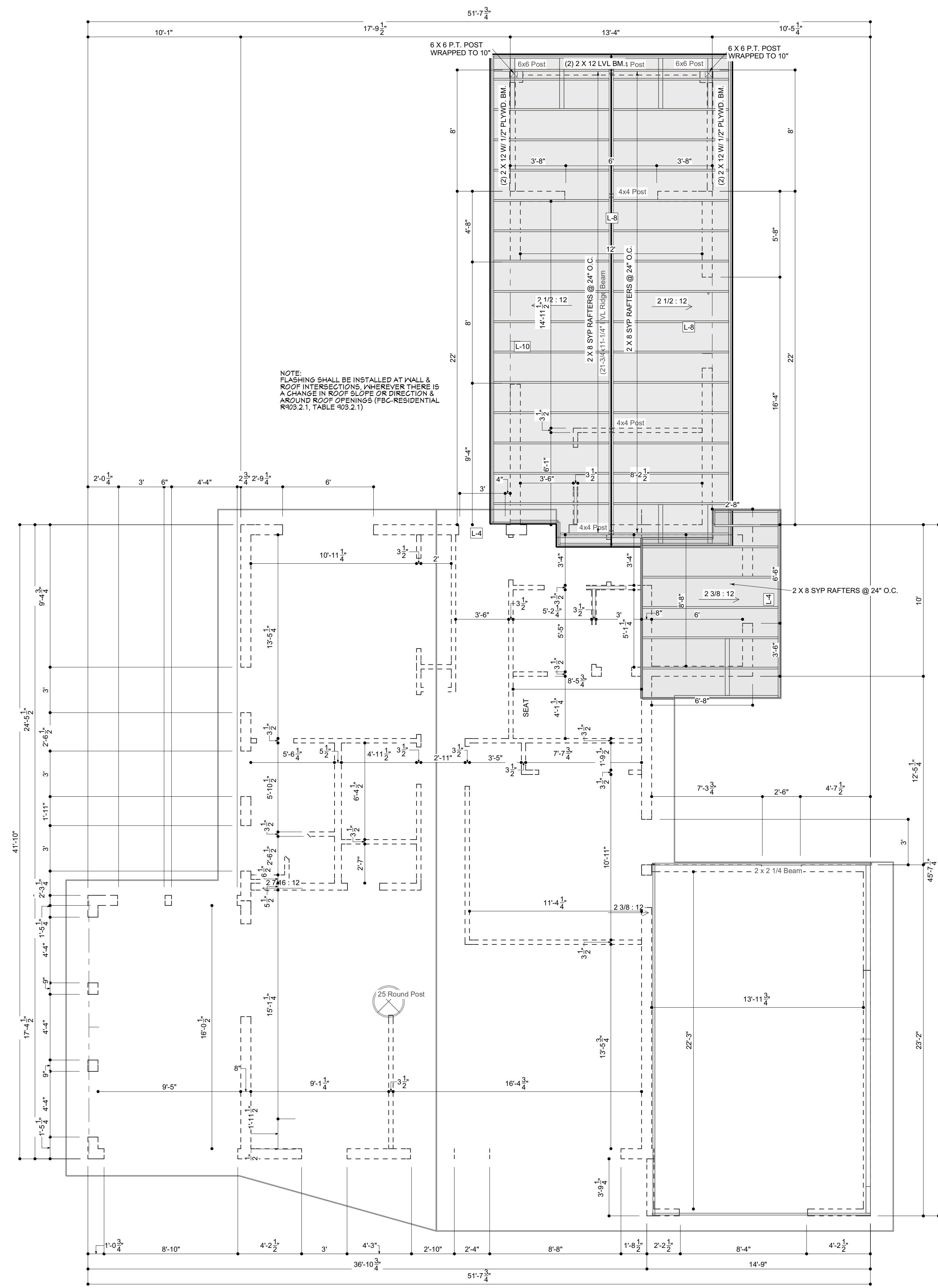
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A105

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Scaled To Sheet: ARCH D (24" x 36")



CARPENTRY:

SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HJ OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS. ALL FRAMING NAILS SHALL BE COMMON NAILS, OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY PLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. NAILING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH IRC TABLE R602.3(1).

PREMANUFACTURED WOOD JOISTS: PREMANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUSS JOIST COMPANY, OR AN ENGINEER APPROVED EQUAL. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. JOISTS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE JOIST MANUFACTURER SHALL VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF JOISTS IN WRITING TO THE ARCHITECT/ENGINEER. PREMANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ICBO APPROVED.

LUMBER SPECIES:

- POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE SYP
- EXPOSED ARCH BEAMS TO BE SYP OR BETTER
- SILLS, PLATES BLOCKING, AND BRIDGING TO BE SYP
- ALL STUDS TO BE SPF OR BETTER.
- PLYWOOD SHEATHING SHALL BE AS FOLLOWS:
ROOF SHEATHING SHALL BE 5/8" CDX INT-APA RATED 32/16 OR 19/32" OSB.
WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 15/32" OSB STRUCTURAL I
FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.
- N/A
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

Proposed Framing, Roof Plan
Scale: 1/4in = 1'-0"

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REV	DATE	BY	DESCRIPTION

Sheet Title:
Roof Framing

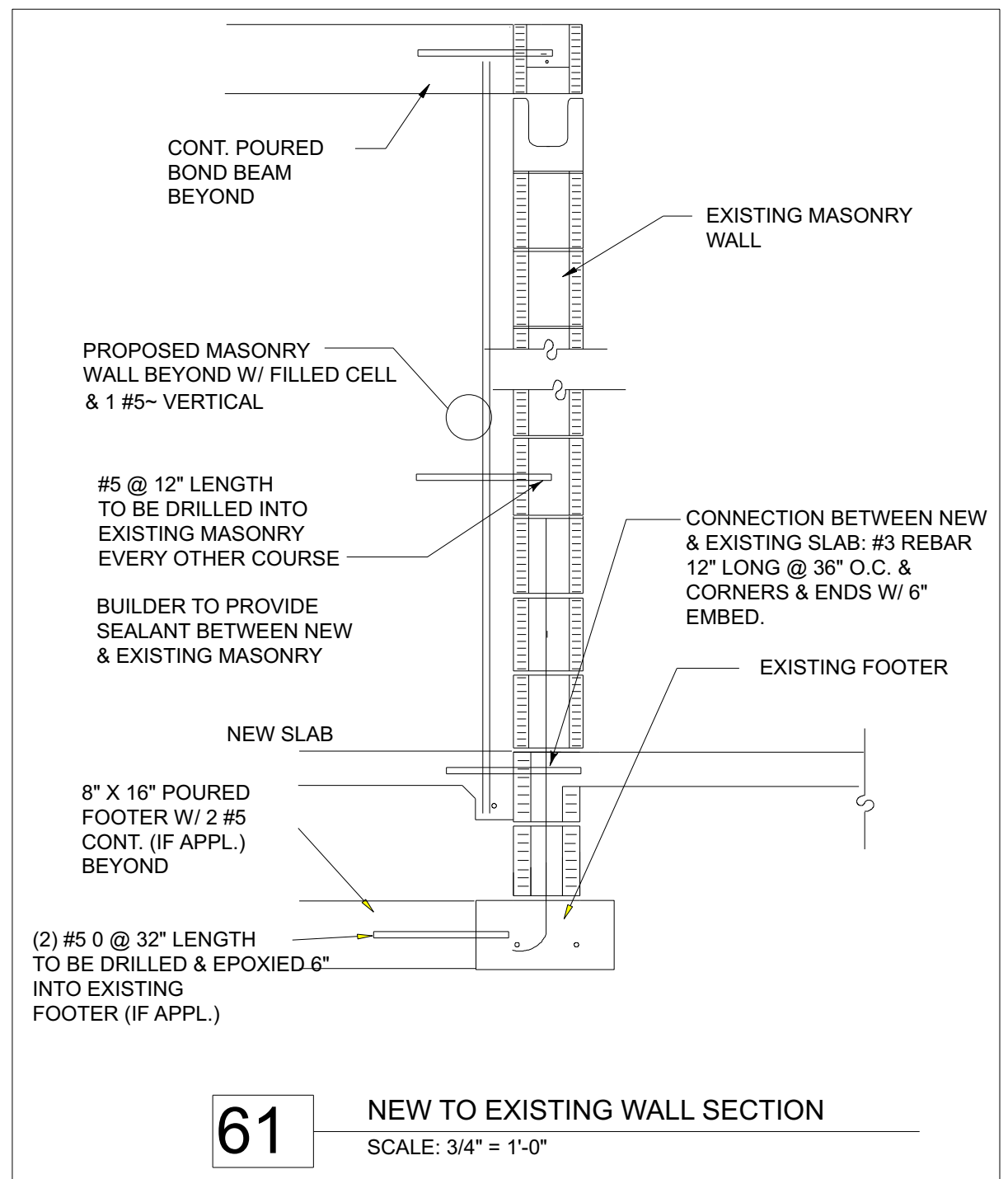
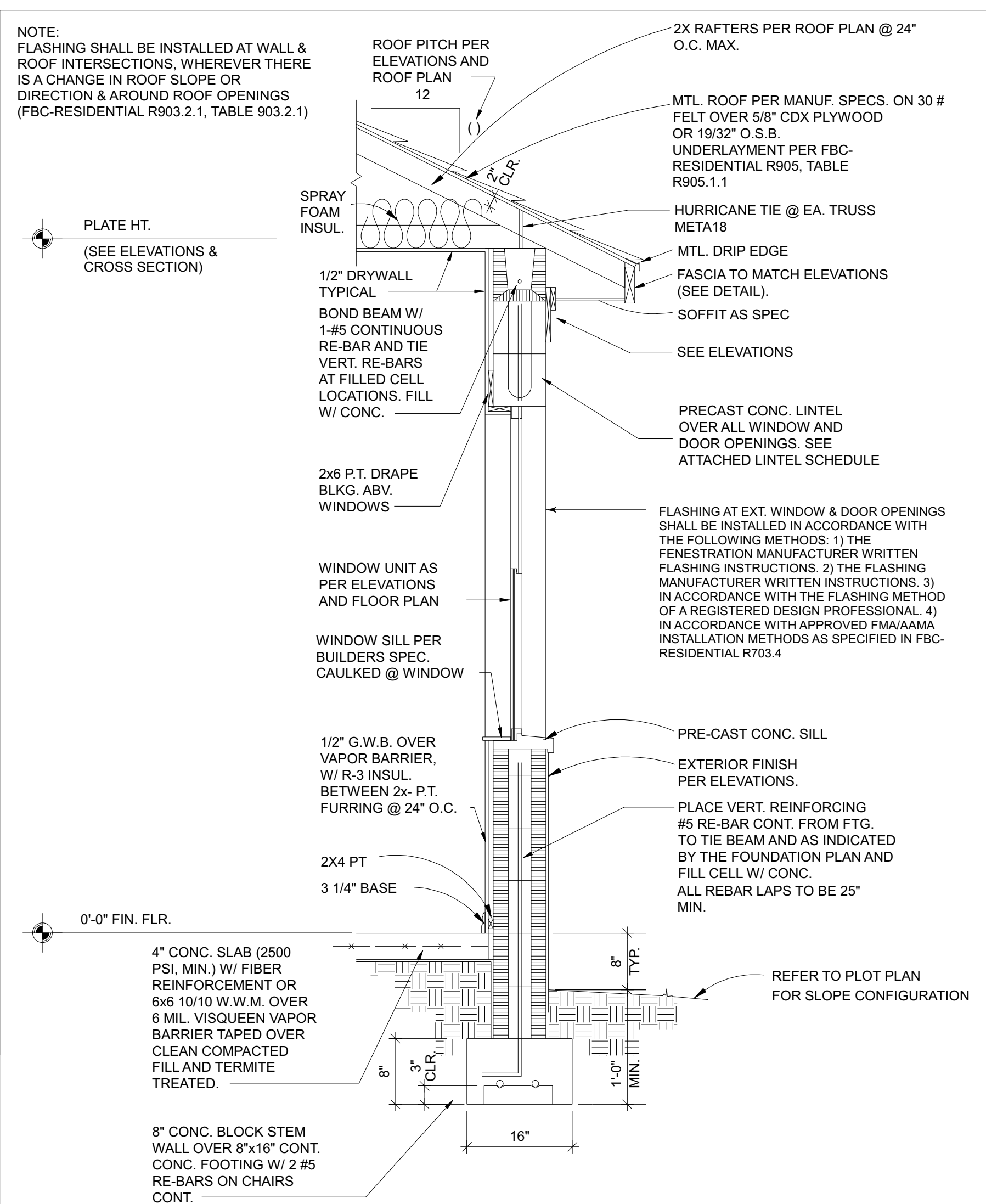
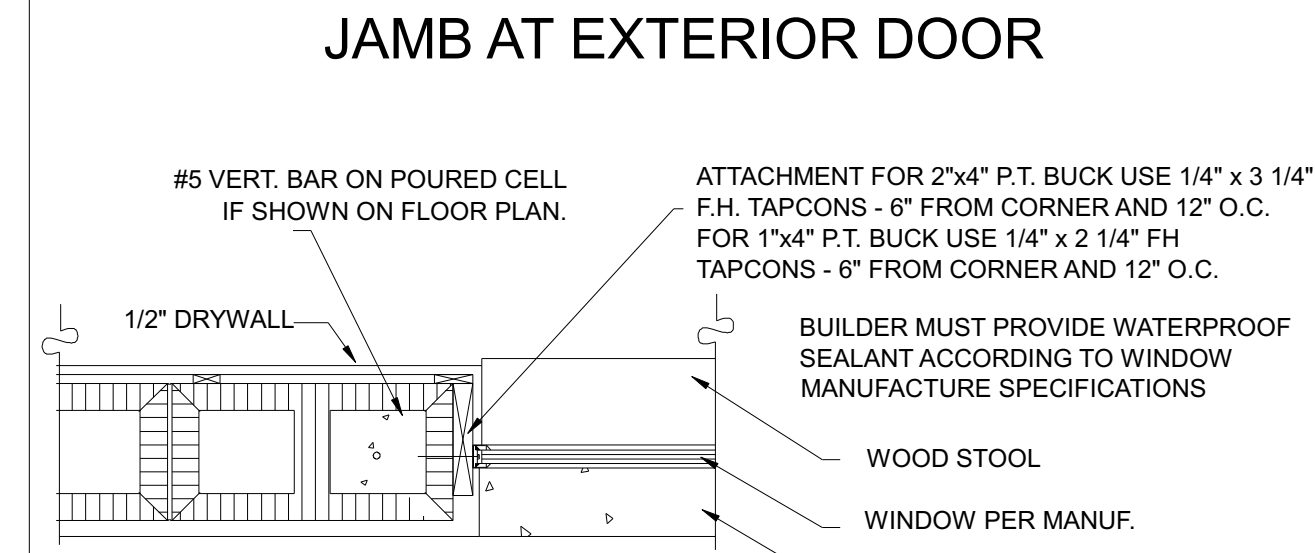
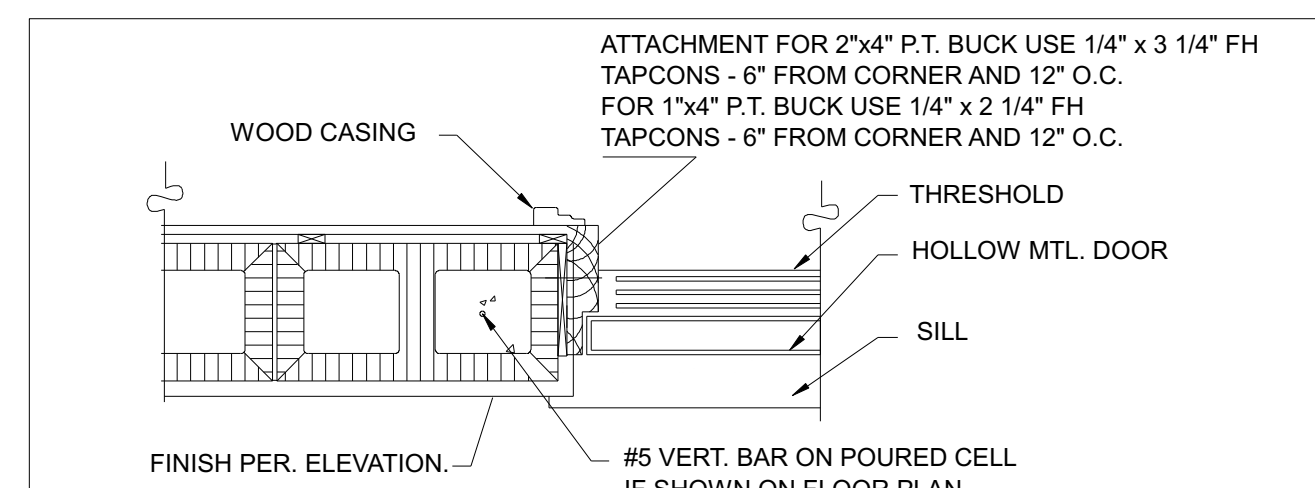
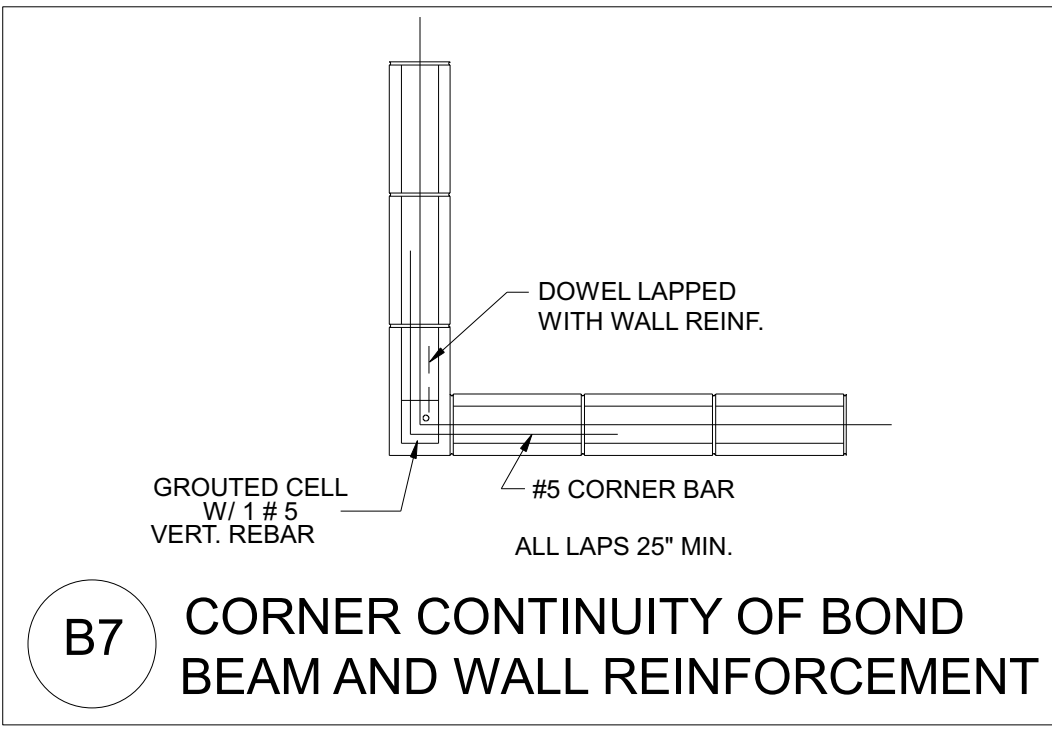
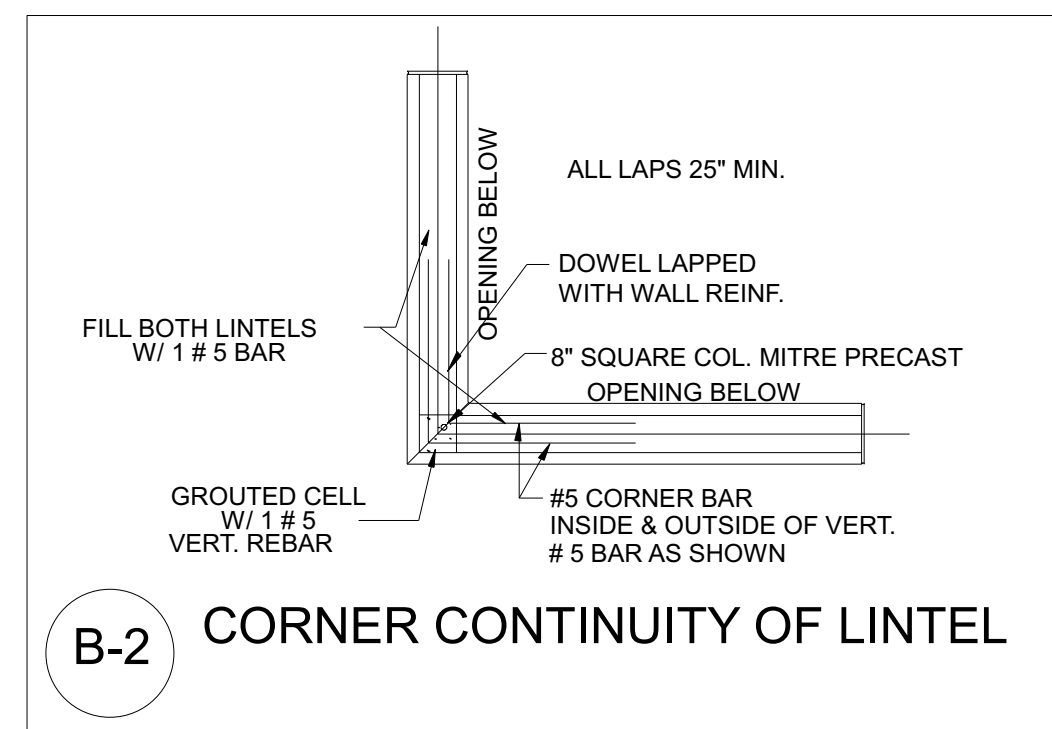
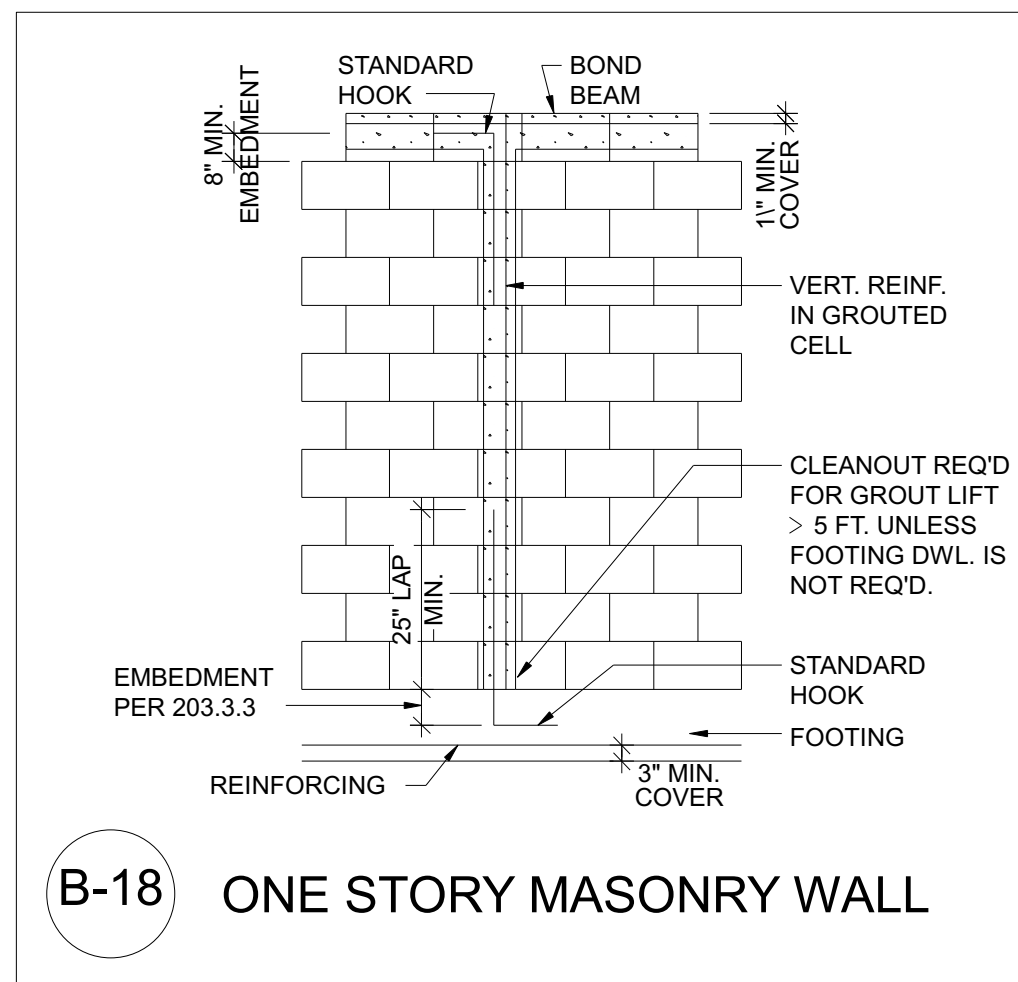
Plan Scale:
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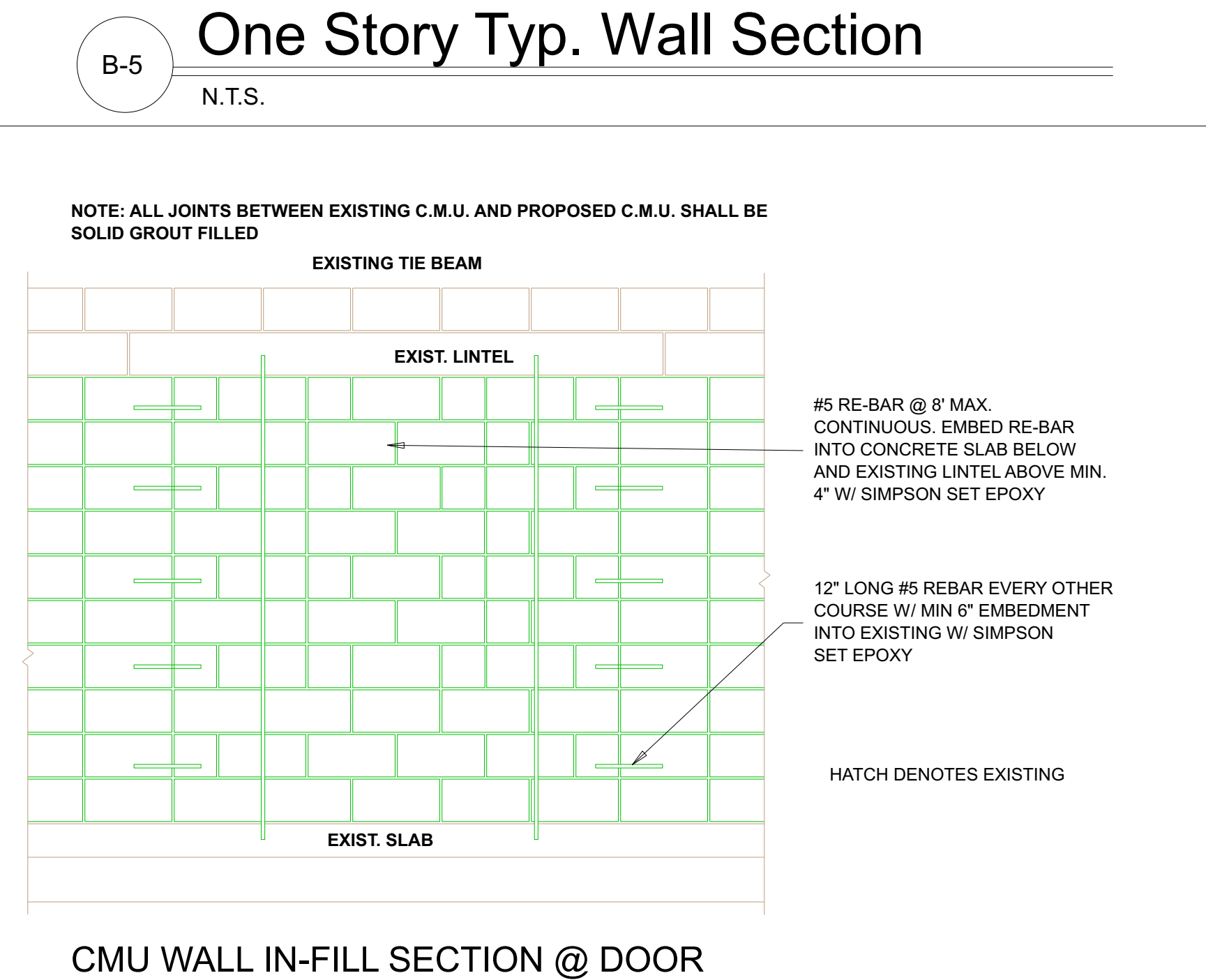
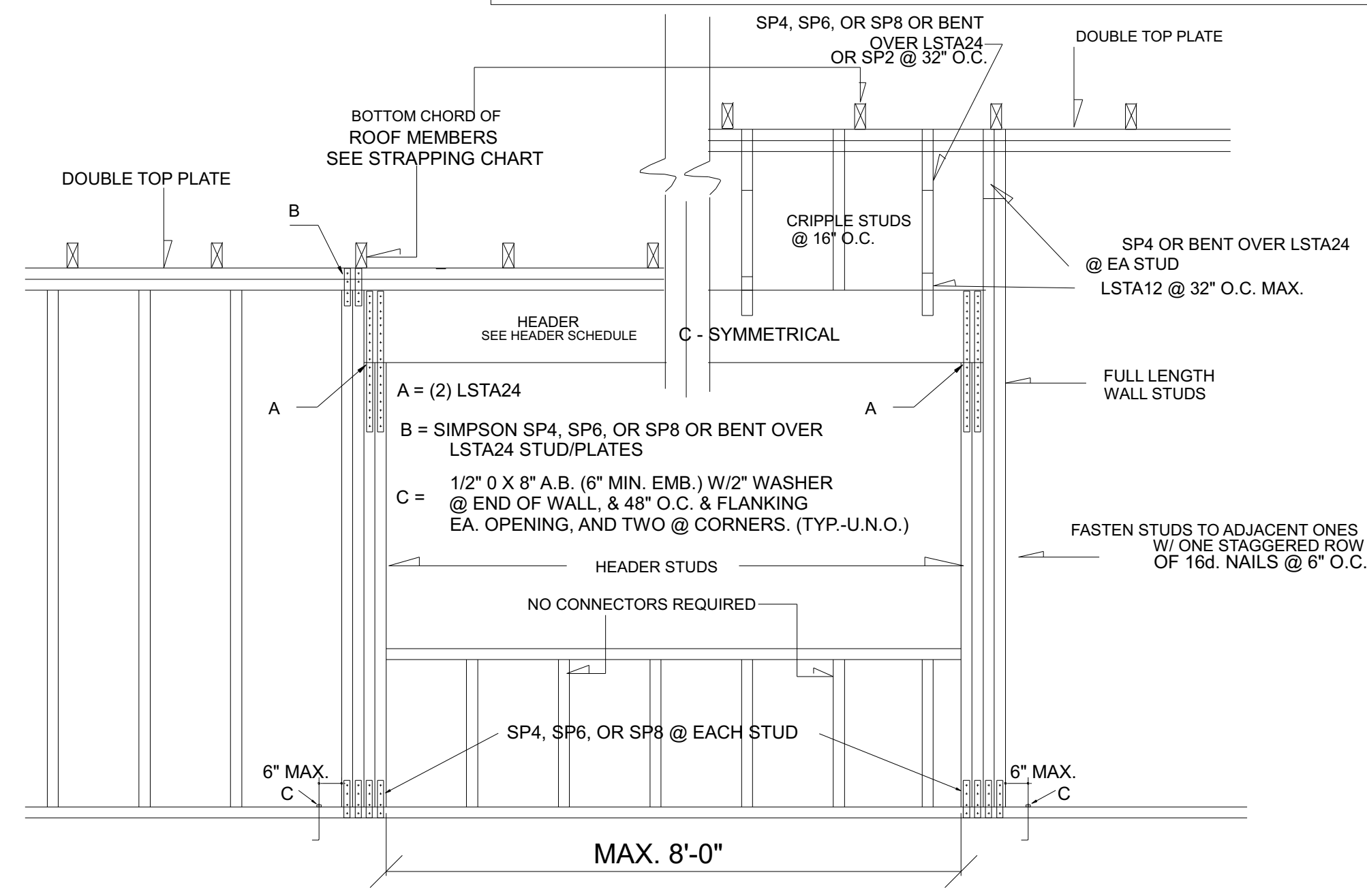


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OPENING WIDTH	HEADER SCHEDULE	
	BEARING WALL OR SHEARWALL	NON-BEARING WALLS
0'-0" TO 3'-0"	2-2x6S	2-2x4S
3'-1" TO 5'-0"	2-2x10S	2-2x6S
5'-1" TO 7'-0"	2-2x12S	2-2x8S
7'-1" TO 9'-0"	2-2x12 W/ 1/2" PLYWD. FLITCH	2-2x12S

- USE HEADER SIZES ABOVE UNLESS OTHERWISE NOTED ON FRAMING PLAN
- PRIMARY FRAMING (BEAMS, GIRDERS, ETC.) WERE SIZED USING:
1800 FB' EXTREME FIBER IN BENDING(SINGLE)
90° TV' HORIZONTAL SHEAR
16E' E' MODULES OF ELASTICITY
- JOIST, RAFTERS, LINTELS, ETC. WERE SIZED USING:
1200 FB' EXTREME FIBER IN BENDING(SINGLE)
90° TV' HORIZONTAL SHEAR
16E' E' MODULES OF ELASTICITY



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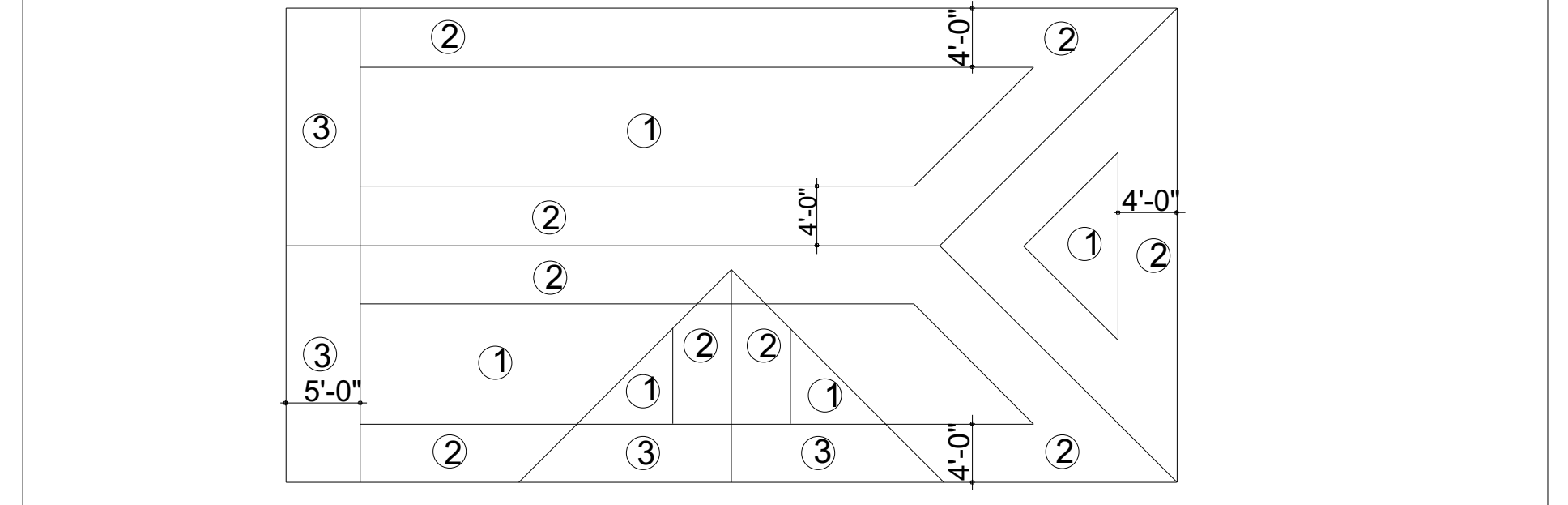
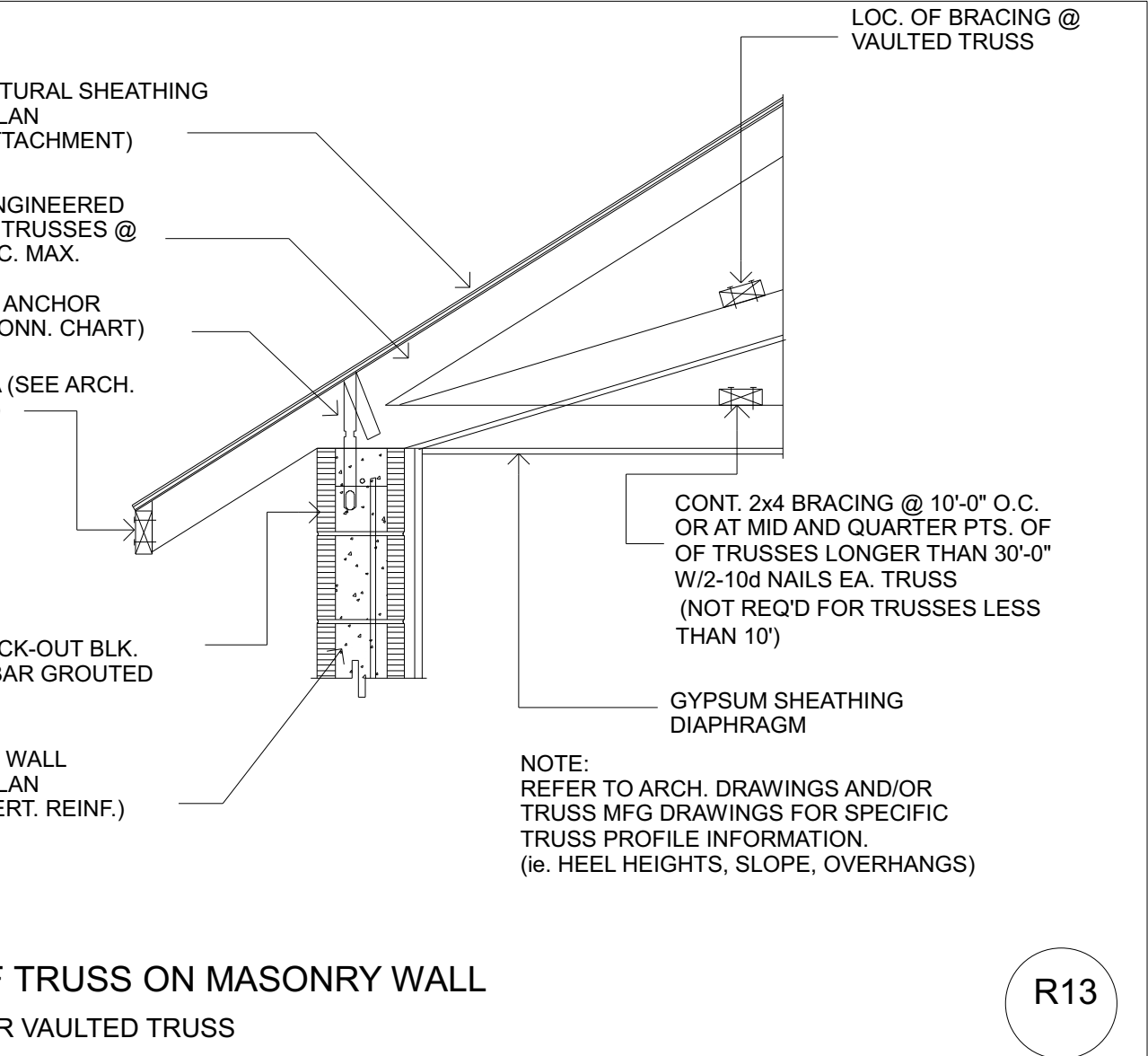
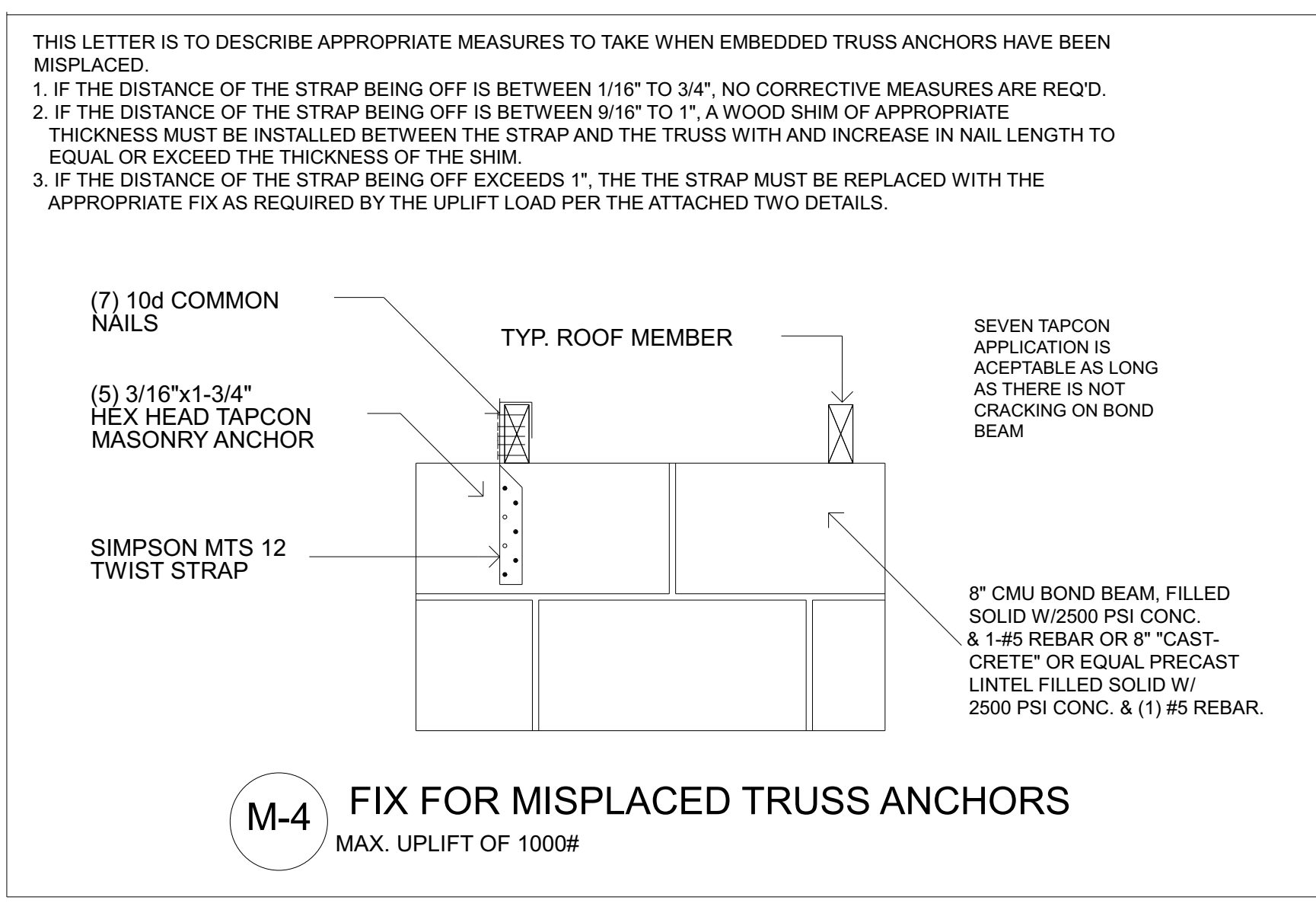
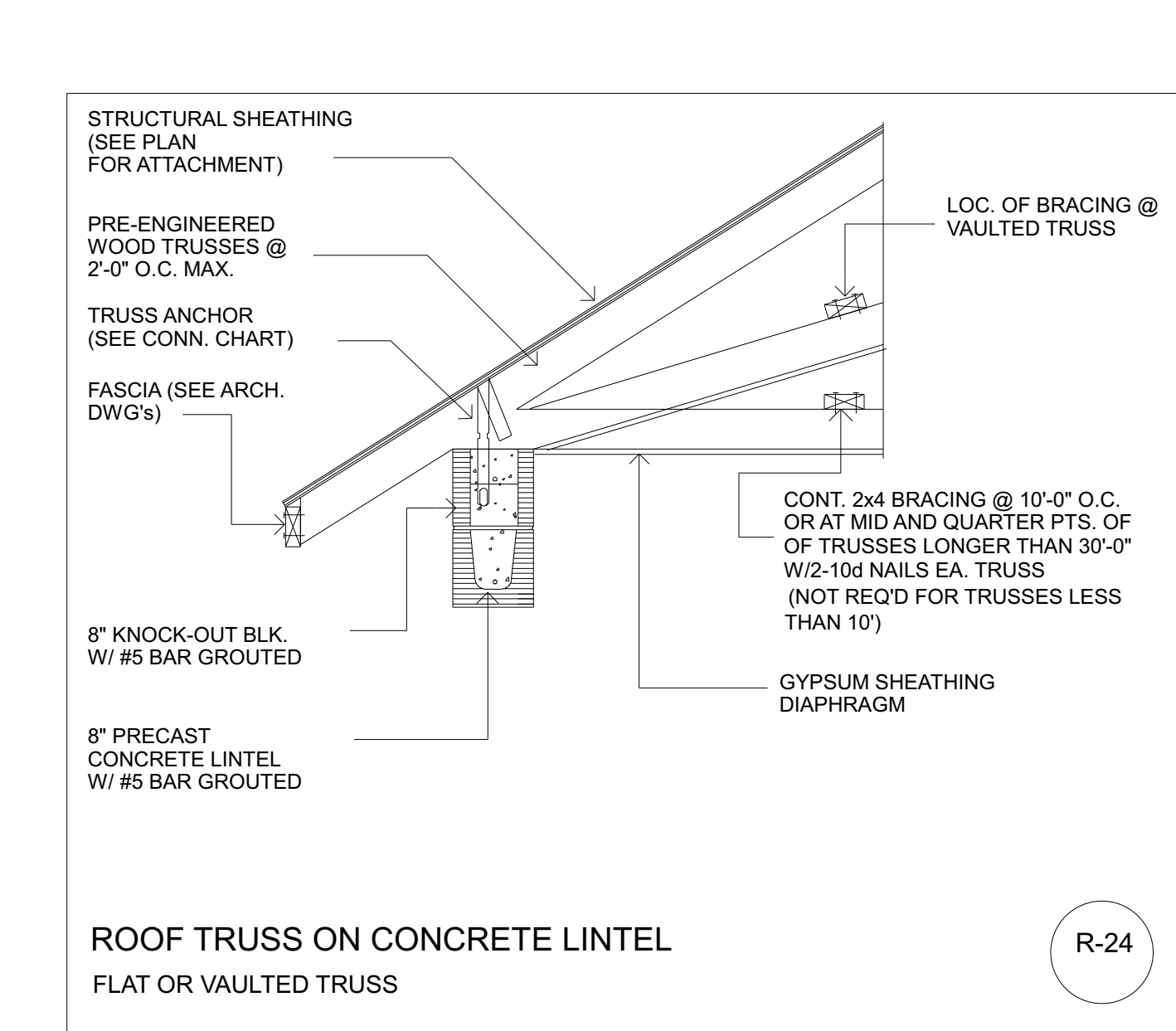
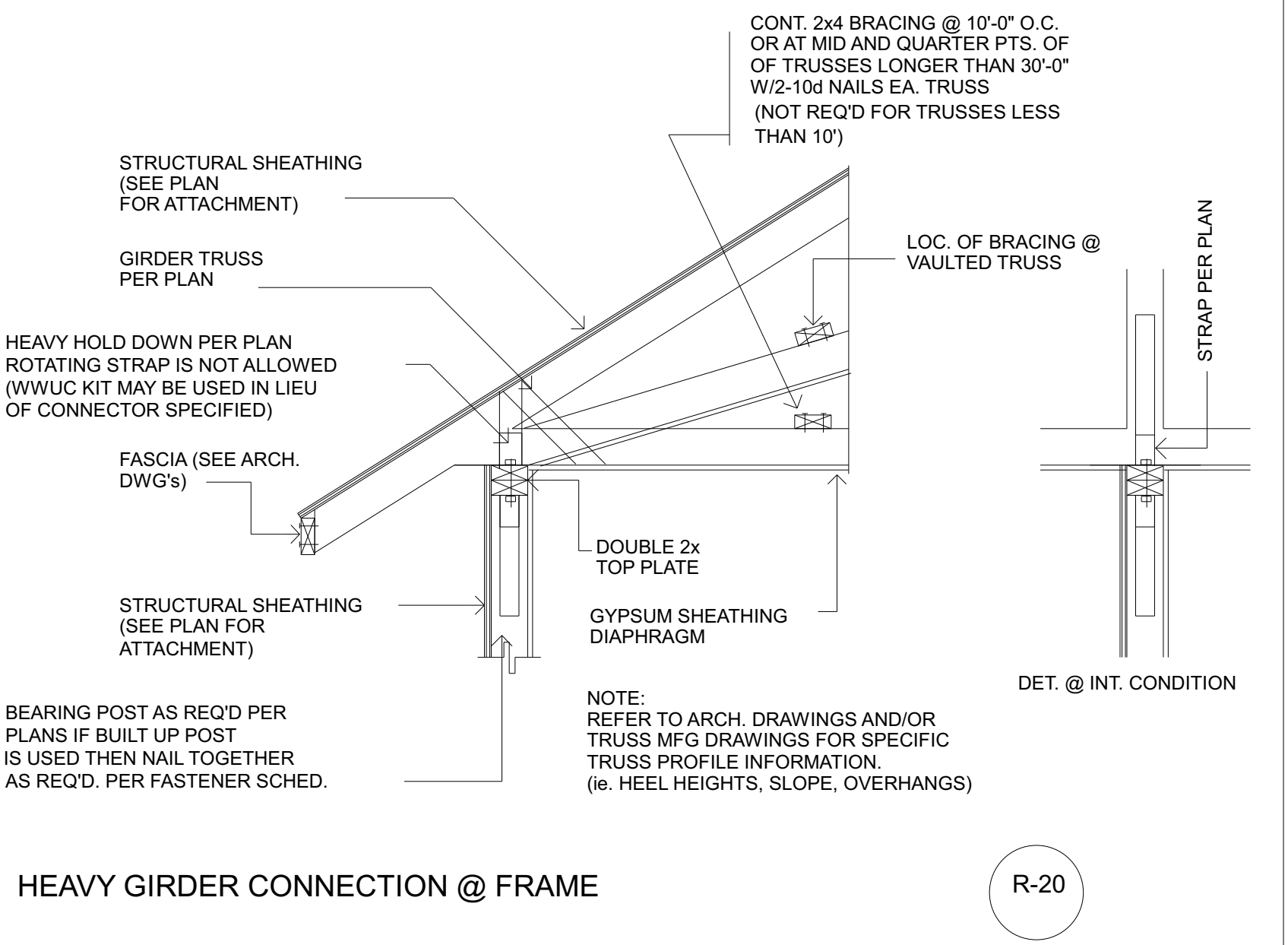
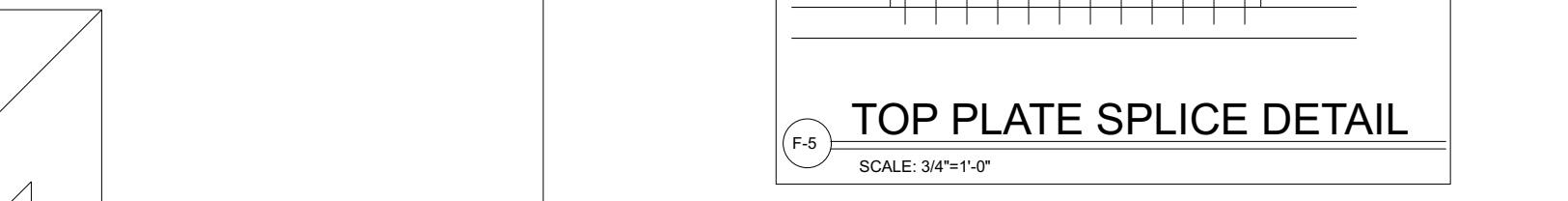
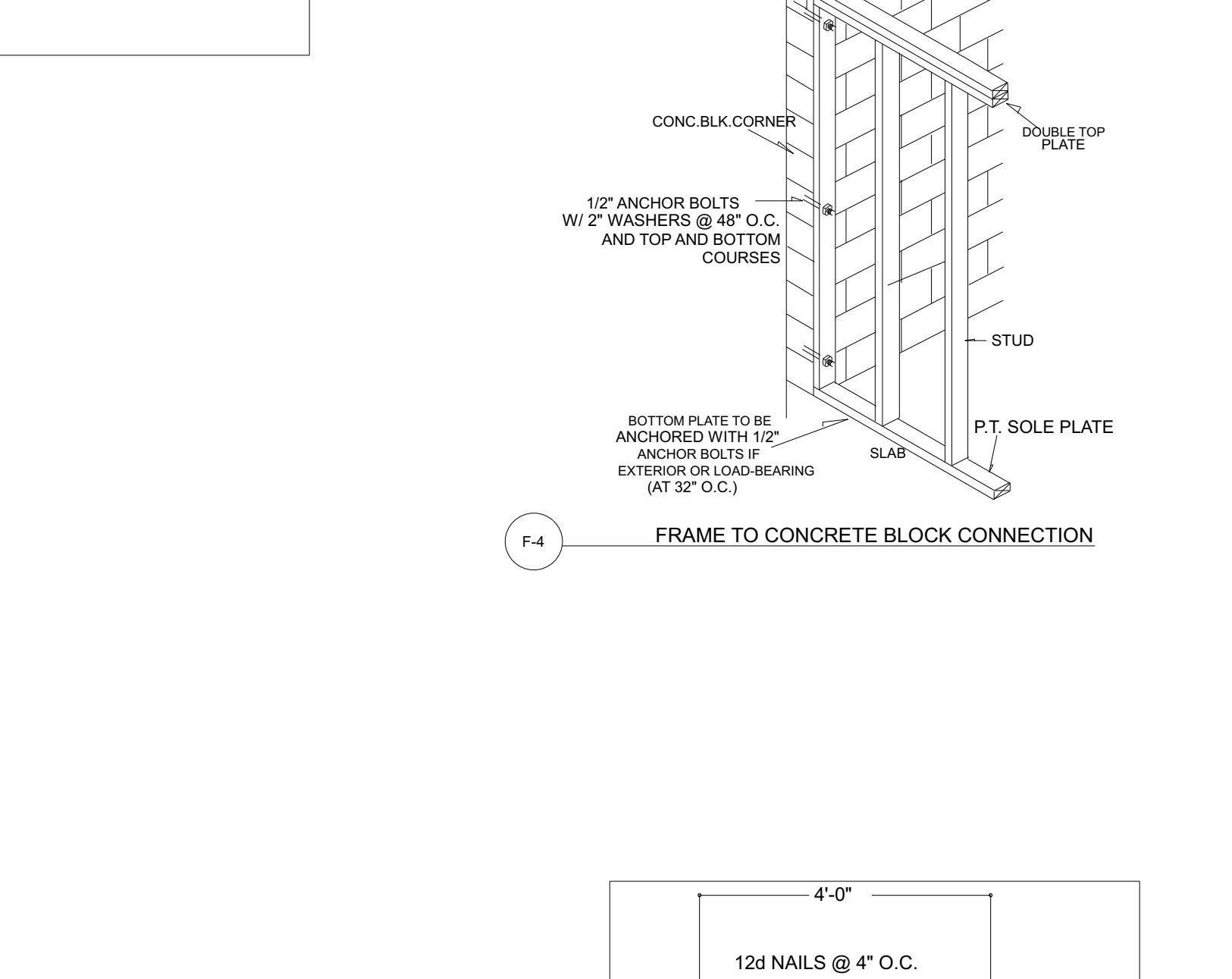
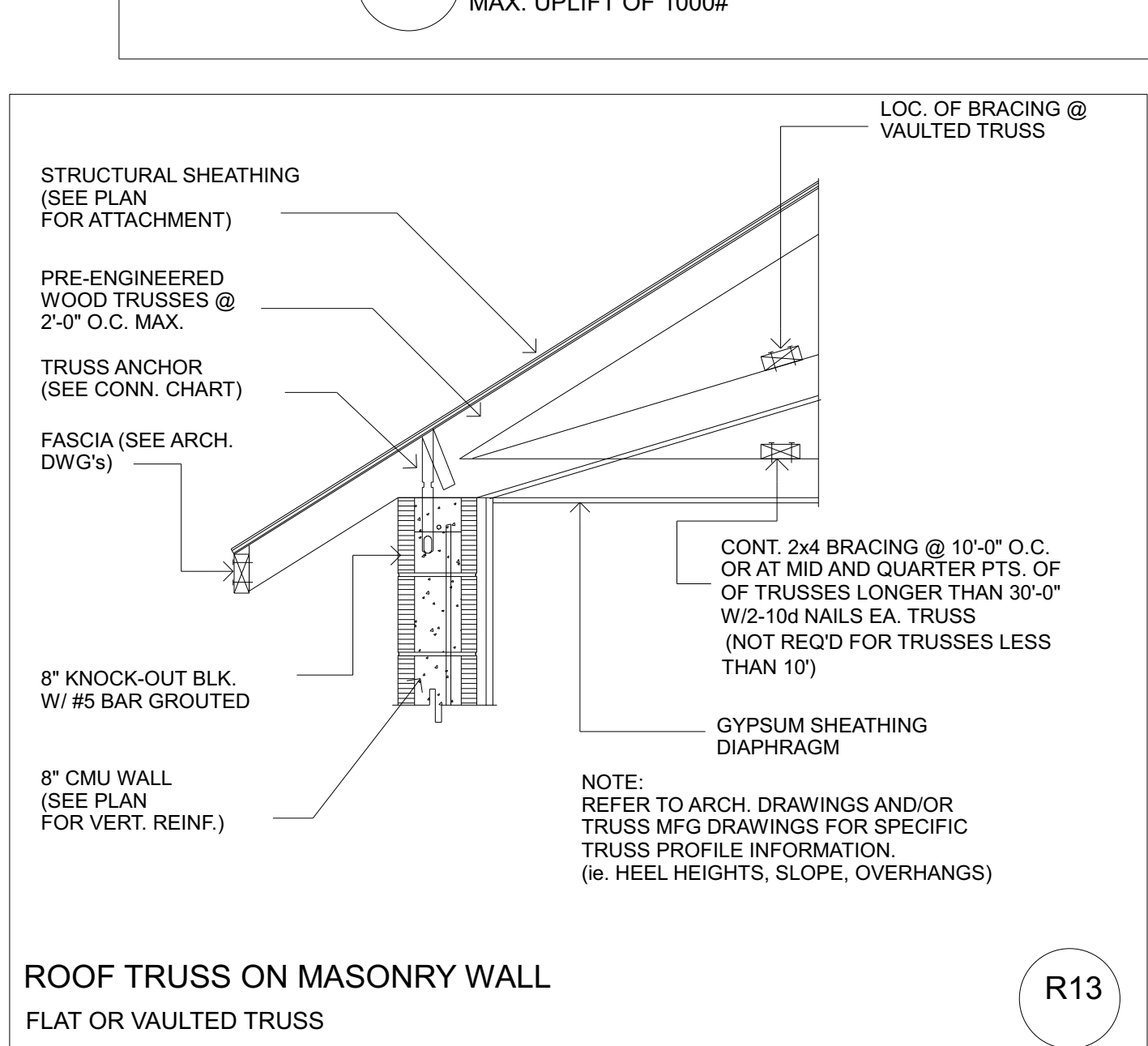
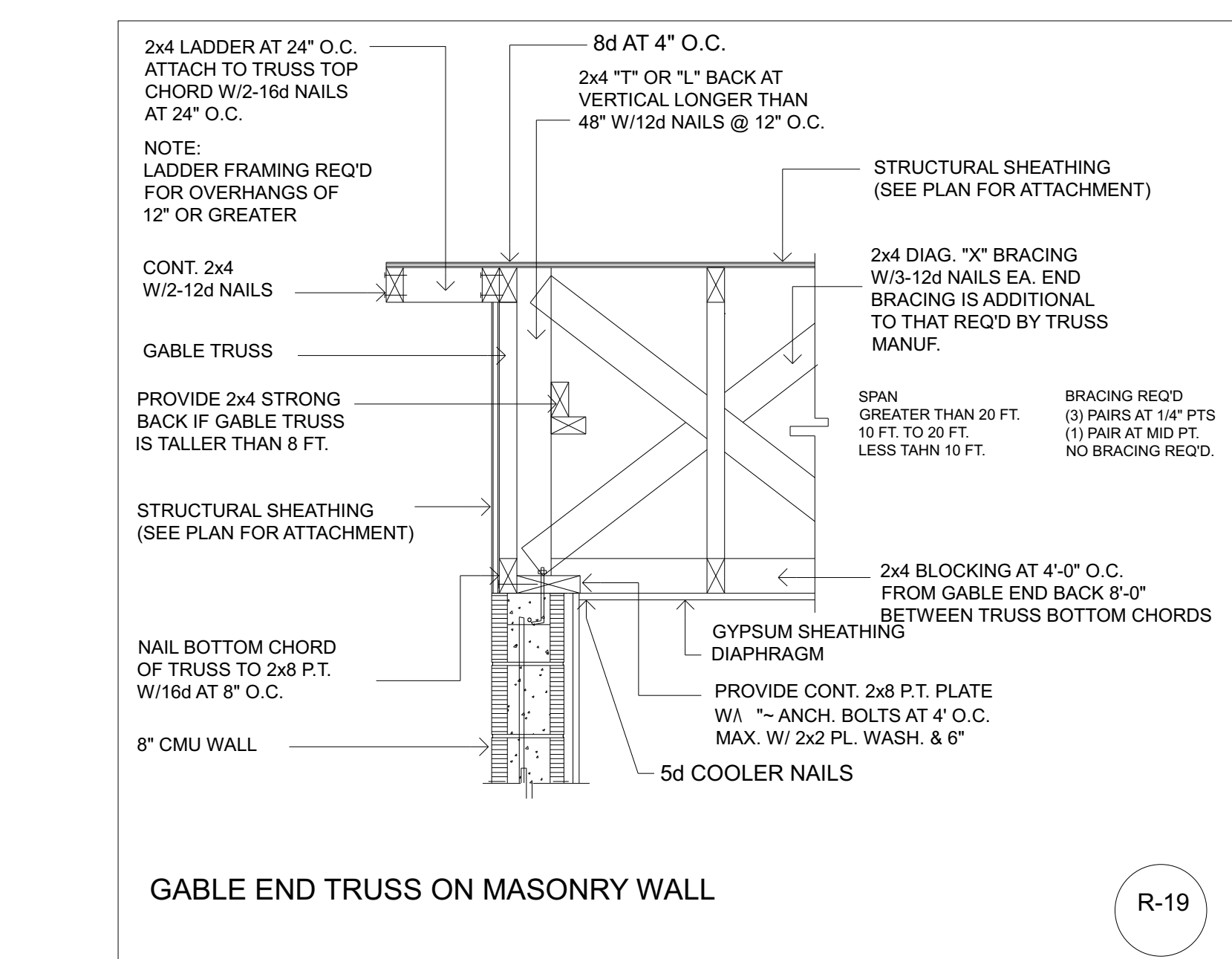
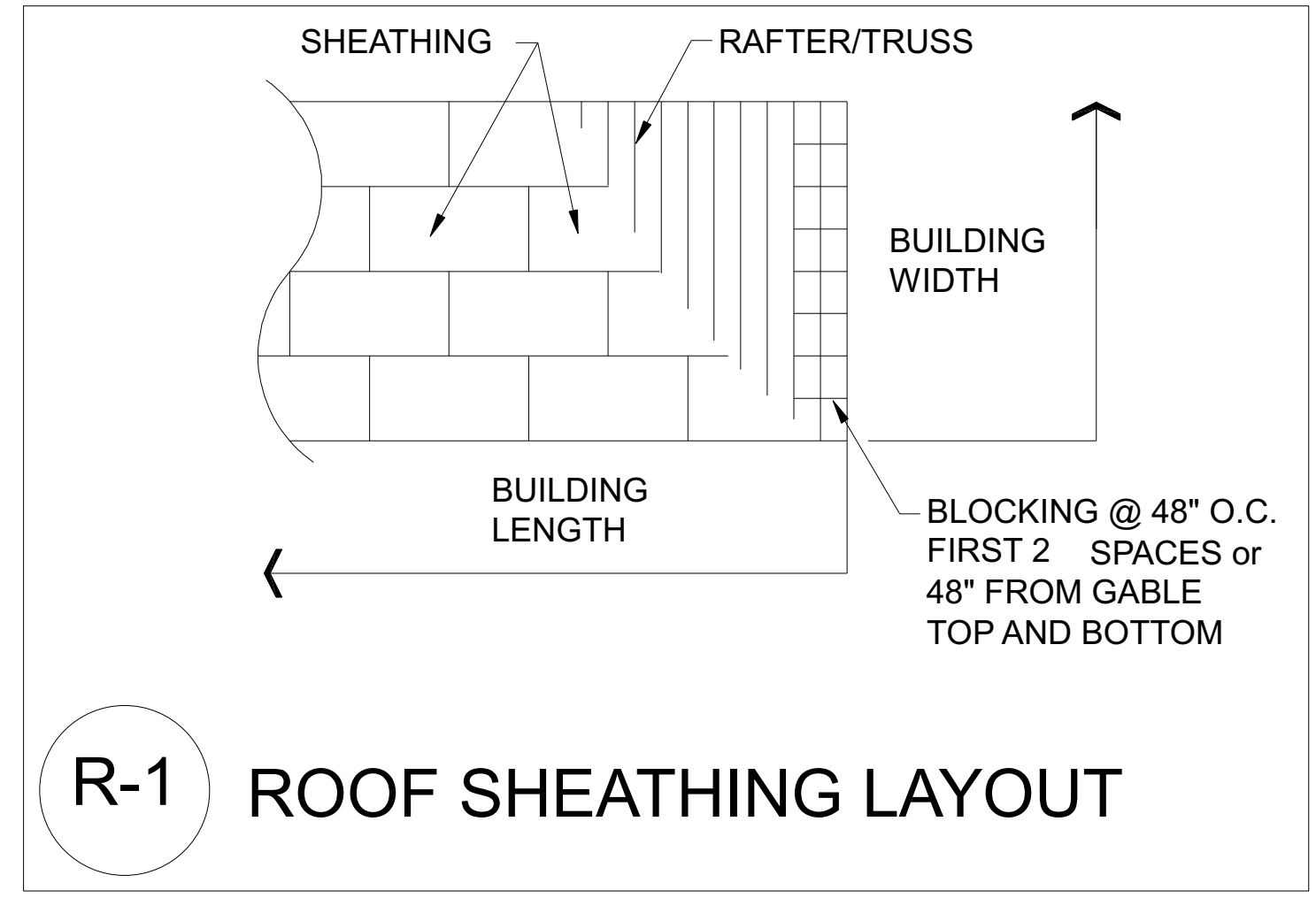
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M-5 GENERAL NOTES:

- CONCRETE TO BE 2500 PSI MINIMUM.
- STEEL REINFORCING BARS, ASTM 615, GRADE 40, MIN SPLICE LAP OF 25".
- STEEL COVERAGE: FOOTINGS AND SLABS (AGAINST EARTH), 3 INCHES.
- CONCRETE MASONRY UNITS SHALL CONFORM WITH ASTM C-90 HOLLOW LOAD BEARING CONCRETE MASONRY UNITS, TYPE 1 GRADE 1, NORMAL WEIGHT, 8"x8"x16".
- MORTAR SHALL CONFORM WITH ASTM C-91 FOR MASONRY CEMENT AND ASTM C-150 FOR PORTLAND CEMENT. MORTAR SHALL BE TYPE "M".
- CONTRACTOR SHALL VERIFY ADEQUATE SOIL CONDITIONS BEFORE COMMENCING WORK (2500 PSF MINIMUM BEARING CAPACITY REQUIRED).
- FOR WOOD FRAME CONSTRUCTION, USE #2 SOUTHERN YELLOW PINE ALL EXTERIOR & INTERIOR BEARING WALLS / ROOF FRAMING MEMBERS.
- IF ANY STRUCTURAL CONDITIONS SHOULD ARISE DURING THE COURSE OF CONSTRUCTION, NOT NOTED ON THESE DRAWINGS, CONTRACTOR TO NOTIFY ENGINEER OF RECORD IMMEDIATELY IN WRITING AND STOP ANY AND ALL CONSTRUCTION IN AREA OF QUESTION UNTIL FURTHER NOTICE.
- ENGINEER PROPOSES TO PERFORM THESE STRUCTURAL ENGINEERING SERVICES BASED ON INFORMATION SUPPLIED TO ENGINEER BY THE CUSTOMER. IT IS PRESUMED THAT THIS DATA IS CORRECT AND SUBSTANTIALLY UNCHANGEABLE. IF THESE CONDITIONS CHANGE DURING THE COURSE OF PERFORMING THE ENGINEER SERVICES ADDITIONAL FEES WILL BE REQUIRED FOR ENGINEER TO COMPLETE THE WORK.
- ALL CHANGES AND DEVIATIONS SHALL BE APPROVED BY ENGINEER IN WRITING PRIOR TO ALL DEMOLITION OR CONSTRUCTION BEGINNING OR COMMENCING. THE CONTRACTOR AND CUSTOMER ARE RESPONSIBLE TO PROCURE THIS APPROVAL. FAILURE TO DO SO MAY RESULT IN AN INCOMPLETE ENGINEERING REVIEW AND ADDITIONAL FEES.
- ENGINEER HAS REVIEWED THE NEW STRUCTURAL COMPONENTS BASED SOLELY ON INFORMATION SUPPLIED BY THE CUSTOMER OR THEIR CONTRACTOR. FIELD VERIFICATION IS NOT PART OF THE ENGINEER'S SCOPE OF WORK.
- ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, HVAC, FIRE PROTECTION OR FIRE CODE PROVISIONS, FABRICATION, INSTALLATION / ERECTION SUPERVISION, PLAN DIMENSIONS, UNKNOWN FIELD CONDITIONS OR OTHER CONDITIONS NOT FULLY REPRESENTED IN THESE DRAWINGS OTHER THAN THE STRUCTURAL COMPONENTS AND THEIR CONNECTIONS.

LIMITING HEIGHTS OF 2" X STUDS

SIZE STUD MATERIAL AT O.C. SPACING	MAXIMUM HEIGHT
2" X 4" SPRUCE, FIR 24" O.C.	8'-0"
2" X 4" SPRUCE, FIR 16" O.C.	9'-0"
2" X 4" SPRUCE, FIR 12" O.C.	10'-0"
2" X 4" SOUTHERN PINE, FIR 24" O.C.	9'-0"
2" X 4" SOUTHERN PINE, FIR 16" O.C.	10'-9"
2" X 4" SOUTHERN PINE, FIR 12" O.C.	12'-4"
2" X 6" SPRUCE, FIR 24" O.C.	11'-4"
2" X 6" SPRUCE, FIR 16" O.C.	13'-9"
2" X 6" SPRUCE, FIR 12" O.C.	16'-0"
2" X 6" SOUTHERN PINE, FIR 24" O.C.	13'-9"
2" X 6" SOUTHERN PINE, FIR 16" O.C.	17'-0"
2" X 6" SOUTHERN PINE, FIR 12" O.C.	19'-4"
2" X 8" SPRUCE, FIR 24" O.C.	14'-9"
2" X 8" SPRUCE, FIR 16" O.C.	18'-0"
2" X 8" SPRUCE, FIR 12" O.C.	21'-0"
2" X 8" SOUTHERN PINE, FIR 24" O.C.	18'-0"
2" X 8" SOUTHERN PINE, FIR 16" O.C.	22'-3"
2" X 8" SOUTHERN PINE, FIR 12" O.C.	25'-8"



MINIMUM WOOD STRUCTURAL PANEL ROOF SHEATHING THICKNESS

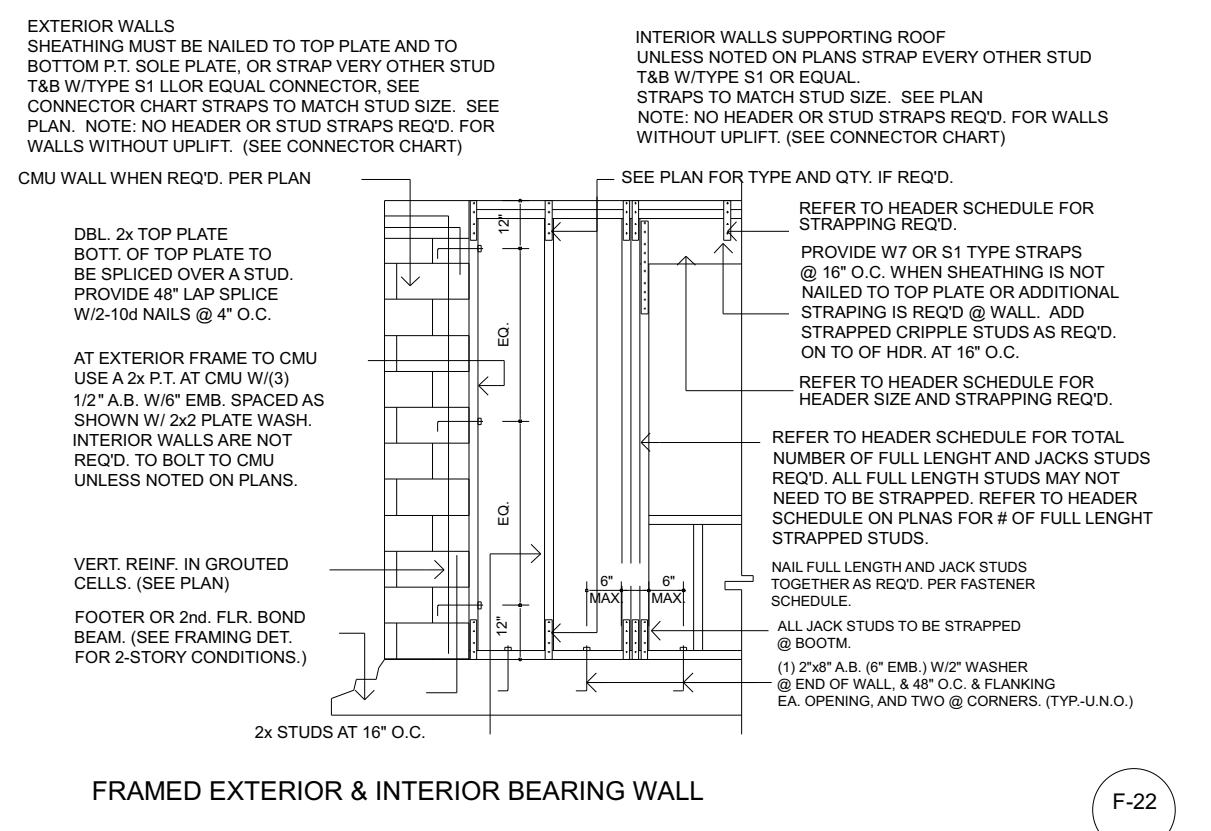
RAFTER/TRUSS SPACING 24" O.C. (MAX)	WIND SPEED							
	115 MPH	120 MPH	130 MPH	140 MPH	150 MPH	160 MPH	170 MPH	180 MPH
MINIMUM SHEATHING THICKNESS, INCHES (PANEL SPAN RATING) EXPOSURE B	7/16(24/16)	7/16(24/16)	7/16(24/16)	7/16(24/16)	15/32(32/16)	19/32(40/20)	19/32(40/20)	19/32(40/20)
MINIMUM SHEATHING THICKNESS, INCHES (PANEL SPAN RATING) EXPOSURE C	7/16(24/16)	7/16(24/16)	15/32(32/16)	19/32(40/20)	19/32(40/20)	19/32(40/20)	19/32(40/20)	23/32(48/24)
MINIMUM SHEATHING THICKNESS, INCHES (PANEL SPAN RATING) EXPOSURE D	15/32(32/16)	19/32(40/20)	19/32(40/20)	19/32(40/20)	19/32(40/20)	19/32(40/20)	23/32(48/24)	23/32(48/24)

SHEATHING LESS THAN 15/32" SHALL BE FASTENED W/ ASTM F1667 RRSR01 (2-3/8" X 0.113") NAILS

ROOF SHEATHING ATTACHMENT NAIL SPACING (a,b)

RAFTER/TRUSS SPACING 24" O.C. (MAX)	WIND SPEED								
	115 MPH		120 MPH		130 MPH		140 MPH		
	E	F	E	F	E	F	E	F	
RAFTER/ TRUSS SG=0.42	6	6	6	6	6	6	6	6	6
RAFTER/ TRUSS SG=0.49	6	6	12	6	6	6	6	6	6
RAFTER/ TRUSS SG=0.42	6	6	6	6	6	4	4	4	4
RAFTER/ TRUSS SG=0.49	6	6	6	6	6	6	6	6	6
RAFTER/ TRUSS SG=0.42	6	6	6	4	4	4	4	3	3
RAFTER/ TRUSS SG=0.49	6	6	6	6	6	6	6	6	6
RAFTER/ TRUSS SG=0.42	6	6	6	4	4	4	4	3	3
RAFTER/ TRUSS SG=0.49	6	6	6	6	6	6	6	4	4

NOTE:
 (1) EDGE SPACING ALSO APPLIES OVER GABLE END WALLS OR TRUSSES
 (2) PASLODIE 2 1/4" X .099" DIAMETER POWER DRIVEN COATED SCOREW NAILS MAY BE USED IN LIEU OF 8d COMMON NAILS WITH REDUCED SPACING AS NOTED BELOW.
 12" SPACE CHANGES TO 8", 6" TO 4", AND 4" OR 3" CHANGES TO 2 1/2".



REVISION HISTORY

REV	DATE	BY	DESCRIPTION

Sheet Title:
Details

Plan Scale:
AS NOTED

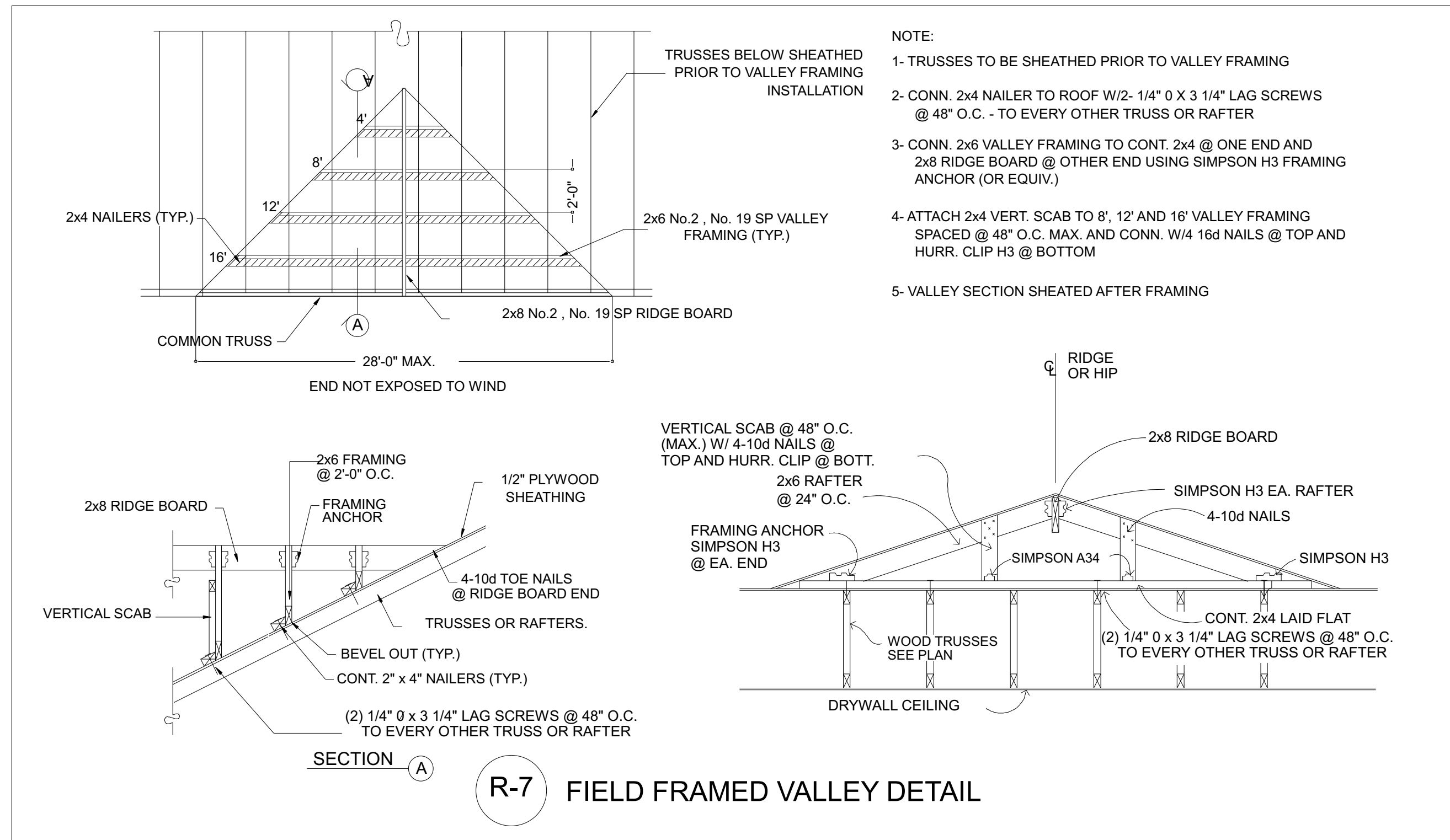
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#	CONNECTOR	FASTENERS	UPLIFT(lbs.)
30	MTS16	(7) 10d x 1.5 NAILS & (5) 3/16" O X 2 1/4" TAPCONS	1000
31	HTS20	(10) 10d x 1.5 NAILS & (6) 3/16" O X 2 1/4" TAPCONS	1150
32	MSTAM24	(9) 10d. NAILS & (6) 3/16" O X 2 1/4" TAPCONS	1545
33	MSTAM36	(13) 10d. NAILS & (9) 3/16" O X 2 1/4" TAPCONS	1915
34	MSTAM40	(17) 16d. NAILS & (16) 3/16" O X 2 1/4" TAPCONS	2475
35	CS16-R CUT LENGTH TO FIT	(11) 10d. NAILS & (7) 3/16" O X 2 1/4" TAPCONS	1650
36	HHS INVERTED HANGER	(2) 10d x 1.5 NAILS & (8) 3/16" O X 2 1/4" TAPCONS	1600
37	HUCM410 MASONRY HANGER	(16) 3/16" O X 2 1/4" TAPCONS	1600
38	HUCM412 MASONRY HANGER	(20) 3/16" O X 2 1/4" TAPCONS	1810
39	MBHA MASONRY HANGER	(1) 3/4" Ø THREADED ROD @ TOP AND @ FACE	3475
40	HGA10	(4) 1/4" dia. x 1 1/2" screws to wood & (4) 1/4" Ø X 2 1/4" TAPCONS	260 uplift 1000 lat.
41	HGUS48	(24) 3/16" O X 2 1/4" TAPCONS	2300
42	HGUS50/10	(24) 3/16" O X 2 1/4" TAPCONS	2300
43	FGTR	1 2-1/2" x 5 flten HD 2 4-1/2" x 5 flten HD	5000 9400

#	CONNECTOR	FASTENERS	UPLIFT(lbs.)
1	META18	(14) 10d X 1.5	1450
2	HETA20	1 PLY(14) 10d X 1.5 2/3 PLY(12) 16d	1810
3	MTS16 or MTS12	(14) 10d	840
4	H3 OR H5	(8) 8d	455 uplift 125 lateral
5	HD8A	7/8" Ø ANCHOR BOLT (3) 7/8" Ø BOLTS THRU	7910
6	HTS20	24- 10d x 1 1/2"	1450
7	HHETA20	1 PLY 17 - 10d x 1.5 2/3 PLY 15 - 16d	2235
8	HGT-2 or 3	(2) 3/4" ANCHORS	10530
9	SP-1	6 - 10d	585
10	SP-2	6 - 10d	890
11	SP-4	6-10d x 1 1/2"	735
12	CS16-R CUT LENGTH TO FIT	22 - 10d.	1705
13	LSTA12	10 - 10d	805
14	LSTA24	18 - 10d	1235
15	LSTA30	22 10d	1640
16	LSTA36	26 - 10d	1640
17	MSTA36	26 - 10d	2050
18	HETA16	1 ply- 11-10d x 1 1/2" 2 ply- 12-16d	1810
19	HUS26	14 - 16d	1550
20	HGUS48	36 - 16d	3220
21	FGTR	18-SDS-1/4" X 3" 36-SDS-1/4" X 3"	5000 9400
22	HTT16	18 16d + 5/8" A.Bolt	3480
23	HTT22	32-16d Sinkers + 5/8" A.Bolt	5250
24	ABU44	12-16d + 5/8" A. Bolt	2200
25	ABU66	12-16d + 5/8" A. Bolt	2300
26	H10	8- 8d x 1 1/2"	905
27	MST38	20 - 16d	2095
28	MST148	28 - 10d. x 1 1/2"	2335

TYPICAL CONNECTIONS AND DETAILS

- (a) (2) STUDS / (15) X 2 OR (6) X 2 @ TOP & (22) @ BASE - TYP. @ 1 STORY
- (b) (3) STUDS / (15) X 3 OR (6) X 3 @ TOP & (23) @ BASE - TYP. @ 1 STORY
- (c) (2) STUDS / (15) X 2 OR (6) X 2 @ TOP & (15) X 2 OR (6) X 2 @ LOWER BEAM OR RIMBOARD
- (c) (3) STUDS / (15) X 2 OR (6) X 2 @ TOP & (15) X 2 OR (6) X 2 @ LOWER BEAM OR RIMBOARD
- (d) (4) STUDS OR 6X6 P.T. POST / (28) X 2 @ TOP AND (5) @ BASE
- (e) (2) STUDS / (15) X 2 OR (6) X 2 @ TOP & (12) X 2 - 52" LONG @ FLOOR AND 2 STUDS BELOW (22) @ BASE
- (f) (3) STUDS / (15) X 3 OR (6) X 3 @ TOP & (12) X 2 - 52" LONG @ FLOOR AND 3 STUDS BELOW (23) @ BASE
- (g) (3) STUDS / (15) X 2 OR (6) X 2 @ TOP & (12) X 2 - 52" LONG @ BASE W/ (13) 10d. NAILS TO STUDS AND (10) 1/8" Ø X 2 1/4" TAPCONS TO GROUDED CMU
- (h) (3) STUDS / (15) X 3 OR (6) X 3 @ TOP & (12) X 3 - 52" LONG @ BASE W/ (13) 10d. NAILS TO STUDS AND (10) 1/8" Ø X 2 1/4" TAPCONS TO GROUDED CMU
- (j) 2nd FLOOR STUDS TO FLOOR SYSTEM WITH LSTA36 @ 32" O.C. OR CS16-R 52" LONG @ 32" O.C. AND AT CORNERS, ENDS AND TWO AT EACH SIDE OF OPENINGS
- (k) 2x10 LEDGER BOARD W/ (3) 1 1/4" Ø X 4" WOOD SCREWS AT 16" O.C. AT FRAME OR 1/4"x4 1/2" TAPCONS AT 5" O.C. TO CMU
- (k) (2) 2x12 LEDGER BOARD DOUBLE STAGGERED ROW OF 1/2" X 10" ANCHOR BOLTS AT 16" O.C. TO GROUDED CMU OR CONCRETE
- (l) 5 1/4" x 5 1/4" PARALLAM POST W/ (2) X 2 POST/BEAM / (23) @ BASE (TYP.)
- (m) 6"x6" P.T. POST W/ (27) X 2 POST/BEAM / (23) @ BASE (TYP.)
- (n) 4"x4" P.T. POST W/ (14) X 2 POST/BEAM (24) @ BASE (TYP.)
- (o) 4"x4" P.T. POST W/ (16) X 3 POST/BEAM (23) @ BASE (TYP.)

2 STORY TYPICAL CONNECTIONS AND DETAILS

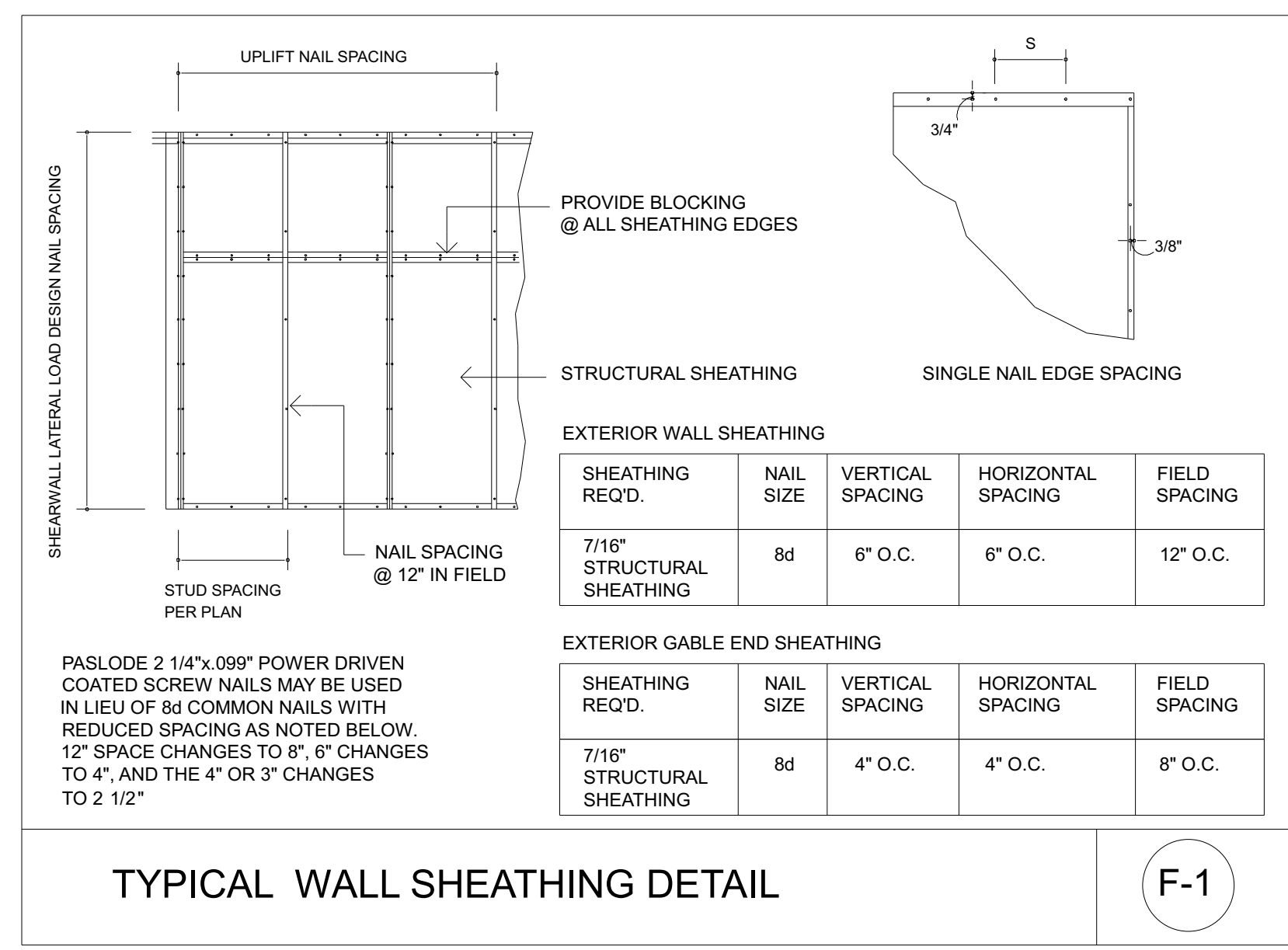
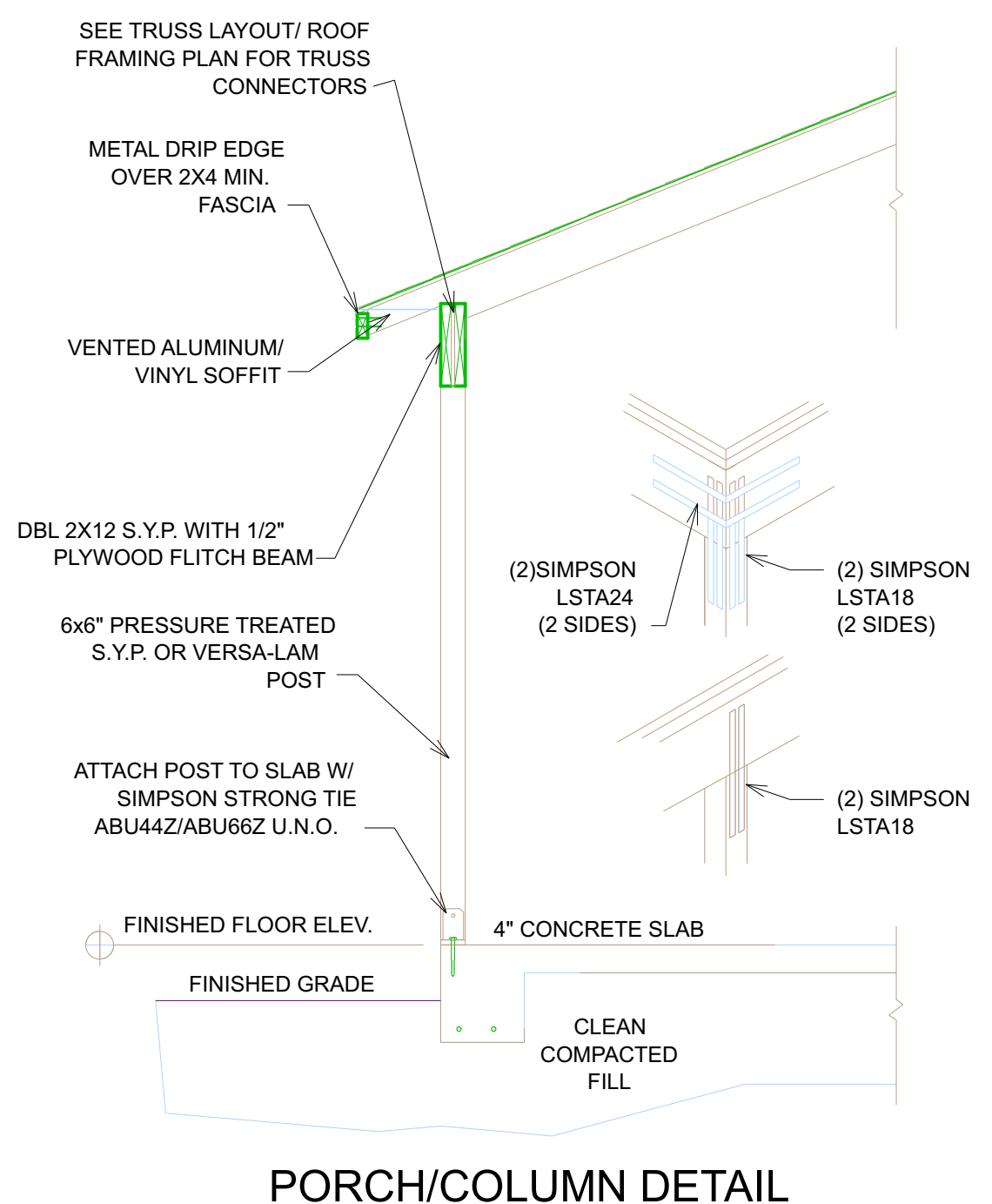
- (a2) (2) STUDS / (15) X 2 OR (6) X 2 @ TOP & (15) X 2 POST TO POST AND (22) @ BASE
- (b2) (3) STUDS / (15) X 2 OR (6) X 2 @ TOP & (15) X 2 POST TO POST AND (23) @ BASE
- (l2) 5 1/4" x 5 1/4" PARALLAM POST W/ (2) X 2 POST/BEAM (27) X 2 POST/POST/ (23) @ BASE (TYP.)
- (m2) 6" x 6" P.T. POST W/ (27) X 2 POST/BEAM (27) X 2 POST/POST/ (23) @ BASE (TYP.)
- (n2) 4"x4" P.T. POST W/ (14) X 2 POST/BEAM/ (15) X 2 POST TO POST, AND (24) @ BASE (TYP.)
- (o2) 4"x4" P.T. POST W/ (16) X 3 POST/BEAM/ (16) X 2 POST TO POST, AND (23) @ BASE (TYP.)

UNLESS NOTED OTHERWISE :

- WHERE CONNECTOR NOT NOTED FOR TRUSS TO FRAME USE (3) / TRUSS TO NEW CMU USE (1) / TRUSS TO EXIST. CMU USE (30)
- ALL INTERIOR BEAMS USE (6) X 2 ON FRAME AND (2) X 2 ON BLOCK
- ALL CONVENTIONALLY FRAMED MEMBERS USE 4 - 10d. TOE NAILS AT EACH END OF MEMBERS
- USE HUS26 AS 1 PLY HANGER AND HGUS48 AS 2 PLY HANGER
- MINIMUM OF 6" EMBEDMENT FOR ANCHOR BOLTS TO SLAB
- WHERE USED WITH WOOD FRAME WALLS, ALSO MUST USE (2) INVERTED HTT22 UNDER PLATES
- ALL INTERIOR HEADERS SHALL BE (2) 2 X 12 W/ 1/2" PLYWOOD BETWEEN AND (5) EACH END
- ALL ROOF & FLOOR GIRDERS TO HAVE MULTIPLE STUD BEARING, ONE STUD PER PLY. STRAPPING AS NOTED
- ALL GIRDERS ON CMU MUST HAVE MIN (1) FILLED CELL W/ #5 REBAR TIED TO THE BEAM ABOVE AND FOOTING BELOW
- ROOF LIVE LOAD 20 P.S.F.
FLOOR LIVE LOAD 40 P.S.F.
STAIRS 100 P.S.F.
DECKS & BALCONIES 60 P.S.F.
- S.W.S. = SHEAR WALL SEGMENTS (SEE ATTACHED DETAILS)
REF. PROJECT TRUSS ENGINEERING TO BLOCK WALL

C.M.U. WALL SYSTEM AS WELL AS I.C.F. SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 4'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL

R-3 CONNECTOR SCHEDULE



SHEATHING REQ'D.	NAIL SIZE	VERTICAL SPACING	HORIZONTAL SPACING	FIELD SPACING
7/16" STRUCTURAL SHEATHING	8d	6" O.C.	6" O.C.	12" O.C.

SHEATHING REQ'D.	NAIL SIZE	VERTICAL SPACING	HORIZONTAL SPACING	FIELD SPACING
7/16" STRUCTURAL SHEATHING	8d	4" O.C.	4" O.C.	8" O.C.

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DESIGN LOADS

(THESE DESIGN LOADS BELOW ARE ALSO INTENDED TO SERVE AS INSTRUCTIONS TO THE DELEGATED (TRUSS) ENGINEER FOR THIS PROJECT).

ROOF TRUSSES: LIVE LOAD = 20psf. DEAD LOAD = 7psf (TC) + 10psf (BC). (SHINGLES).
 FLOOR TRUSSES: LIVE LOAD = 40psf. DEAD LOAD = 10psf (TC) + 5psf (BC).

DESIGN WIND LOADS IN ACCORDANCE WITH SECTION R301 OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE 8TH EDITION, AND ASCE 7-22:
 WIND SPEED: VULT = 140 mph, VASD= 108 mph
 RISK CATEGORY II
 EXPOSURE CATEGORY B
 FULLY ENCLOSED
 TOPOGRAPHIC FACTOR = 1.0
 WIND DIR. FACTOR KD = 0.85
 GUST EFFECT, G = 0.85
 WINDBORNE DEBRIS AREA = NO

DESIGN LIVE LOAD:
 ROOFS = 20psf
 FLOORS = 40psf
 GARAGE FLOOR = 50psf
 BALCONIES = 60psf
 PORCHES, LOFTS, DECKS = 40psf

NOTE TO DELEGATED ENGINEER

PRE-FABRICATED WOOD JOIST AND TRUSSES FOR ROOF ASSEMBLIES AND FLOOR SYSTEMS (IF APPLICABLE) SHALL BE DESIGNED AND MANUFACTURED IN CONFORMANCE TO ASTM D5055, ANSITP1 1-1995 AND WTCA 1-1995 AND SHALL BE CERTIFIED BY A FLORIDA REGISTERED ENGINEER AS EMPLOYED BY THE TRUSS MANUFACTURER (DELEGATED ENGINEER).

ALL ROOF AND FLOOR TRUSSES SHALL BE DESIGNED TO RESIST THE WORST CASE LOAD COMBINATION WHICH RESULTS IN THE MAXIMUM STRESSES BEING PLACED ON THAT COMPONENT.

GALVANIZED SEAT-PLATES ARE TO BE ATTACHED TO EACH TRUSS AS A PROTECTIVE BARRIER WHERE THEY BEAR ON CONCRETE OR CMU.

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD, TO FABRICATION TO ENSURE CONFORMANCE TO THE DESIGN INTENT OF THE PROJECT.

SOIL

FOOTINGS HAVE BEEN DESIGNED FOR 2000psf SOIL BEARING CAPACITY. ANY LESSER BEARING SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER OR THE CONTRACTOR, WHERE THE SOIL BEARING CAPACITY IS NOT KNOWN OR IS IN QUESTION, THE SOIL SHALL BE TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER, WHO SHALL ESTABLISH THE BEARING CAPACITY. SAID ENGINEERING SHALL COORDINATE WITH THE STRUCTURAL ENGINEER WHEN NECESSARY. COMPACTED SOIL SHALL BE TESTED TO A MINIMUM OF 95% MODIFIED PROCTOR IN ACCORDANCE ASTM D 1557.

SLAB ON GRADE

SLAB SHALL BE OVER .006" POLYETHYLENE VAPOR RADON BARRIER SEALED ON TERMITE -TREATED SOIL WHICH HAS BEEN COMPACTED TO 95% MODIFIED PROCTOR IN ACCORDANCE WITH ASTM D 1557, OR UNDISTURBED SOIL SLABS SHALL BE AT A MINIMUM ELEVATION OF 8" ABOVE FINISHED GRADE. HIGHER ELEVATION MAY BE SUBSTITUTED OR REQUIRED.

REBAR EMBEDMENT AND HOOK LENGTH/BEND RADIUS:

FOR #5 REBAR FOR 90deg HOOK SHALL BE 10", MINIMUM EMBEDMENT SHALL BE 7" AND BEND RADIUS SHALL BE 2"

CONNECTORS

ALL METAL FASTENERS SHALL CONFORM TO ISANTA NER-272, AND SHALL BE GALVANIZED OR STAINLESS STEEL (WITHIN 3 MILES OF COASTAL SALT WATER AREA). FASTENERS SHALL NOT BE OVER-DRIVEN BY MORE THAN 1/8".

CONCRETE

UNLESS OTHERWISE SPECIFIED, CAST IN PLACE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000psi. CAST IN PLACE GROUT 2,000psi. PRECAST CONCRETE LINTELS 3000psi AND PRE-STRESSED CONCRETE LINTELS 5000psi. AT 28 DAYS.

CONCRETE SHALL CONSIST OF 1" MAX AGGREGATE CONCRETE MIX SLUMP BETWEEN 6" AND 7" AT THE TIME OF PLACEMENT. SEE ASTM AND SPECIFICATIONS FOR ADDITIONAL CRITERIA.

CONSTRUCTION JOINTS ARE TO BE PROVIDED IN ACCORDANCE WITH THE DESIGN CODES AND GUIDELINES AT THE ENGINEER'S DIRECTION.

METHOD OF CONCRETE FORMING, PLACEMENT, AND CURING SHALL BE CONDUCTED IN ACCORDANCE WITH ACI AND ASTM SPECIFICATIONS.

CMU

ALL CONCRETE MASONRY UNITS SHALL BE STANDARD WEIGHT BLOCK CONFORMING TO ASTM C-90, TYPE II NON-MOISTURE CONTROLLED AND SHALL HAVE A MINIMUM NET AREA COMPRESSIVE STRENGTH OF 1,900psi.

MORTAR

MORTAR SHALL BE EITHER TYPE M OR S IN ACCORDANCE WITH ASTM C 270 AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,000psi.

GROUT

GROUT SHALL HAVE A MINIMUM COARSE AGGREGATE SIZE OF 3/8" PLACED AT AN 8" TO 10" SLUMP AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,000psi AT 28 DAYS. SEE ACI AND ASTM SPECIFICATIONS FOR ADDITIONAL CRITERIA.

ELECTRICAL

ALL WIRING PER 2020 NEC CODE WHICH INCLUDE, ARC FAULT BREAKERS, TAMPER PROOF RECEPTACLES, GFI RECEPTACLES, WEATHER PROOF RECEPTACLES, IN SERVICE COVERS, SMOKE AND CO2 DETECTOR RILES TO BE FOLLOWED.

WIRING SHALL BE 14AWG ROMEX EXCEPT KITCHEN AND BATH RECEPTACLES.

SINGLE APPLIANCES WIRE TO BE SIZED ACCORDING TO MANUFACTURER SPECIFICATIONS. BONDING HOME TO EARTH SHALL BE ACCOMPLISHED BY A SLAB UNDERGROUND AND ONE DRIVEN COPPER CLAD 5/8" DIA. ROD, 8 FEET DEEP ALL ON #4 SOLID BARE WIRE.

REINFORCING STEEL

REINFORCING STEEL SHALL BE A MINIMUM OF GRADE 40 AND SHALL CONFORM TO ASTM A615 UNLESS OTHERWISE NOTED.

ALL CONTINUOUS VERTICAL AND HORIZONTAL REBAR SHALL BE LAP SPliced WHERE NECESSARY BY WIRING TOGETHER. LAP SPLICES SHALL BE CLASS B WITH A MINIMUM LAP OF 40 BAR DIAMETERS UNLESS SPECIFIED OTHERWISE.

IN LIEU OF 6"x 6" WELDED WIRE MESH OF 10 GAUGE STEEL, CONCRETE MAY BE REINFORCED WITH AN APPROVED FIBERMESH PRODUCT AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. FIBER MANUFACTURER MUST DOCUMENT COMPLIANCE WITH ASTM C-1116.

COVER FOR REINFORCING SHALL BE MEASURED FROM CENTER OF BAR AND BE AS FOLLOWS UNLESS NOTED OTHERWISE:
 CAST IN PLACE CONCRETE AGAINST EARTH = 3"
 CAST IN PLACE CONCRETE EXPOSED TO EXTERIOR = 2"
 CAST IN PLACE CONCRETE NOT EXPOSED TO EXTERIOR = 1-1/2"
 GROUT FILLED MASONRY = 1-1/2"
 PRE-CAST AND RESTRESSED GROUT FILLED LINTELS = 1-1/2"

STEEL REINFORCEMENT MAY NOT BE WELDED.

WELDED WIRE MESH

WELDED WIRE MESH SHALL CONFORM TO ASTM A185. WELDED WIRE MESH SHALL BE SUPPLIED IN SHEETS NOT ROLLS.

ANCHOR BOLTS

CAST IN PLACE ANCHOR BOLTS SHALL BE GALVANIZED AND MUST EXTEND 7" MINIMUM INTO CONCRETE UNLESS OTHERWISE NOTED.

RAILINGS

RAILINGS (IF APPLICABLE) ARE TO BE DESIGNED TO RESIST A 200lb CONCENTRATED LOAD AT ANY POINT AND IN ANY DIRECTION.

TYPE OF LUMBER

FOR WOOD FRAME CONSTRUCTION, USE #2 SPF FOR ALL EXTERIOR AND INTERIOR BEARING WALLS. ALL ROOF FRAMING MEMBERS TO BE #2 YELLOW PINE.

TREATED LUMBER

ALL WOOD MEMBERS THAT ARE WITHIN 8" OF FINISHED GRADE LEVEL, ALL EXPOSED UNFINISHED WOOD AND ALL WOOD MEMBERS IN CONTACT WITH CONCRETE AND/OR OTHER MASONRY SHALL BE PRESERVATIVE TREATED WITH DISODIUM OCTABORATE TETRA HYDRATE TO A MINIMUM GRADE OF 0.40pcf RETENTION AND SHALL CONFORM AWWA STANDARD C1 THROUGH C23 DEPENDING ON THE APPLICATION.

ROOF DECKING

UNLESS OTHERWISE SPECIFIED, ROOF SHEATHING SHALL BE 1/2" CDX PLYWOOD INSTALLED WITH EDGE CLIPS IN EACH BAY. ALL SHEATHING SHALL BE APA RATED FOR THE USE INTENDED.

PRE-FABRICATED PRODUCTS

LAMINATED VENEER LUMBER SHALL CONFORM TO ASTM D5456 STANDARD SPECIFICATION FOR EVALUATION OF STRUCTURAL COMPOSITE LUMBER PRODUCTS. ALL WOOD STRUCTURAL PANELS, INCLUDING BUT NOT LIMITED TO PLYWOOD, O.S.B, WAFFER BOARD AND MEDIUM DENSITY FIBERBOARD (MFB) SHALL CONFORM TO PS-1 AND PS-2 PERFORMANCE STANDARDS FOR WOOD BASED STRUCTURAL USE PLYWOOD. MFD SHALL NOT BE USED IN ANY EXTERIOR APPLICATIONS.

THE USE OF FORMALHYDE-BASED GLUES AND RESINS IS DISCOURAGED. ALL FINGER JOINTED LUMBER SHALL CONFORM TO NDS SECTION 4.1.6. AND SHALL BE USED IN A MANNER INCONSISTENT WITH THE LIMITATIONS OF FINGER-JOINTED LUMBER WITH RESPECT TO THE INTENDED APPLICATION.

PREFABRICATED WOOD JOISTS AND TRUSSES SHALL BE DESIGNED AND MANUFACTURED IN CONFORMANCE TO ASTM D5055, ANSITP1 1-1995 AND WTCA 1-1995 AND SHALL BE CERTIFIED BY A FLORIDA REGISTERED ENGINEER (DELEGATED ENGINEER).

CONTRACTOR RESPONSIBILITIES

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OR START OF CONSTRUCTION. WRITTEN DIMENSIONS SHALL TAKE PRECEDENT OVER SCALED DIMENSIONS. ANY DEVIATIONS OR DISCREPANCIES SHALL BE PROMPTLY REPORTED TO THE ENGINEER OF RECORD. CONTRACTOR SHALL MAKE ALL EFFORTS TO PROTECT THE STRUCTURE, THE WORK PERSONS AND OTHER PEOPLE DURING CONSTRUCTION.

HE/SHE SHALL SUPERVISE AND DIRECT THE WORK AND BE RESPONSIBLE FOR ALL CONSTRUCTION THE CONTRACTOR SHALL COORDINATE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND CONSTRUCTION FOR ANCHORS, EMBEDS AND SUPPORTS OR ANY OTHER ITEMS WHICH AFFECT THE STRUCTURAL DRAWINGS.

THERE SHALL NOT BE ANY CHANGES TO THESE CONSTRUCTION DOCUMENTS DURING THE DEVELOPMENT OF SHOP DRAWINGS OR DURING CONSTRUCTION WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER OF RECORD.

GENERAL NOTES

- ALL CONNECTIONS HAVE BEEN CHECKED TO WITHSTAND ALL APPLICABLE LOADS.
- ALL DETAILS AND SECTIONS SHOWN ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ON THE PROJECT UNLESS OTHERWISE NOTED.
- ALL CONCRETE BLOCKS SHALL BE STANDARD WEIGHT BLOCKS CONFORMING TO ASTM C90, GRADE N1 WITH Fm=1,000psi, LAID IN RUNNING BOND WITH TYPE S MORTAR.
- WHERE SHOWN, CORES OF CONCRETE BLOCK SHALL BE 1-#5 RE-BAR CONTINUOUS FROM FOUNDATION TO BOND BEAM AND FILLED WITH PEA GRAVEL CONCRETE. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,55psi @ 28 DAYS AND SLUMP EQUAL TO 8 TO 10 INCHES.
- IN MASONRY HEADERS, EXTEND THE BOTTOM STEEL REINFORCEMENT A MINIMUM OF 6" INTO PILASTER OR POURED COLUMN AND WIRE TIE TO VERTICAL STEEL REINFORCEMENT (REBAR).
- SOIL BORINGS HAVE NOT BEEN MADE. FOOTINGS HAVE BEEN DESIGNED FOR A SOIL BEARING CAPACITY OF 2,000psf. LESSOR SOIL BEARING CAPACITY IS THE RESPONSIBILITY OF THE BUILDING CONTRACTOR.
- FOOTING SHALL BEAR ON SOIL COMPACTED TO A DENSITY OF AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY AND TREATED FOR TERMITES IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE 8TH EDITION.
- FILL UNDER THE FLOOR SLAB SHALL BE COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY AND TREATED FOR TERMITES IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2023 FLORIDA RESIDENTIAL BUILDING CODE 8TH EDITION.
- CONCRETE SHALL HAVE AN UNCONFIRMED COMPRESSIVE STRENGTH OF 2,500psi AT 28 DAYS.
- THE BUILDING CONTRACTOR SHALL CHECK ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR OPENINGS, SLEEVES, ANCHORS, HANGERS, SLAB DEFLECTIONS, DIMENSIONS, PITCH, AND OTHER RELATED ITEMS AND SHALL ASSUME RESPONSIBILITY FOR THEIR PROPER LOCATION, PLACEMENT, AND CONTINUITY.
- ALL REINFORCING STEEL SHALL BE NEW BILLET STEEL CONFORMING TO ASTM 615 GRADE 40.
- ALL CONTINUOUS VERTICAL OR HORIZONTAL REBAR IN FOOTING, BEAMS AND OTHER CONCRETE SHALL BE SPLICED WHERE NECESSARY OR DESIRABLE BY WIRING TOGETHER IN CONTACT. THE LENGTH OF ALL OVERLAPS SHALL BE A MINIMUM OF 40 BAR DIAMETERS.
- THE PRECAST LINTEL SUPPLIER SHALL DESIGN THE LINTELS FOR ADEQUATE SUPER IMPOSED LOADS, THE DESIGN SHALL A.C.I. STANDARD AND THE STANDARD BUILDING CODES.
- ALL FRAMING SHALL BE FABRICATED AND INSTALLED AS PER A.I.T.C., T.P.I., AND THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION.
- ALL WOOD STRUCTURAL MEMBERS SHALL BE CONTROLLED STRESS GRADE LUMBER HAVING A FIBER STRESS OF AT LEAST 1,200psi.
- ALL WOOD MATERIALS ARE TO BE FASTENED IN ACCORDANCE WITH THE 2023 FLORIDA RESIDENTIAL BUILDING CODE 8TH EDITION TABLE 2306.1 UNLESS NOTED OTHERWISE.
- CONCRETE SLABS WILL BE REINFORCED WITH EITHER 6X6 #10 WIRE MESH OR FIBER MESH CONCRETE.
- SPECIFIED CONNECTORS MAY BE SUBSTITUTED WITH CONNECTORS FROM MANUFACTURERS WITH EQUAL OR GREATER VALUE.

COMPONENTS AND CLADDING (WORST CASE)

EXPOSURE CAT B | ROOF HEIGHT 30FT | 140 MPH FOR EXPOSURE CAT. FACTOR SEE TABLE BELOW

GABLE ROOF SLOPE (0-7 DEGREES)

ZONE	1	2	3
+8.6	-33.7	-44.5	-60.6

ROOFS SLOPE (7-37 DEGREES)

ZONE	1	2	3
+14.0	-39.1	-15.8	-35.5
+14.0	-51.6	-15.8	-46.3
+14.0	-67.8	-15.8	-49.8

ROOFS SLOPE (37 TO 45 DEGREES)

ZONE	1	2	3
+19.4	-35.5	-15.8	-30.1
+19.4	-39.1	-15.8	-35.5
+19.4	-48.0	-15.8	-46.3

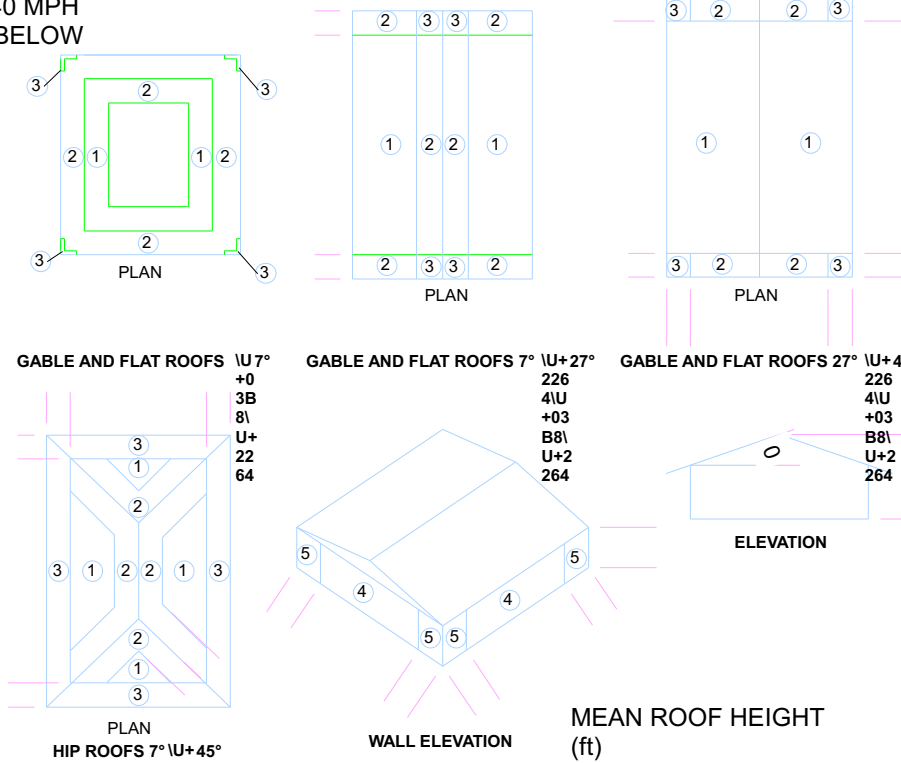
WALLS

ZONE	4	5
+21.2	-22.9	-28.3

a=4 feet h=30 feet

COEFFICIENT ADJUSTMENT

EXPOSURE CATEGORY	RH	B	C	D
15	0.82	1.21	1.47	1.75
20	0.89	1.29	1.55	1.81
25	0.94	1.35	1.61	1.86
30	1.00	1.40	1.66	1.91
35	1.05	1.45	1.70	1.96
40	1.06	1.49	1.74	2.00
45	1.10	1.53	1.78	2.04
50	1.13	1.56	1.81	2.07
55	1.16	1.59	1.84	2.10
60	1.19	1.62	1.87	2.13



UNLESS OTHERWISE NOTED USE LINTELS

DETAIL "C" FOR ALL CMU OPENINGS

DETAIL A					DETAIL C					DETAIL L				
8X8 PRECAST LITEL (FILLED AND UNFILLED)					8X16 PRECAST LITEL (COMPOSIT)					8X24 PRECAST LITEL (COMPOSIT)				
TOTAL ALLOWABLE SUPERIMPOSED LOAD - POUNDS PER LINEAR FOOT					TOTAL ALLOWABLE SUPERIMPOSED LOAD - POUNDS PER LINEAR FOOT					TOTAL ALLOWABLE SUPERIMPOSED LOAD - POUNDS PER LINEAR FOOT				
NOMINAL CLEAR SPAN	LINTEL SIZE	NO FILL	FILLED (1) #5	A	NOMINAL CLEAR SPAN	LINTEL SIZE	(1) #5 T&B	C	NOMINAL CLEAR SPAN	LINTEL SIZE	(1) #5 T&B	L		
L-1	1'-6"	2'-10"	6192	7845	L-1	1'-6"	2'-10"	12374	L-1	1'-6"	2'-10"	19724		
L-2	2'-2"	3'-8"	4277	5413	L-2	2'-2"	3'-8"	8488	L-2	2'-2"	3'-8"	13599		
L-3	2'-8"	4'-0"	3466	4383	L-3	2'-8"	4'-0"	8868	L-3	2'-8"	4'-0"	11004		
L-4	3'-2"	4'-5"	2917	3686	L-4	3'-2"	4'-5"	5772	L-4	3'-2"	4'-5"	9230		
L-5	4'-0"	5'-4"	2304	2906	L-5	4'-0"	5'-4"	4546	L-5	4'-0"	5'-4"	7287		
L-6	4'-6"	5'-10"	2045	2577	L-6	4'-6"	5'-10"	4028	L-6	4'-6"	5'-10"	6458		
L-7	5'-2"	6'-8"	1722	2167	L-7	5'-2"	6'-8"	3382	L-7	5'-2"	6'-8"	5548		
L-8	5'-8"	7'-8"	1434	1822	L-8	5'-8"	7'-8"	2908	L-8	5'-8"	7'-8"	4855		
L-9	7'-0"	8'-4"	1304	1636	L-9	7'-0"	8'-4"	2548	L-9	7'-0"	8'-4"	4089		
L-10	8'-0"	9'-4"	1138	1425	L-10	8'-0"	9'-4"	2216	L-10	8'-0"	9'-4"	3558		
L-11	9'-2"	10'-8"	989	1236	L-11	9'-2"	10'-8"	1918	L-11	9'-2"	10'-8"	3081		
L-12	10'-0"	11'-4"	904	1128	L-12	10'-0"	11'-4"	1749	L-12	10'-0"	11'-4"	2809		
L-13	11'-2"	12'-8"	807	1004	L-13	11'-2"	12'-8"	1554	L-13	11'-2"	12'-8"	2497		
L-14	12'-0"	13'-4"	749	931	L-14	12'-0"	13'-4"	1438	L-14	12'-0"	13'-4"	2312		
L-15	12'-8"	14'-0"	683	853	L-15	12'-8"	14'-0"	1356	L-15	12'-8"	14'-0"	2180		
L-16 (P.S.)	13'-4"	14'-8"	548	760	L-16 (P.S.)	13'-4"	14'-8"	1395	L-16 (P.S.)	13'-4"	14'-8"	1956		
L-17 (P.S.)	14'-0"	15'-4"	491	687	L-17 (P.S.)	14'-0"	15'-4"	1326	L-17 (P.S.)	14'-0"	15'-4"	1857		
L-18 (P.S.)	16'-0"	17'-4"	332	521	L-18 (P.S.)	16'-0"	17'-4"	1153	L-18 (P.S.)	16'-0"	17'-4"	1611		
L-19 (P.S.)	18'-0"	19'-4"	233	406	L-19 (P.S.)	18'-0"	19'-4"	1019	L-19 (P.S.)	18'-0"	19'-4"	1412		
L-20 (P.S.)	18'-8"	20'-0"	208	376	L-20 (P.S.)	18'-8"	20'-0"	980	L-20 (P.S.)	18'-8"	20'-0"	1368		
L-21 (P.S.)	20'-8"	21'-4"	189	303	L-21 (P.S.)	20'-8"	21'-4"	890	L-21 (P.S.)	20'-8"	21'-4"	1223		
L-22 (P.S.)	22'-8"	24'-0"	111	237	L-22 (P.S.)	22'-8"	24'-0"	740	L-22 (P.S.)	22'-8"	24'-0"	1106		

GENERAL NOTES

- CODES
 - FLORIDA BUILDING CODE
 - BUILDING CODE REQUIREMENTS FOR REINFORCER CONCRTE (ACI 318). STRUCTURES (ASCE 7-16)
 - AMERICAN BUILDING SOCIETY OF CIVIL ENGINEERS MIN. DESIGN LOADS FOR BUILDINGS AND OTHER
- CONCRETE
 - CONCRETE COMPRESSIVE STRENGTH @ 28 DAYS
 - PRECAST W/STANDARD REINFORCEMENT - 3500 PSI
 - PRECAST W/PRESTRESSED REINFORCEMENT - 5000 PSI
 - CONCRETE FILL (FIELD PLACED) - 2500 PSI
 - REINFORCING BARS
 - STEEL PLACED IN PRECAST LINTL @ TIME OF FABRICATION ASTM A615 (GRADE 60)
 - STEEL IN LINTEL & KWCK (FIELD PLACED) ASTM A615 (GRADE 40)
 - PRESTRESSED STRANDS ASTM 416 7-WIRE
 - DETAIL REINFORCEMENT IN ACCORDANCE WITH ACO 315
 - CONCRETING OPERATIONS SHALL COMPLY WITH ACI STANDARDS
- MASONRY
 - DESIGN AND CONSTRUCTION SHALL CONFIRM TO THE SPECIFICATION OF THE NCMA AND ACI 530/TM6402
 - MINIMUM MASONRY UNIT STRENGTH 1250 PSI
 - MORTAR SHALL BE TYPE S
- STRUCTURAL:
 - SAFE LOAD VALUES ARE BASED ON LINTELS HAVING A BEARING OF 8'

6 LINTEL SCHEDULE NTS

NAIL SPECIFICATIONS:

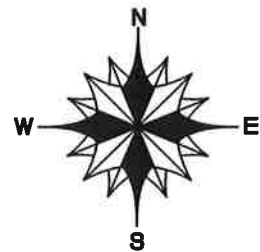
IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE, RESIDENTIAL, 8TH EDITION, THE MINIMUM FASTNER TO BE EMPLOYED IN SECURING ROOF SHEATHING MATERIALS IS TO BE AN 8d RING SHANK NAIL WITH THE FOLLOWING DIMENSIONS:

NOMINAL SHANK DIAMETER: 0.113"
 RING DIAMETER: 0.012" OVER SHANK DIAMETER
 RINGS PER INCH: 16 TO 20
 FULL ROUND HEAD DIAMETER: 0.28"
 MINIMUM TOTAL LENGTH: 2"

RAFTER/TRUSS SPACING 24" O.C. (MAX)	WIND SPEED							
	115 MPH	120 MPH	130 MPH	140 MPH	150 MPH	160 MPH	170 MPH	180 MPH
MINIMUM SHEATHING THICKNESS, INCHES (PANEL SPAN RATING) EXPOSURE B	7/16(24/16)	7/16(24/16)	7/16(24/16)	7/16(24/16)	15/32(32/16)	19/32(40/20)	19/32(40/20)	19/32(40/20)
MINIMUM SHEATHING THICKNESS, INCHES (PANEL SPAN RATING) EXPOSURE C	7/16(24/16)	7/16(24/16)	15/32(32/16)	19/32(40/20)	19/32(40/20)	19/32(40/20)	19/32(40/20)	23/32(48/24)
MINIMUM SHEATHING THICKNESS, INCHES (PANEL SPAN RATING) EXPOSURE D	15/32(32/16)	19/32(40/20)	19/32(40/20)	19/32(40/20)	19/32(40/20)	19/32(40/20)	23/32(48/24)	23/32(48/24)

SHEATHING LESS THAN 15/32" SHALL BE FASTENED W/ ASTM F1667 RRSR/01 (2-3/8" X 0.113") NAILS
 SHEATHING GREATER THAN 15/32" SHALL BE FASTENED W/ ASTM 1667 RRSR-03 (2-1/2" X 0.13") NAILS OR ASTM F1667 RRSR-04 (3" X 0.131") NAILS

RAFTER/TRUSS SPACING 24" O.C. (MAX)	WIND SPEED							
	115 MPH	120 MPH	130 MPH	14				

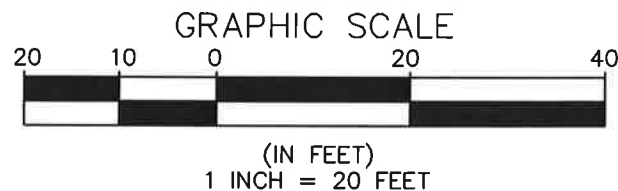


DRAINAGE PLAN GENERAL NOTES

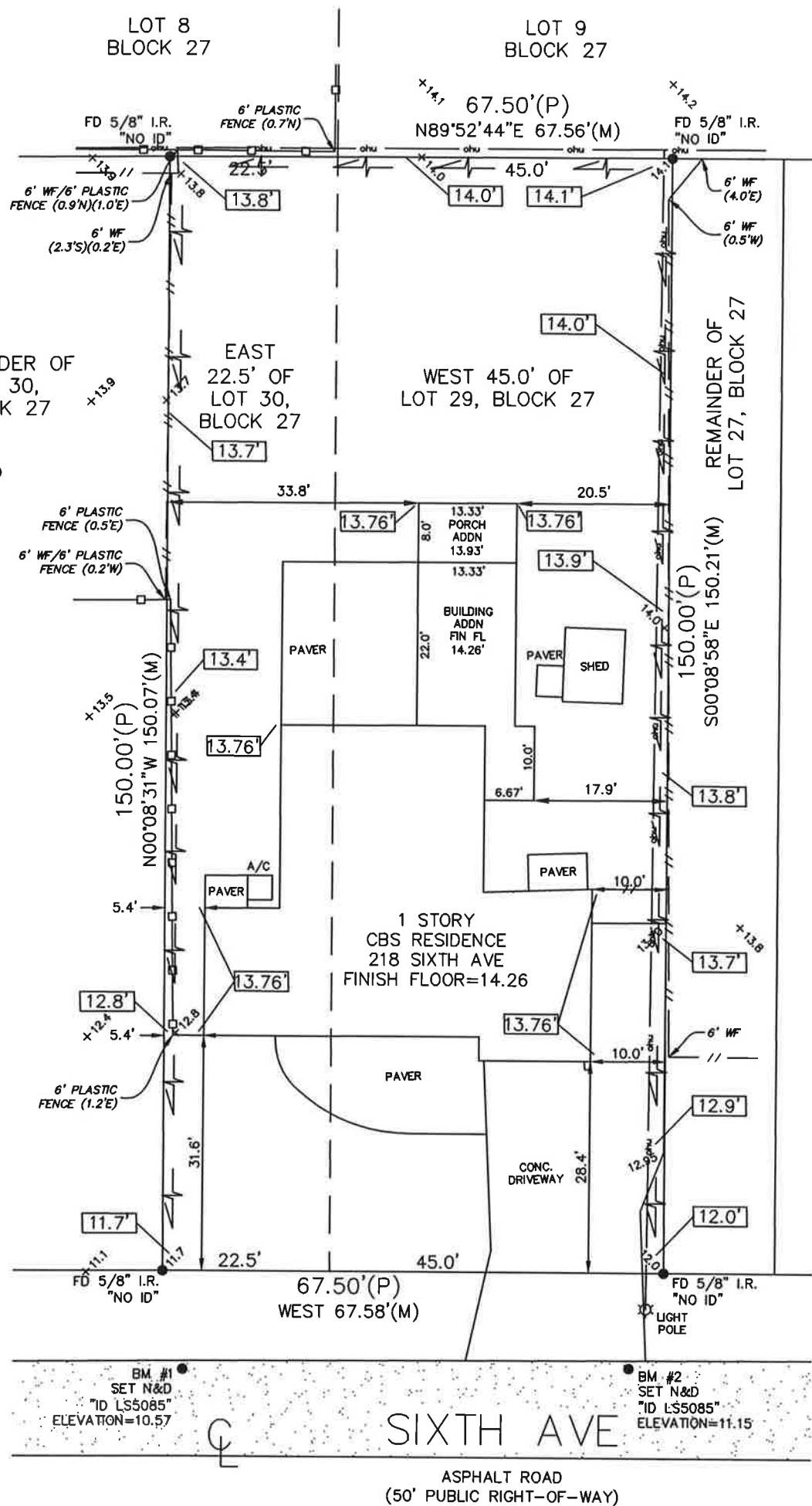
01. LEGAL DESCRIPTION PROVIDED BY CLIENT
02. ADJOINING PROPERTIES SHOWN HAVE NOT BEEN SURVEYED
03. THE EXPECTED USE OF THIS PARCEL IS RESIDENTIAL
04. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHT OF WAY AND/OR EASEMENTS OF RECORD.
05. SEPTIC TANKS AND WELLS IF SHOWN ARE APPROXIMATE LOCATIONS AND SHOULD BE FIELD VERIFIED BY CONTRACTOR FOR CORRECT POSITION AND SEPARATION. UNDERGROUND UTILITIES OR FOOTERS HAVE NOT BEEN LOCATED.
06. INFORMATION OBTAINED FROM PLAT OR DEED.
07. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES AND ARE REFERENCED TO U.S. STANDARD MEASURE (U.S. SURVEY FEET)
08. THE PROPOSED IMPROVEMENTS SHOWN HEREON DO NOT REPRESENT THE FINAL DESIGN UNLESS APPROVED BY THE GOVERNING MUNICIPALITIES.
09. ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP NUMBER 12009C0608G, THE PROPOSED ABOVE DESCRIBED PROPERTY LIES IN FLOOD ZONE "X"
10. SOD ALL DISTURBED AREAS IN R/W, ENTIRE ROADSIDE DRAINAGE SWALE AND ALL GREEN AREAS ON SITE. HAY AND SEED ANY DISTURBED AREAS OFF SITE (NOT WITHIN RIGHT OF WAY).
11. SOD TO MATCH HOUSE LOT SODDING (BAHAI, FLORATAM OR ST AUGUSTINE).
12. NO SLOPES SHALL EXCEED 4:1 ON SITE UNLESS OTHERWISE APPROVED BY TOWN OF MELBOURNE BEACH

DRAINAGE CERTIFICATION

THE ENGINEERING FEATURES OF THE PROPOSED SINGLE FAMILY DRAINAGE AND GRADING PLAN HAVE BEEN DESIGNED OR SPECIFIED AND SHALL CONFORM TO THE ENGINEERING PRINCIPLES APPLICABLE TO SUCH PROJECTS AND MEET THE LAND DEVELOPMENT REQUIREMENTS OF THE TOWN OF MELBOURNE BEACH



SITE DRAINAGE PLAN
SCALE: 1" = 20'



BUILDING DATA
 1662 SQ FT EXIST BUILDING
 467 SQ FT BLDG ADDITION
 TOTAL NEW BLDG AREA = 2129 SQ FT
 TOTAL SHED = 80 SQ FT
 TOTAL DRIVEWAY AREA = 821 SQ FT
 TOTAL PAVERS = 806 SQ FT

TOTAL IMPERVIOUS AREA
 (HOUSE/DRIVEWAY/PAVERS)
 3836 SQ FT (IMPERVIOUS AREA)
 TOTAL SITE COVERAGE = 37.9%

TOTAL PROPERTY AREA
 10125 SQ FT

DRAINAGE LEGEND

- 00.00 = EXISTING GRADE
- 00.00 = PROPOSED GRADE
- = FLOW DIRECTION

NOTE
 ELEVATIONS BASED ON NAVD 1988



Digitally signed
 by Edward F
 Shinskie
 Date:
 2026.04.28
 16:18:46 -04'00'

THIS ITEM HAS BEEN DIGITALLY SIGNED AND
 SEALED BY EDWARD F. SHINSKIE, IN AUBURN
 ALABAMA. THE DATE AND/OR TIME
 STAMP SHOWN USING A DIGITAL SIGNATURE
 PROPER CARE OF THIS DOCUMENT ARE
 NOT CONSIDERED SIGNED AND SEALED AND
 THE SIGNATURE MUST BE VERIFIED ON ANY
 ELECTRONIC COPY.

ENGINEERING AND DESIGN CONCEPTS, INC.
 2115 PALM BAY ROAD STE. 6
 PALM BAY, FL. 32905
 TEL: (321) 724-0740
 FAX: (321) 914-4206
 EMAIL: bcarter1350@GMAIL.COM

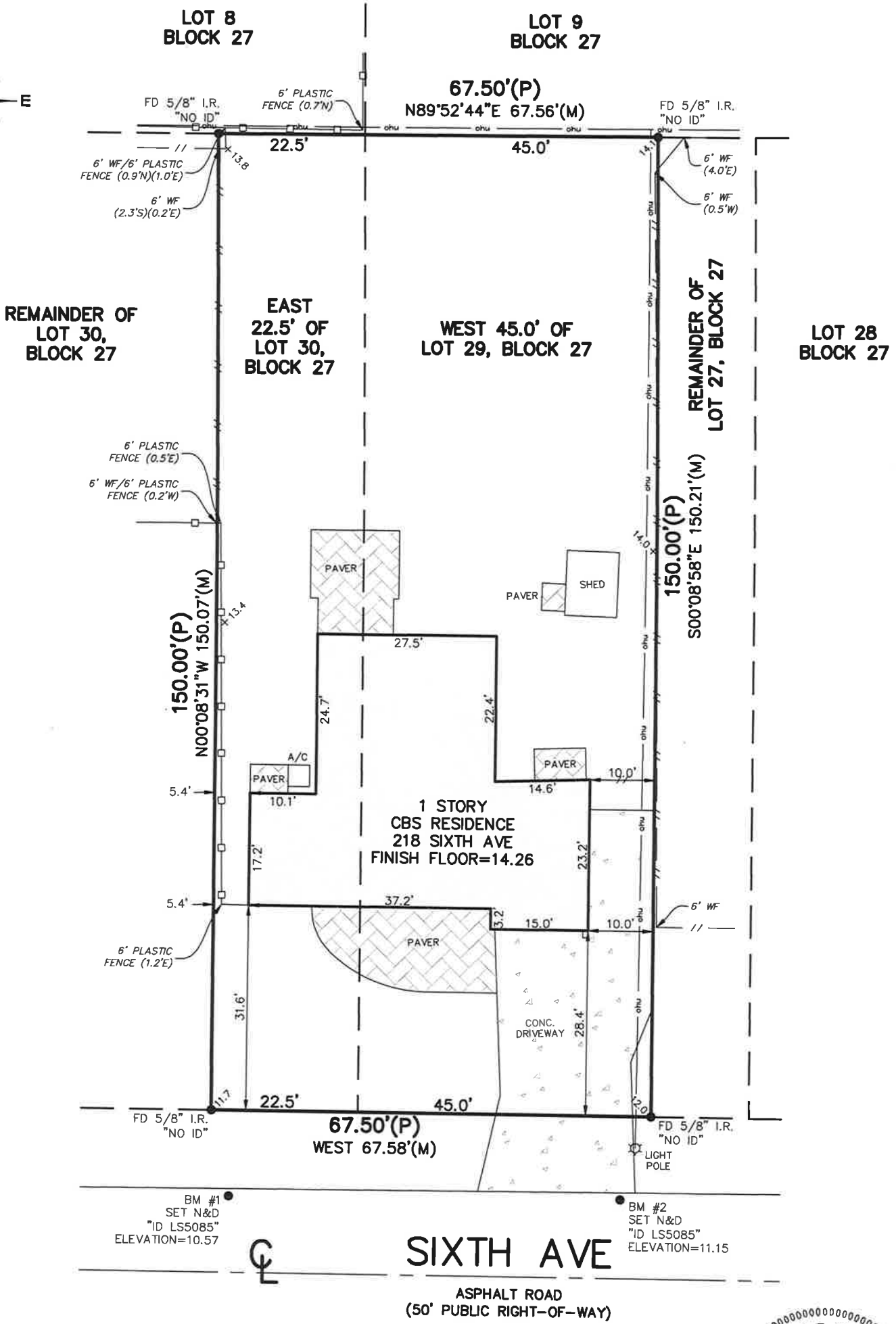
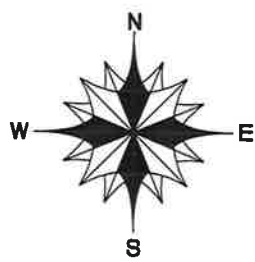
REVISIONS
04/14/26 ISSUE
04/28/26 CITY REVS

ENGINEER OF RECORD
 EDWARD F. SHINSKIE, PE
 4707 WILD TURKEY ROAD
 MIMS, FLORIDA 32754
 FLORIDA PE# 47515
 PH. 321-863-3223

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY EDWARD F. SHINSKIE, PE LIC NO 47515 ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE.
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.

SITE DRAINAGE PLAN FOR:
 218 SIXTH AVE
 MELBOURNE BEACH, FLORIDA

BOUNDARY SURVEY OF:
THE WEST 45.0' OF LOT 29, AND THE EAST 22.5' OF LOT 30, BLOCK 27
AS SHOWN ON THE WILCOX PLAT OF MELBOURNE BEACH
AS RECORDED IN PLAT BOOK 1, PAGE 58 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.



SIXTH AVE
 ASPHALT ROAD
 (50' PUBLIC RIGHT-OF-WAY)



DocuSigned by:
Myron Barker, PLS 5085
 F3A398E3C3764FF...

NOTE
 ELEVATIONS BASED ON NAVD1988

PROFESSIONAL SURVEYOR & MAPPER IN RESPONSIBLE CHARGE
MYRON E. BARKER - FLORIDA CERTIFICATE NO. 5085
CERTIFICATE OF AUTHORIZATION LB. 6586

LEGEND	
(AKA)	= ALSO KNOWN AS
BM	= BENCHMARK
CL	= CENTERLINE
CBS	= CONCRETE BLOCK STRUCTURE
CLF	= CHAIN LINK FENCE
CH	= CHORD
CM	= CONCRETE MONUMENT
CONC.	= CONCRETE
COR.	= CORNER
(D)	= DEEDED
DEL	= DELTA
FD	= FOUND
ID	= IDENTIFICATION
I.P.	= IRON PIPE
I.R.	= IRON ROD
L	= LENGTH
LB	= LICENSE BUSINESS
LS	= LICENSE SURVEYOR
(M)	= MEASURED
N&D	= NAIL & DISK
(P)	= PLATTED
PC	= POINT OF CURVATURE
PT	= POINT OF TANGENCY
PL	= PROPERTY LINE
P.S.M.	= PROFESSIONAL SURVEYOR & MAPPER
PRC	= POINT OF REVERSE CURVE
P.U.&D.	= PUBLIC UTILITY & DRAINAGE
R	= RADIUS
R/W	= RIGHT-OF-WAY
(TYP.)	= TYPICAL
WF	= WOOD FENCE

SURVEYOR'S NOTES:

- 1) THE BEARING SYSTEM SHOWN HEREON IS BASED ON A ASSUMED BEARING OF WEST, ALONG THE NORTH RIGHT-OF-WAY LINE OF SIXTH AVE.
- 2) AS PER FLOOD INSURANCE RATE MAP NO.12009C 0608 H, INDEX DATED 01-29-2021, THE ABOVE DESCRIBED PROPERTY LIES IN ZONE X.
- 3) THIS SURVEY WAS PREPARED FROM TITLE INFORMATION PROVIDED TO THE SURVEYOR. THERE MAY BE ADDITIONAL RESTRICTIONS OR EASEMENTS THAT AFFECT THE PROPERTY.
- 4) UNDERGROUND UTILITIES AND FOUNDATIONS HAVE NOT BEEN SHOWN.
- 5) LANDS SHOWN HERON WERE NOT ABSTRACTED FOR RIGHT-OF-WAY, RESERVATION, AGREEMENT AND/OR EASEMENTS OF RECORD, SUCH INFORMATION IF DESIRED, SHOULD BE OBTAINED AND CONFIRMED BY OTHER THROUGH APPROPRIATE TITLE VERIFICATION.
- 6) NOT VALID WITHOUT A SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

TYPE OF SURVEY:
BOUNDARY SURVEY

PROJECT:
26-1346

SCALE: 1" = 20'
DATE: 03/31/2026
CAD FILE: 26-1346.DWG
F.B. NUMBER:
REVISION:

PRECISION
LAND SURVEYING, INC.
 2900 LAKE WASHINGTON ROAD, SUITE 1
 MELBOURNE, FLORIDA 32935
 PHONE: 321-259-4600
 EMAIL: PRECISIONSURVEYING1993@GMAIL.COM

CERTIFIED TO:
KATHERINE R. WILLOUGHBY AND JOHN DRENGA

PRECISION LAND SURVEYING, INC. © 2016-2026. April 1, 2026 8:13 AM

Planning and Zoning Meeting

Section: Old Business
Meeting Date: May 5, 2026
From: Building Department
RE: Site Plan Approval for 200 Shannon Ave. – Renovation & Addition

Background Information:

The Town received plans for a renovation and an addition at 200 Shannon Ave.

Recommendation:

Approve the site plan for 200 Shannon Ave.

Attachments:

- Town Planner Letter – Pages 44-46
- Response from Town Planner Regarding Swales – Pages 47-50
- Development Application and Narrative – Pages 51-55
- Original Plans and Survey – Pages 56-61

Site Plan Review

Applicable Codes:

**Town of Melbourne Beach Land Development Code
Current Florida Building Code**

Date: April 7, 2026
Owner: Connor and Victoria Scalise
Owner Address: 200 Shannon Avenue, Melbourne Beach FL 32951
Site Address: 200 Shannon Avenue, Melbourne Beach FL 32951
Parcel ID: 28-38-06-75-2-1
Zoning: 2RS- Single- Family

Proposed Project: Renovation to existing home and garage addition
References: Town of Melbourne Beach Code of Ordinances:
 7A-32 Single-Family Residential District
 7A-51.1, Site Plan Approval For Single-Family Residential Districts

Request: Site Plan Approval in Accordance with 7A-51.1
Staff Review: The property lies in Zoning District 2RS

- 1) The project includes renovation of the existing single-family home and a garage addition. The proposed garage addition extends into the 25' setback from Shannon Avenue and a variance was granted by the Melbourne Beach Board of Adjustment that was needed in advance of the Planning & Zoning Board consideration of the site plan.
- 2) The Building Lot Zoning District requirements for min. lot area, width and depth.
 Lot area is 13,638 sq. ft. (min. 11,250 sq. ft.)
 Lot width is 115 ft. (min. 90 ft. measured from the front building line)
 Lot depth is approximately 118 ft. (min. 100 ft.)
- 3) Lot coverage is a maximum of 30% for principal structure.
 Lot coverage per plan is 28%
 Footprint of Primary Structure is 3,832 SF.
 Max allowed for Primary Structure is 4091.4 sq. ft. for Lot Area of 13,638 sq. ft.
 Minimum pervious area per lot is 30%. Pervious area is 54%.

- 4) Structure maximum height for zoning district is 28 ft.
 The proposed height provided is 9'4" to the tie beam and approximate 20' to the top of the roof from FFE.
 Flood Zone: X per survey

Zoning District Setback requirements:

Proposed Primary Structure Front Setback (Shannon): 15.3' (min. 25'.) Variance Granted
 Existing Primary Structure Rear Setback: 12.5' (min. 25') existing nonconformity
 Existing Primary Structure Side Corner Setback: 16.9' (min. 25') existing nonconformity
 Existing Primary Structure Side Interior Setback 11.7' (min. 15') existing nonconformity
 Existing nonconformities are allowed to continue under 7A-83.

- 5) Applicable sediment and erosion control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.
- 6) On-site Storm water Retention Control measures are not applicable as the proposed improvements do not exceed the threshold for compliance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.
- 7) The requirements of Chapter 9A Landscape are applicable for any tree removal and replacement which will be addressed during the building permitting process.

Based on the above review, I find the proposed site plan for the referenced property is in compliance with The Town of Melbourne Beach Code of Ordinances.



Corey W. O'Gorman
 Town Planner

200 Shannon Avenue

IMPERVIOUS		PERVIOUS	
Primary Structure	3832	Open areas	7358
Pool & Deck	1773		
Driveway	675		
 Total Paved Area	 6280		
<hr/>		<hr/>	
Total Lot Area	13,638	Total Lot Area	11,250
 <hr/>		 <hr/>	
% IMPERVIOUS	46%	% PERVIOUS	54%

Date April 8, 2026

Response: April 14, 2026

Memo to Corey Ogorman, Town Planner

From: Corey O'Gorman, Town Planner

From Dan Harper, P&Z Member

To: Dan Harper, P&Z Member and Town of Melbourne Beach Planning & Zoning Board

Re: Stormwater swales requirement for renovation projects (3A-80)

In connection with a recent P&Z plan review of 200 Shannon Ave., there was discussion as to the applicability of the Drainage Concurrency ordinance 3A-80.

It was voted on to request written clarification from you on this matter; (1) in a general application sense and (2) in particular how it was applied to the 200 Shannon Ave. plan approval. Please provide written answers to the following questions no later than April 27th so they will be available for our May meeting.

Thank you for your inquiry. Following is my interpretation of the code in this regard and in response to the questions below.

General Applicability of 3A-80

Section (d) in part states; any modification or renovation to any existing residential structure that increases the appraised value of the structure by more than 50% must comply with the stormwater swale requirements.

To clarify, 3A-80(d) states that “any modification or renovation to any existing residential structure on any residential lot of greater than 50% of its appraised value and any regrading of any residential lot shall require compliance with division 3A-80(a) and (b).” So, the threshold that triggers compliance is where the “modification or renovation to any existing residential structure” is of a value that exceeds 50% of the appraise value of that structure.

My interpretation is that what constitutes “structure” includes the structural elements of the building which is limited to the floor and walls, and would not include the building interiors or systems. This is because the requirement to

comply with setbacks (as envisioned in section 7A-83 for nonconformities) and the provision of stormwater management improvements relates to expansion or modification of the structure, and is not related to interior improvements. As such there is no rational nexus between conducting interior renovations and either the requirement to compliance with setbacks or impacts on the level of service for the provision of stormwater management.

Note that the intent of Section 3A is to ensure that the availability of infrastructure such as stormwater management systems is in place to meet the established levels of service and establish guidelines and procedures for enforcing the standards. Interior remodeling has no impact on the level of service for stormwater.

Question No. 1—if the interior of a house is gutted and remodeled, without changing its footprint or height, and value is increased by more than 50%, does it have to comply with the swale requirements of 3A-80?

My interpretation of 3A-80 is that the threshold for calculating the 50% value is limited to expansion of the structure and does not consider interior elements, because those interior improvements have no impact on the provision of stormwater management, and as such stormwater management would not be required.

Question No. 2—if a remodeled house increases its footprint or height within current ordinance limits, and the improvement exceeds 50% of the appraised value would they need to comply with 3A-80 swale provisions?

Yes, if the value of the structural improvements, without consideration to the interior modifications, exceeded 50% of the appraised value of the building.

Question No. 3—Under what circumstances or conditions, if any, would a renovated or modified single family residence, who's appraised value increased by more than 50% be exempt from complying with the 3A-80 swale provisions?

If the value of the improvements to the structural elements exceeds 50% of the appraised value of the existing building, then compliance with 3A-80 would be required.

Specific Application of 3A-80 to 200 Shannon Ave.

Question No. 4—Drainage Concurrence 3A-80 is included under Article VII Drainage Criteria, a completely separate section of the ordinances from The Chapter 7; Zoning sections. Provide additional rational as to why the extensive remodel, much more than a 50% increase in value, is exempted from 3A-80. Your provided explanation in the Feb. 21 email to Steve in the Bldg Dept. stated, “So I think if the addition to the existing structure is just the garage structure and if the value is less than 50% similar to the threshold for the nonconforming portions of the structure (highlighted below in the Feb 2 email) then they would not have to provide drainage”.

Same as above: My interpretation is that what constitutes “structure” includes the structural elements of the building which is limited to the floor and walls, and would not include the building interiors or systems. This is because the requirement to comply with setbacks (as envisioned in section 7A-83 for nonconformities) and the provision of stormwater management improvements relates to expansion or modification the modification of the structure, and is not related to interior improvements. As such there is no rational nexus between conducting interior renovations and either the requirement to compliance with setbacks or impacts on the level of service for the provision of stormwater management.

Why does the more than 50% improvement to the interior of the structure not require compliance with 3A-80?

Same as above: My interpretation is that what constitutes “structure” includes the structural elements of the building which is limited to the floor and walls, and would not include the building interiors or systems. This is because the requirement to comply with setbacks (as envisioned in section 7A-83 for nonconformities) and the provision of stormwater management improvements relates to expansion or modification the modification of the structure, and is not related to interior improvements. As such there is no rational nexus between conducting interior renovations and either the requirement to compliance with setbacks or impacts on the level of service for the provision of stormwater management.

Question No. 5--Why is the value of the garage addition used as justification for the less than 50% increase in value and the extensive internal remodel not considered?

Same as above: My interpretation is that what constitutes "structure" includes the structural elements of the building which is limited to the floor and walls, and would not include the building interiors or systems. This is because the requirement to comply with setbacks (as envisioned in section 7A-83 for nonconformities) and the provision of stormwater management improvements relates to expansion or modification the modification of the structure, and is not related to interior improvements. As such there is no rational nexus between conducting interior renovations and either the requirement to compliance with setbacks or impacts on the level of service for the provision of stormwater management.

General Applicability of 7A-83 Nonconforming Structures

Question No. 6—the section (3) of 7A-83 uses the term "destroyed". We have in the past interpreted "destroyed" to be a peril caused by such events as fire, flood or hurricane. In your email of Feb. 2 to Ryan Knight you state that since the exterior wall being replaced is less than the 50% threshold the nonconforming status is not required to be remedied.

Why is 7A-83 (3) even utilized in your analysis when nothing has been "destroyed"?

The 7A-83 reference is to the renovation of the existing home where a portion of the existing structure (which is wood frame) that encroaches into the setback is being removed (destroyed) and replaced with block, and they are not required to comply with current setbacks.



TOWN OF MELBOURNE BEACH DEVELOPMENT APPLICATION

I. SUBMITTAL REQUIREMENTS:

1. Fees per current schedule.
2. Deed to property.
3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting.
4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

II. REQUEST:

- | | |
|--|--|
| <input type="checkbox"/> Land Use Plan Amendment | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Special Exception | <input type="checkbox"/> Coastal Construction Variance |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Appeal (Application must be filed within 30 days) |
| <input checked="" type="checkbox"/> Site Plan Review Single Family (1RS, 2RS, 3RS) | <input type="checkbox"/> Site Plan Review Multifamily (4RM, 5RMO) |
| <input type="checkbox"/> Site Plan Review Commercial (6B, 7C, 8B, 9I) | <input type="checkbox"/> Amendment to the Land Development Code |
| | <input type="checkbox"/> Other (specify) _____ |

III. PROPERTY INFORMATION:

General Location: _____

Address: 200 Shannon Ave Melbourne Beach 32951

Parcel Number(s): 28-38-06-75-2-1

Area (in acreage): 1.31 Area (in square feet): _____

Current Zoning: _____ Proposed Zoning: _____

Current Future Land Use: _____ Proposed Future Land Use: _____

Brief Description of Application: Remodel existing home/add
new garage

Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable): _____

IV. APPLICANT INFORMATION:

Property Owner

Name: Connor & Victoria Scalise

Phone: 321 525-0469

Address: 200 Shannon Ave

Fax: _____

Melbourne Beach FL 32951

Email: Scalise88@gmail.com

Applicant (if other than property owner)

Name: McHenry Construction

Phone: 321 626 6648

Address: 1268 Wild Rose Dr NE

Fax: _____

Palm Bay FL 32905

Email: MCCkitchens@gmail.com

V. OWNER AUTHORIZATION:*

The undersigned hereby affirms the following:

1. That I/we are the fee simple title owner/contract purchaser (circle one) of the property described in this application.
2. That I/we have read and understands the entire application and concurs with the request.
3. That I/we have appointed the Applicant to represent the application, and empowers the Applicant to accept any and all conditions of approval imposed by the Town of Melbourne Beach.

Signature: *Connor Scalise*

Date: 8-26-2025

Print Name: Connor Scalise

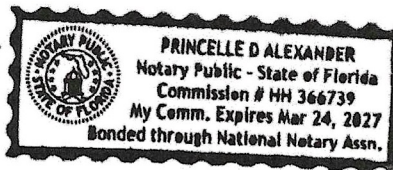
Title: Owner

*Must sign in front of notary.

State of Florida
County of Brevard.

The foregoing application is acknowledged before me this 26 day of August, 2025 by Connor Scalise who is/are personally known to me, or who has/have produced Personally Known as identification.

Princelle D Alexander
Signature of Notary Public, State of Florida



VI. APPLICANT CERTIFICATION:*

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

Signature: [Handwritten Signature] Date: 9/2/25
Print Name: John Brannan Title: President

*Must sign in front of notary.

State of Florida
County of Brevard.

The foregoing application is acknowledged before me this 2nd day of SEPTEMBER 2025, by JOHN BRANNAN who is/are personally known to me, or who has/have produced F.L. DRIVER LIC as identification.

[Handwritten Signature]
Signature of Notary Public, State of Florida



VII. PROJECT DESCRIPTION:

Describe Application: Remodel existing home / add new garage

Provide attachment if more space is needed.

Describe Existing Conditions: 1957 home with 2909 total sq. ft.

Provide attachment if more space is needed.

Project Narrative

The following narrative provides the background and reasoning for our request for a setback variance to allow the construction of a new garage addition at our residence in Melbourne Beach, Florida. The existing home, originally constructed in the 1950s, does not conform to current setback standards as it sits today and presents multiple functional limitations that make it challenging for a modern family. To reach the main bedroom, one must pass through another bedroom on a different elevation, and the home's plumbing configuration is outdated, including a water heater drain line that runs directly through the main shower wall. These conditions have made the home increasingly impractical for everyday living.

In July 2024, we met with Kim Kotisfas, Building Assistant, and Robert Bitgood at the Melbourne Beach Town Hall to discuss potential renovation and improvement options for our property. During that meeting, we were informed that a new garage could be constructed at the front of the existing house, provided it was located within a 15-foot setback from Shannon Avenue. Based on this official guidance, we engaged a licensed architect and proceeded with the design development process, including floor plans and construction drawings that adhered to the information provided by Town representatives. Over the course of more than a year, we invested significant resources into design, planning, and coordination based on the understanding that a 15-foot setback would be acceptable for the garage location.

Recently, however, we were informed that the correct required setback from Shannon Avenue is 25 feet, not 15 feet. This updated information has placed our project in a position where the existing design, created in good faith and based on direction from Town staff, can no longer proceed as planned. The miscommunication has caused substantial financial and logistical setbacks, and this variance request is being made to allow our project to move forward consistently with the plans previously approved conceptually by the Town.

Additionally, Section 7A-50 of the Melbourne Beach Land Development Code (Off-Street Parking) requires that:

“(7) Single-family dwelling units. Enclosed parking space must be provided for at least two vehicles.”

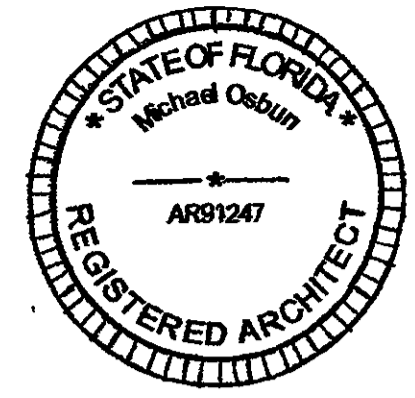
The proposed garage addition is intended to bring the property into compliance with this section by providing enclosed parking for two vehicles, which the existing home currently lacks. Strict adherence to the 25-foot setback requirement would make compliance with this code section physically impossible, given the placement of the existing home on the lot.

Our goal is to update this home to meet modern family needs and to create a long-term residence designed with our growing family in mind. We currently have an infant and plan to add a nursery and additional space to accommodate more children in the future. The proposed

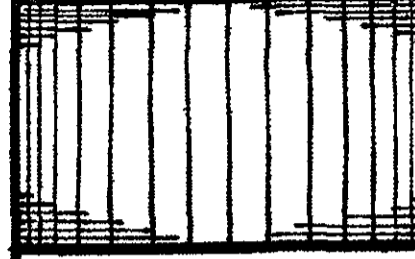
design reflects not just a renovation, but the development of our dream home — one that provides safety, functionality, and the ability to grow within our existing neighborhood.

The requested variance will not negatively impact adjacent properties, neighborhood character, or public welfare. The proposed garage maintains a compatible residential appearance consistent with other homes in the area, and its placement will improve property functionality while preserving aesthetics and safety standards. Granting this variance will allow the home to be modernized responsibly, comply with current off-street parking requirements, and serve as a safe and practical long-term residence for our family.

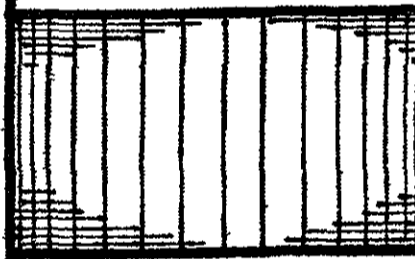
We respectfully request the approval of this variance to allow the garage to be constructed as originally designed, within the 15-foot setback from Shannon Avenue, thereby aligning the property with both functional needs and Town Code requirements.



These documents are the sole property of Architect Michael Osburn. They are issued for this specific project only. Address or modifications to, or reproduction of these documents without the express written consent of Michael Osburn is prohibited by law.

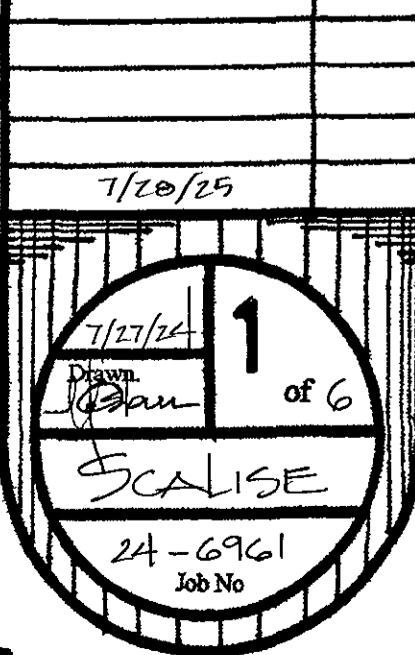


A R C H I T E C T
Michael Osburn
(321)626-4544
482 St. Johns Dr., Satellite Beach, FL 32937



A Renovation & Addition for:
Victoria & Conner Scalise
200 Shannon Ave.
Melbourne Beach, FL 32951

Revisions table with columns for Revisions and By.



DESCRIPTION OF PROJECT:

The renovation of and addition to a single family residence

FBC CONFORMANCE:

This project conforms to the following codes
8th Edition Florida Building Code (2023) - Residential
FBC 2023 8th Ed., FBC Energy Conservation 2023 8th Ed., FBC Mechanical 2023 8th Ed., FBC Plumbing 8th Ed., NFPA 70, 2020 Ed of Nat Electric Code, & all Florida Statutes

SOIL DESIGN:

- A) Soil bearing capacity = 2500 psf min
- B) Soil compaction = 95%
- C) Soil and/or fill to be clean, fully compacted, and treated for termites (option to install a baited termite system)

NOTES:

- 1) Contractor to field verify all site conditions and dimensions prior to ordering materials. Notify architect of any discrepancies between the plans and actual site conditions
- 2) Building addition is of Type V construction
- 3) The HVAC sub contractor, if required by the Building Official, shall provide the Manual J/S calculations &/or energy/heat load calcs and all duct and system sizes and locations prior to permitting of the project
- 4) All new windows and exterior doors are to meet the minimum wind design loads as shown on this plan. The contractor shall supply the Building Department with product approval information at the time of permit submittal
- 5) All windows and exterior doors shall have safety or tempered glass in locations as required by the code
- 6) Wind borne debris protection is required for all new exterior openings. Use impact rated systems or shutters or approved egress. Contractor is to supply Product Approval information for all
- 7) Pre-engineered truss package by others. Notify architect and/or truss company if there are discrepancies between these drawings and the truss package
- 8) Printed dimensions on the plans shall take precedent over scaled dimensions. Do not scale drawings. Larger scaled details take precedence over smaller scaled drawings. All dimensions of existing elements are to be site verified if they are critical to the work being accomplished
- 9) The General Contractor or owner builder shall be responsible for coordination of all the trades during construction. The Architect shall not be held responsible for work not performed in accordance with these drawings or the code, or for any misinterpretation of the drawings, or unsatisfactory work performed by the contractor or his subs. In the event a problem or question should arise from these documents, the Architect should be contacted to clarify the issue or make adjustments prior to the commencement or continuation of the work.

SQUARE FOOTAGE:

Existing house = 2,364 sf
Existing porches (front & rear two rear porches) = 319 sf
Existing garage = 405 sf
Total existing = 3,088 sf
Revised house = 2,887 sf (gain of 523 sf)
Revised porches (front = 29 sf & rear = 256 sf) = 285 sf
Revised garage = 522 sf
Total revised = 3,695 sf. (gain of 607.3 sf)

CRITERIA for WIND DESIGN:
8th Edition (2023) Florida Building Code - Residential

- 1) Exposure category "D" - 160 mph (7-20 deg roof angle)
- 2) "Low rise" Building (enclosed)
Max roof ht. = +/- 12'-6", Mean ht = +/- 15'-6"
Roof slope <= 12
- 3) Importance Factor = 1.0
- 4) Wind Direction All
- 5) Height and Exposure adjustment coefficient 1.47 @ 15'-0" mean
- 6) Category II
- 7) Internal Pressure Coefficient = .18

WIND PRESSURES for DESIGN:

The following loads in PSF include all applicable factors

A. Wind Uplift Forces (V_u) - table R802.1-9

Table with columns for Roof span in ft, 10 sf, and 20 sf. Rows include Zone 1, Zone 2, Zone 3, Zone 4, and Zone 5.

B. Roof and wall component loads (V_w) - table R301.2(2)

Table with columns for 10 sf and 20 sf. Rows include Zone 1, Zone 2, Zone 3, Zone 4, and Zone 5.

C. Garage Door loads (V_a) - table R301.2(4)

16' x 8', 36.4/40.6

Attic Ventilation:

Square footage of roof including overhangs = 4417 SF (4417 SF = 636,048 Sq In.)
Required minimum venting = 1/300 of attic area = 636,048 / 300 = 2,120 Sq In.
Therefore 1060 Sq In is required within 36" of the roof ridge and 1060 Sq In is required in the vented soffits
Provide: (7) min., 48" long (minimum) off ridge vents = 167 Sq In each (7 x 167 = 1169) OK
OR
(1) min., 48" long (minimum) off ridge vents = 167 Sq In each (1 x 167 = 167)
56 linear feet of ridge vent @ 18 Sq In per 12" (56' x 18 = 1008)
(167 + 1008 = 1175) OK
~306 linear feet of 24" wide vented soffit. OK

No roof or soffit venting is allowed if spray foam insulation is used in the attic spaces.

* For BIDDING:
TOP OF EXTERIOR DOORS & WINDOWS ARE SHOWN AT 6'-8" HT. EXISTING WINDOWS & EXT. DOORS ARE 6'-8" HT. UNLESS NOTED OTHERWISE.

WINDOW SCHEDULE

Table with columns: No, Description, Nominal Size (area), Zone, Min Pos Pressure (psf), Min Neg Pressure (psf), Comments, Lintels/Headers. Rows include items A through T.

DOOR SCHEDULE

Table with columns: No, Description, Size (area), Zone, Pos Pressure (psf), Neg Pressure (psf), Comments, Lintels/Headers. Rows include items 1 through 11.

All new windows and exterior doors are to be Impact Rated or have code approved shutters. Verify all rough opening sizes, both new (on plans) and existing (in the field), prior to the purchase of new or replacement windows and/or doors. See building elevations for additional information. Also see the "Door & Window Notes" in the specifications in this set. Typical window call-out 3650 indicates a 3'-6" wide x 3'-0" tall nominal window. Typical door call-out 3068 indicates a 3'-0" x 6'-8" door. HR indicates a horizontal rolling window. SH indicates a single hung window. DH indicates a double hung window.

CONCRETE SPECIFICATIONS:

- 1. The contractor shall verify all plan dimensions and confirm the foundation layout and staking with the site plan and setbacks before proceeding. Contractor to notify any County or City requirements regarding form board surveys
- 2. The contractor shall coordinate the work of all trades affected or in under the foundation before the placement concrete
- 3. Excavating near or under existing foundations and footings, which disturbs the soil beneath the foundation/footing, shall not be permitted without prior approval of the engineer or architect
- 4. All reinforced concrete work shall conform to the current codes of standard practice and those by the American Concrete Institute.
- 5. All foundations and slabs shall rest on clean, compacted, and terminate treated fill or undisturbed soil with a minimum soil bearing pressure of 2,500 p s f
- 6. Provide termite treatment in all areas of new construction and for any area of disturbed soil beneath the existing structure or any areas within 12" outside the new/existing structure which will be covered by concrete
- 7. Concrete strength shall be at least 3,000 psi in compression at 28 days for foundations, slabs, columns, filled cells and tie beams
- 8. Forms shall be set true and secure to the dimensions shown in the plans and shall not be removed until the proper strength is obtained. Contractor to verify all dimensions on site
- 9. Slabs on grade shall be 4" minimum in thickness and reinforced with fibermesh or wire mesh as shown on the plan over a minimum 6 mil vapor barrier
- 10. Vertical reinforcing in concrete columns or filled block cells shall be anchored with upset bars set in the concrete foundation and the vertical reinforcing lapped 36" diameters continuous to the steel in the tie beam.
- 11. Reinforcing shall be supported on concrete pads, blocks or dowels for columns and filled cells and shall be secured in place prior to pouring concrete. Use templates for setting anchor bolts or column dowels/upbars.
- 12. Concrete for filled cells shall be poured or pumped in lifts not to exceed 8 ft. in height, and shall be consolidated at the time of placement, by rodding or vibrating. Provide knock-outs at the base of the block wall to allow for visual verification of completely filled cells
- 13. Concrete slabs shall be finished level and true to the elevations or slopes given on the plans

REINFORCING SPECIFICATIONS:

- 1. All reinforcing shall conform to the codes of standard practice and those adopted by the reinforcing steel institute, latest edition
- 2. Reinforcing steel shall be deformed bars
- Structural Bars Minimum Clear Coverage
Footings (against exposed earth) 3 in
Footings (formed & exposed to earth) 2 in
Slabs (in contact with earth) 2 in
Pedestals (to ties) 2 in
Columns (to ties above grade) 1 1/2 in
Beams (to stirrups) 1 1/2 in

MASONRY SPECIFICATIONS:

- 1. All masonry & workmanship shall conform to codes of standard practice and those adopted by the National Concrete Masonry Institute's latest edition
- 2. Contractor is responsible for ensuring that all masonry and concrete work is adequately braced to resist soil compaction, backfilling, wind loads and any other natural or construction generated forces during construction
- 3. Concrete blocks and all other masonry units shall be modular in dimension and shall include all special shapes and sizes to complete the work as shown on the plans. Where used as the finish surface of exposed masonry walls, the units shall be of face surface defects.
- 4. Concrete masonry units shall be grade "N", type 1, in accordance with ASTM C90. Specifications for hollow load-bearing concrete masonry units with a minimum compressive strength of F'M = 1,500 psi.
- 5. Mortar and grout shall be in accordance with ASTM C476, specifications for reinforced masonry mortar and grout with type M or S with a minimum compressive strength F'M = 1,500 psi
- 6. Horizontal reinforcement shall be placed 16" O C vertically and conform to ASTM A-B2 and be made of #9 wire with 3/16" diameter wire
- 7. Vertical reinforcing in concrete masonry unit filled cells shall be at 48" O C max, unless noted otherwise, & anchored with upset bars set in concrete and dowels lapped 36" diameters and placed continuous to the top steel in the tie beam. Terminate vertical steel with ACI hooks 10" hook for #5 bars
- 8. Unless noted otherwise, tie-beams shall be A) 2 courses of 8" knock-out block with a #5 bar in each. Each course fully grouted B) 8" x 16" poured concrete tie-beam with 2-#5's (top & bottom) #3 stirrups at 16" O C max
- 9. Reinforcing bars shall conform to code, ASTM A618, GR 60. Detail, fabricate, and install reinforcing per ACI-318. All reinforcing steel (deformed bars) shall be free of any coating which will affect its bond to concrete.
- 10. Cells to be filled shall be cleared of all debris with a clean-out hole in the bottom block course
- 11. At intersecting wall, 50% of the masonry shall be laid in an overlapping bonding pattern
- 12. Note the filled cell locations on the plan. Vertical reinforcing is to be placed at these locations in new work and confirmed and / or filled in existing walls where shown or required by code. This includes where fill cells are shown in the existing structure and each side of all openings in the connecting wall

WOOD FRAMING NOTES:

- 1. Wood construction shall conform to the AITC National Design Specification and the In-Force Code
- 2. Hurricane clips, joist hangers, beam hangers and other standard connections shall be adequate for loads. Metal exposed to the weather shall be hot-dipped galvanized. Connectors by "Simpson Strong Tie" approved equal.
- 3. Structural wood shall be stress graded #2 Southern Pine, Fb=1,400 psi, E=1,600,000 psi, MAX. M.C. = 1.9%, provide 1x3 wood or metal cross bridging between all joists
- 4. All wood in contact with masonry or concrete shall be pressure treated or shall have moisture barrier protection. P.T criteria Adequately suited for contact with galvanized steel connectors
- 5. Bolts and screws shall be ASTM A-307 Standard 2"x2" washers shall be used between wood and bolt heads and nuts. Unless noted elsewhere on the plans
- 6. Where beams are formed with two or more members, they shall be adequately fastened together throughout their length, and each member shall be full length wherever possible. Members are to lap 24" min where full length members are not possible or practical
- 7. Joists shall be adequately supported at their ends by solid blocking, strapping, or other means to prevent rotation
- 8. Stud walls shall be 2x and set at 16" O.C. unless otherwise noted. Studs shall be of #2 Southern Pine and or construction grade spruce, or metal studs equal to wood. Provide proper blocking in stud walls at mid point or as required by code
- 9. Double studs shall be provided at each end of beams, and each side of openings up to 4'-0" in width. Provide triple studs at each side of opening, up to 7'-0" in width unless otherwise noted
- 10. Adequate bracing shall be provided during construction to resist wind and construction loads
- 11. Nail 5/8" x 4" ply CDX roofing plywood to all supports with 8d ring-shank nails at 4 inches on center at all plywood edges and 4 inches on center at all intermediate framing members at exposures B & C. Nail at 3" & 4" in exposure D
- 12. Parallam/ LVL lumber as manufactured by the "Truss-Joist" Corp., or approved equal, with minimum design properties per manufacturer or as follows:
a. Fb=2,800 psi, E=2,000,000 psi
b. Fv=285 psi, Fc (perp)=500 psi
- 13. Multiple "parallams" or "LVLS" shall be fastened together with 2 rows, staggered, of 16d nails at 12 inches on center. Bearing to be on multiple studs or columns as shown in the construction documents. Verify minimum standards with the mfc
- 14. Wood members shall be securely fastened per the construction documents or the FBC fastening schedule
- 15. The framing contractor shall coordinate his work with other contractors whose work touches or is affected by his work.
- 16. Where not specified framing shall be connected per current FBC
- 17. Wood finishes at the exterior shall be as selected by owner, approved by the architect, and shall provide proper protection from the elements
- 18. All interior exposed trim, trusses, columns, beams, and other exposed materials shall be SYP or better (clear). Materials and surfaces shall be protected or prepared to receive a clear, natural finish
- 19. All exposed exterior materials, such as beams, columns, & trim, shall be SYP or better and shall be free of large or loose knots or other defects. The material shall be surfaced on all four sides

STUCCO:

- 1. Stucco to comply with FBC - R703.6, ASTM C 926, & ASTM C 1063
- 2. Thickness to be 5/8" over concrete or block and 7/8" over wood framing
- 3. A weep screed is to be installed

TRUSS SPECIFICATIONS:

- 1. The wood trusses shall be sized and detailed to fit the dimensions and loads specified in these plans. All designs shall be in accordance with the allowable values and section properties assigned and approved by all applicable codes.
- 2. Sealed verification of the trusses by a licensed structural engineer in the state of Florida is to be submitted to the architect for confirmation of the configuration and loading per the wind load specification. Also interconnecting anchorage between the truss members supplied by the fabricator shall be provided with the truss layout and the individual member shop drawings to the architect prior to fabrication and shipping of the trusses to the site
- 3. Bridging perpendicular to the span of the trusses shall be specified and provided as required by the truss manufacturer
- 4. The design of metal plate connected roof trusses shall comply with:
a. The NFPA's national design specification for the design of lumber and its fastening.
b. The truss plate institute's design specs for light plate metal connected roof trusses
c. The standard building code
- 5. Where roof plywood is not permanently attached to the top chord of the truss, provide continuous 2x4 blocking at 4' O C perpendicular to the top chord. Where a ridge occurs at the top or bottom of the trusses, provide continuous 2x4 blocking perpendicular to the bottom chord
- 6. Brace all trusses during construction until all bridging, cross bracing, and sheathing is secured. Also provide the necessary temporary anchorage for all trusses until the connectors are fastened for loading in all directions

DOOR & WINDOW NOTES:

- 1. Install all doors and windows per code & MFC specifications. Confirm all rough opening sizes with the MFC prior to construction of the opening. Sub-contractors shall verify all window & door rough opening sizes with the GC prior to commencement of work.
- 2. Install impact resistant windows & door systems or code approved hurricane protection at all openings. Provide Building Department with MFC specs and installation requirements
- 3. All operable windows are to have screens
- 4. Use clear glass in doors and windows unless noted otherwise on the plans

- 5. Use tempered or safety glass where noted on the plans and/or required by code. FBC R308.4
- 6. Exterior doors are to be solid core or be insulated and have a U-factor of 0.40 or less.
- 7. Doors between conditioned space and the garage shall be 1-3/8" min solid core or 1-3/8" min solid core or honey comb metal, or 20 minute label

PLUMBING NOTES:

- 1. All plumbing work shall conform to the latest requirements of the in-force plumbing code and local, state and county health regulations
- 2. The system is to be connected to the City/County sewer or an on-site septic system. The contractor shall get Health Department and/or Building Department approvals and permits as required prior to permitting of the project.
- 3. Plumbing contractor shall be responsible for all cutting and patching where his equipment passes through existing walls, floors, roofs, etc
- 4. All water lines shall be supported rigidly and shall follow the building structure where possible
- 5. Purge and sanitize water lines before final connection
- 6. Test all systems in accordance with in-force building code
- 7. All fixtures shall have shut-off valves at or near each fixture and a house valve at the service entrance
- 8. All water and waste piping shall be PVC of type, size required and installed as per MFC specifications and the code
- 9. Plumbing systems shall be complete and operate in accordance with accepted standards
- 10. All plumbing fixtures which are removed or relocated should be appropriately capped below the slab
- 11. Confirm or install an expansion tank on existing hot water heaters
- 12. "Instant hot" hot water generators (optional) may be installed in lieu of or in addition to the traditional hot water heater. Verify additional electric needs with the electrician
- 13. Shower construction receptors and lining per code Sec. P2709
- 14. Provide recessed hot & cold water with drain at washing machine space
- 15. Provide cold water line, as needed, for ice maker at refrigerator

ELECTRICAL NOTES:

- 1. Electrical work shall be in accordance with the Electrical Code, National Electric Code and all other applicable codes for construction (Federal, State and Local)
- 2. Coordinate electrical work with local power company if needed.
- 3. Electrician is to supply electric load calcs and panel schedule, if required by the city or county, prior to the time of permit submittal
- 4. Coordinate telephone, computer, and media related wiring and equipment with the local phone and/or cable company
- 5. Contractor is to verify the size, location, & condition of electrical systems prior to construction
- 6. Electrical contractor to verify all equipment loads. Notify architect of any changes or conditions found not to be as shown on the plans

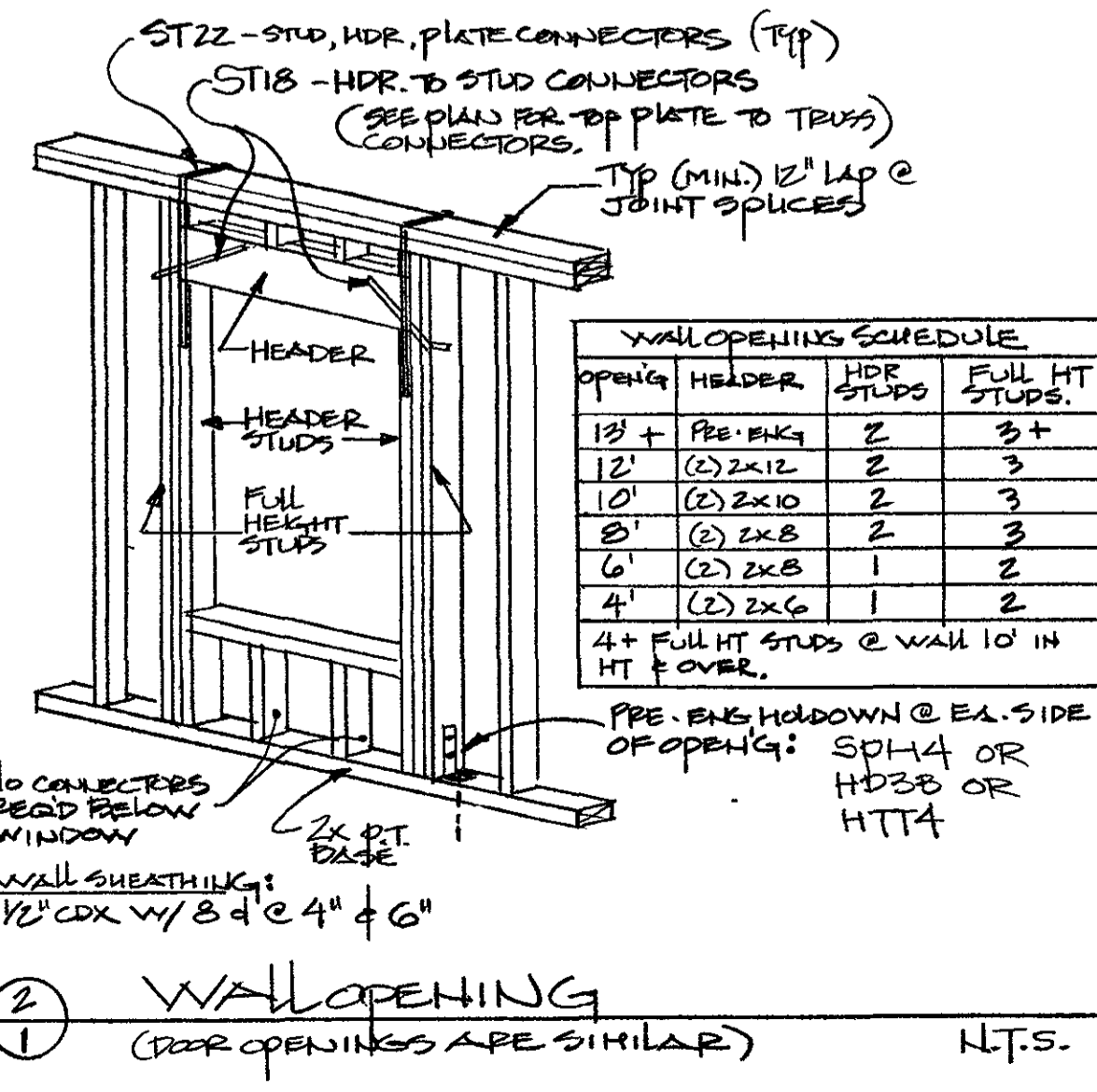
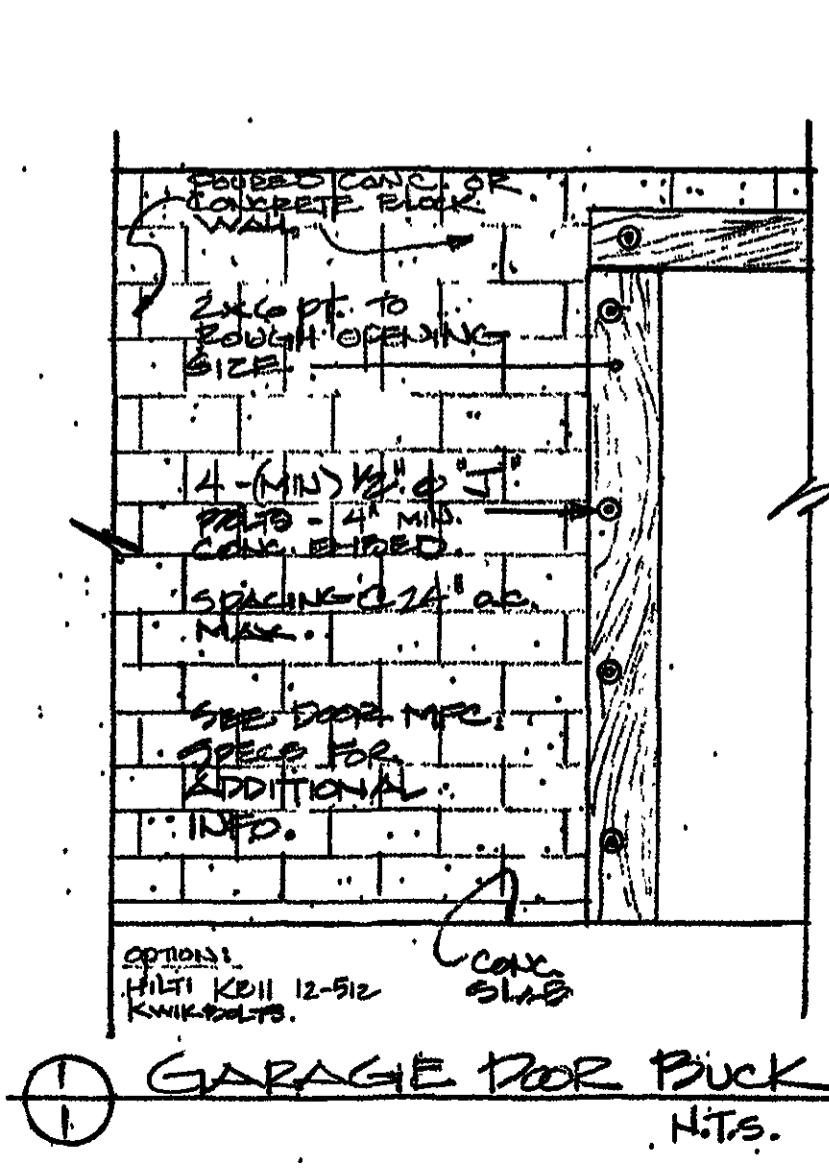
- 7. The electrical contractor shall coordinate his work with other contractors / subs whose work touches or is affected by his work.
- 8. The electrical contractor shall be responsible for checking the shop drawings and MFC specifications of all equipment to obtain the exact location for the rough-in, the proper connections and any special electrical requirements

- 9. The electrical contractor shall be responsible for cutting & patching where his equipment passes through walls, roofs, floors, etc.
- 10. Circuit breakers or blanks shall be installed in any unused spaces in the panel. The directory card shall be typed to reflect the final as-built configuration. The electrical contractor is responsible for panel schedules & load calcs
- 11. At the time of final inspection, all equipment & fixtures shall be complete & operational, clean & free of defects
- 12. Telephone, cable TV, computer/media, switches, fixtures, and receptacles are to be located per plan or per the owner
- 13. New wall receptacles shall be installed approximately 12 inches AFF & wall switches @ 48" AFF
- 14. GFCI receptacles shall be installed where shown and/or required by current code
- 15. All branch circuits where outlets are installed in habitable rooms, dens, closets, hallways, and similar rooms shall be protected by AFCI per current in-force NEC.
- 16. In all areas specified in the NEC, all 125 volt, 15 & 20 amp receptacles shall be listed tamper resistant

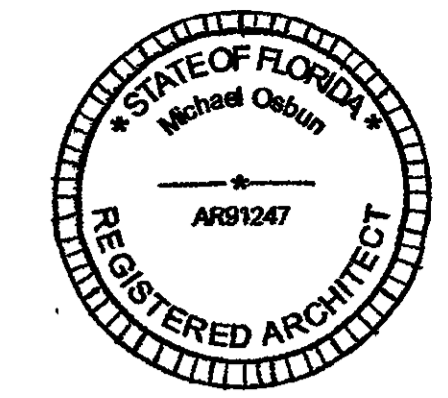
- 17. The electrical contractor shall furnish and install all disconnects, wiring, etc. to all electrical equipment unless otherwise noted
- 18. Light fixtures (inclusive of lamps) and fans shall be as selected by the owner
- 19. Smoke and CO2 alarms shall be installed in all bedrooms and the areas directly leading to the bedrooms. Alarms are to be hardwired and interconnected per code
- 20. Contractor shall visit the site prior to bidding for field inspection and project coordination
- 21. Electrician to field verify all existing conditions and equipment in renovations and additions
- 22. Under eave receptacles (optional) are to be located per plan or per owner
- 23. Landscape lighting is optional per owner

HVAC NOTES:

- 1. All heating, ventilation and air conditioning work shall conform strictly to the mechanical code and all local ordinances that apply
- 2. All duct work shall conform to the latest edition of the ASHRAE standard for low pressure duct work
- 3. The air conditioning sub-contractor shall supply, to the Building Department, energy, heat load, & Manual J/S calculations along with equipment and duct sizes and layouts when the plans are being submitted for permitting
- 4. Contractor is to site verify condition & size of existing equipment in renovations and additions, A/C, heat, compressor, supply air & return air ducts and grills
- 5. HVAC systems shall be complete and operate in such a manner as to adequately heat and air condition in accordance with accepted industry standards
- 6. All ductwork shall be suspended or secured according to good practice. Ductwork in attics or other non-conditioned areas shall have a min of R-8 insulation. Ducts in conditioned spaces may have R-6 minimum insulation
- 7. All A/C grills and diffusers shall be sized properly to provide a noise level in the N.C. 25 range
- 8. Contractor shall test and balance system
- 9. Return air grills shall be properly sized, filter back type and shall be readily accessible
- 10. All A/C grills and diffusers shall have volume dampers
- 11. A programmable thermostat is to be verified or installed per code
- 12. Air & heating systems shall have a minimum of 14 SEER/8.2 HSPF. Unless noted otherwise on the plans
- 13. If mini-split systems are used, the GC/owner-builder shall provide the Building Department with all MFC specifications, output power & size, and install instructions
- 14. Anchor the condenser unit to the slab per current code



N.T.S.



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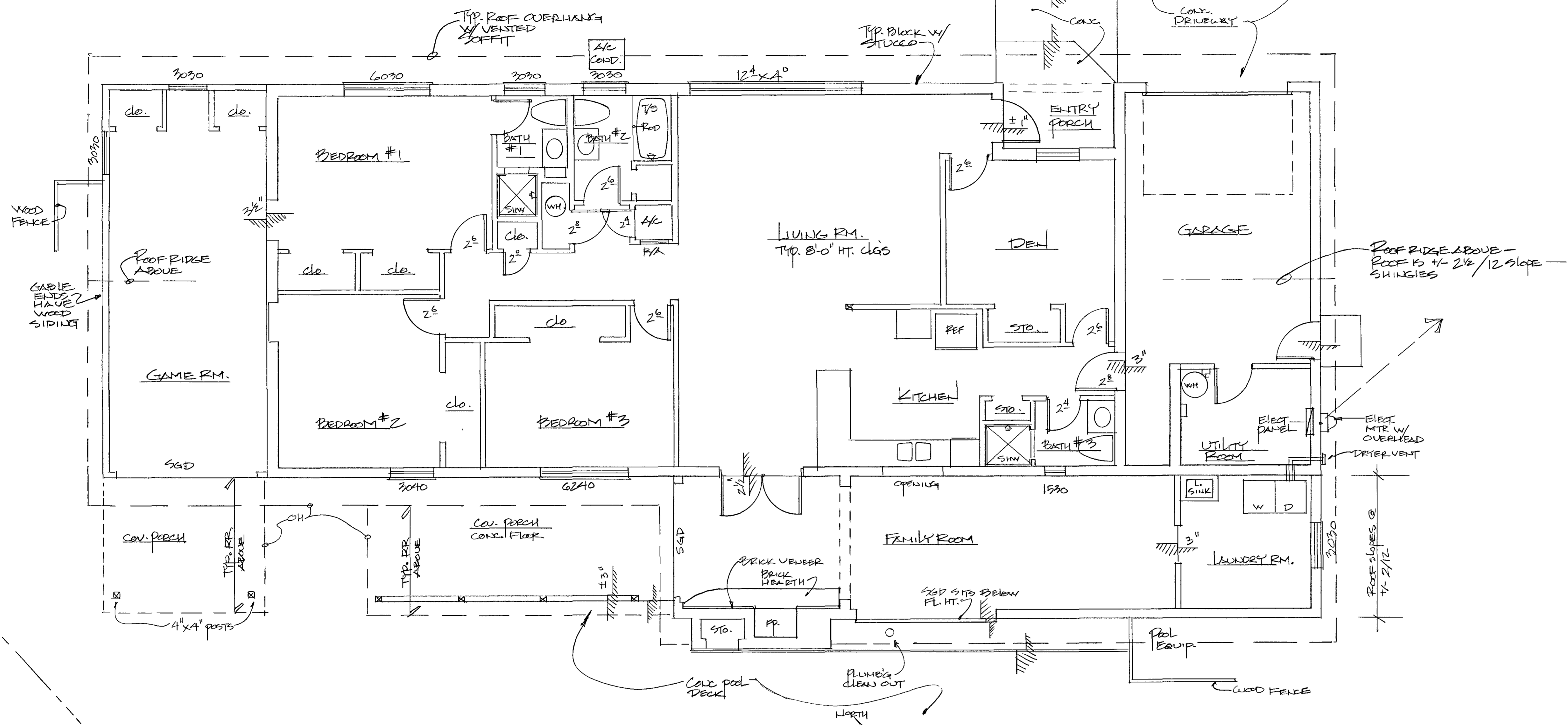
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A Renovation & Addition for:
Victoria & Conner Scalise
200 Shannon Ave.
Melbourne Beach, FL 32951

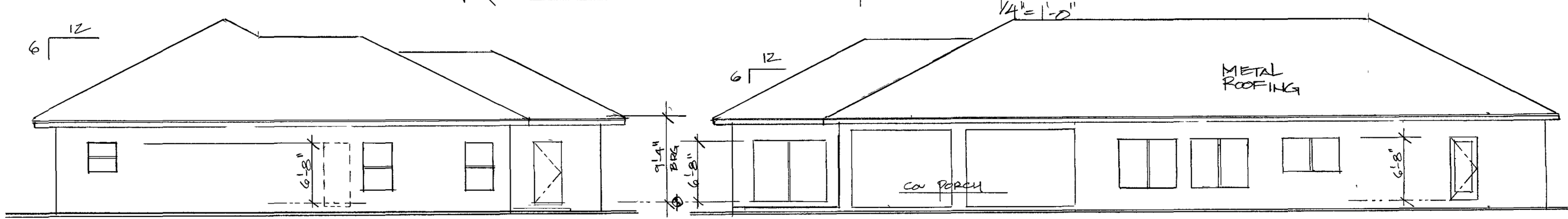
Revisions	By

7/28/25

1/21/24
2 of 6
Scalise
24-696d
Job No

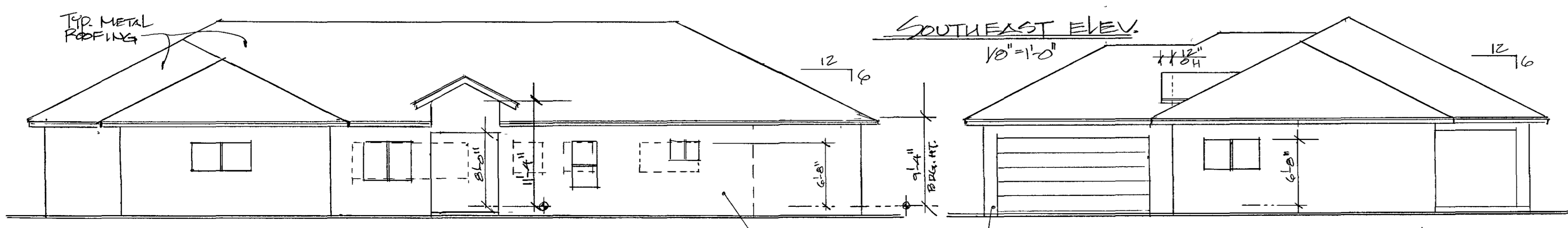


EXISTING FLOOR PLAN



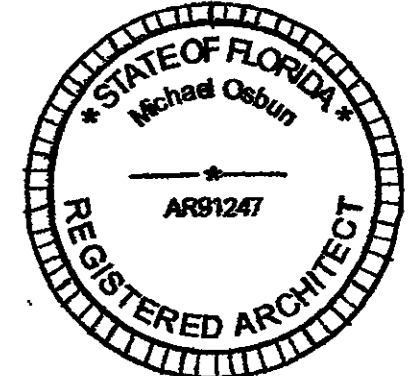
SOUTHEAST ELEV.

SOUTHWEST ELEVATION



NORTHEAST ELEVATION

NORTHWEST ELEVATION

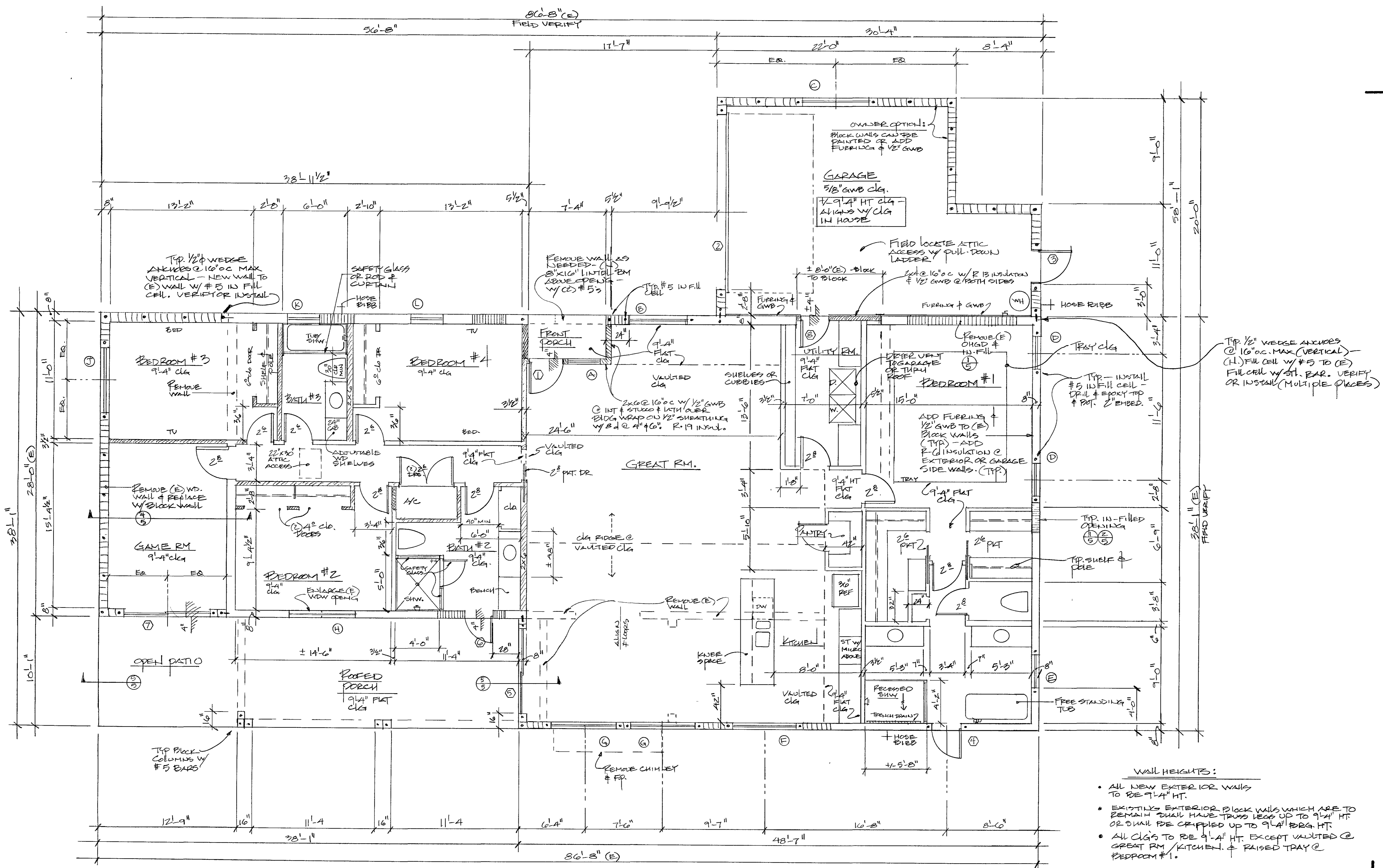
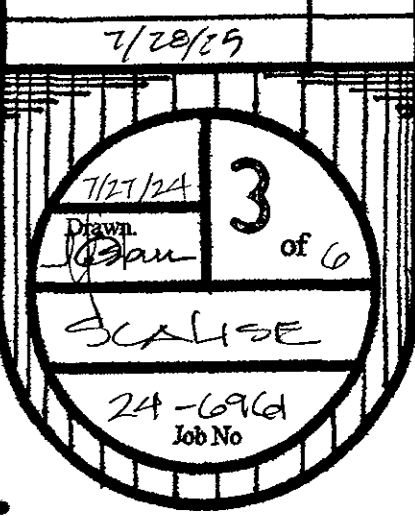


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A Renovation & Addition for:
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Melbourne Beach, FL 32951

Revisions	By



- WALL HEIGHTS:**
- ALL NEW EXTERIOR WALLS TO BE 9'-4" HT.
 - EXISTING EXTERIOR BLOCK WALLS WHICH ARE TO REMAIN SHALL HAVE TRUSS LEGS UP TO 9'-4" HT OR SHALL BE CRIPPED UP TO 9'-4" BRG. HT.
 - ALL CLG'S TO BE 9'-4" HT. EXCEPT VAULTED @ GREAT RM, KITCHEN, & RAISED TRAY @ BEDROOM #1.

REVISED FLOOR PLAN

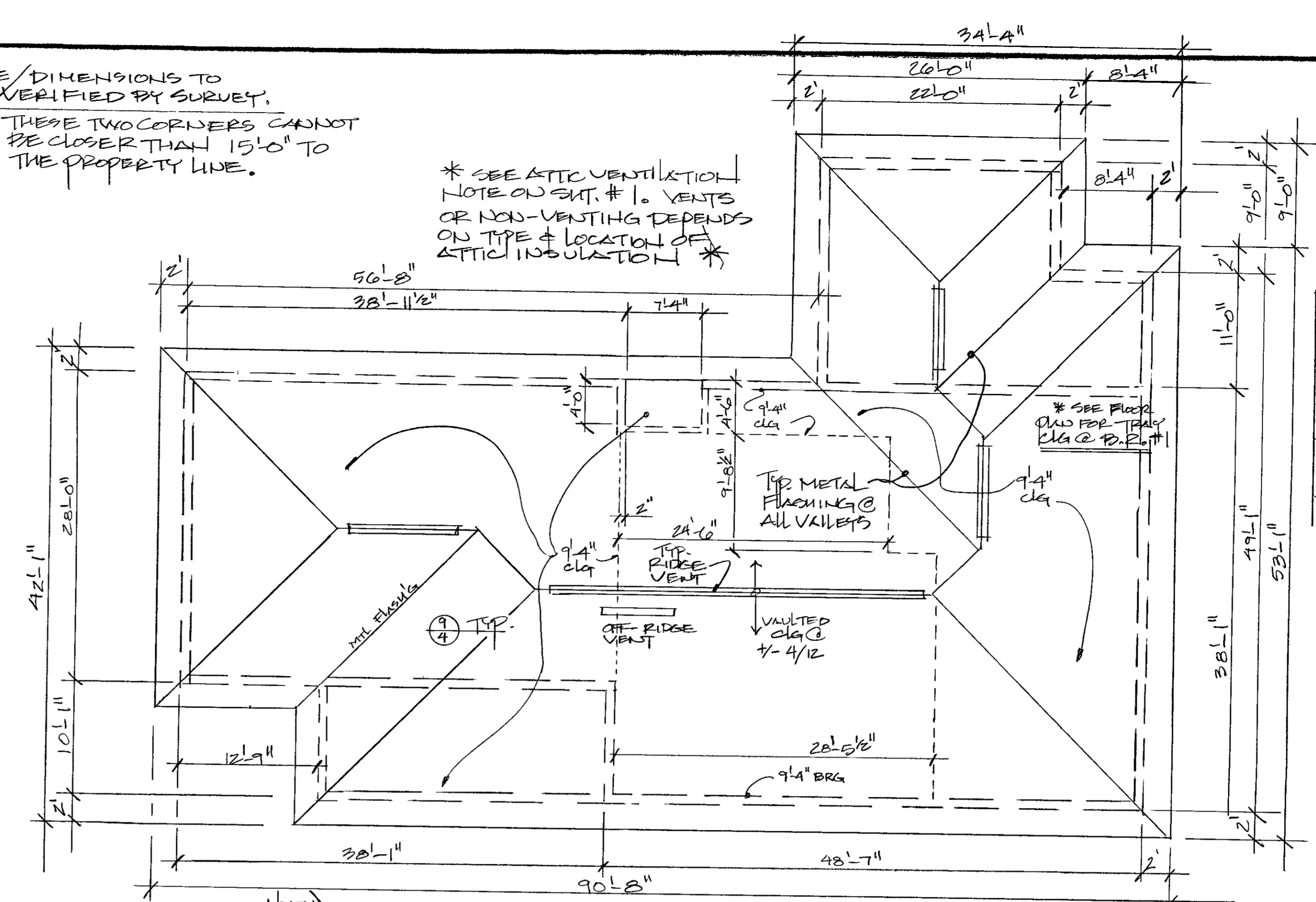
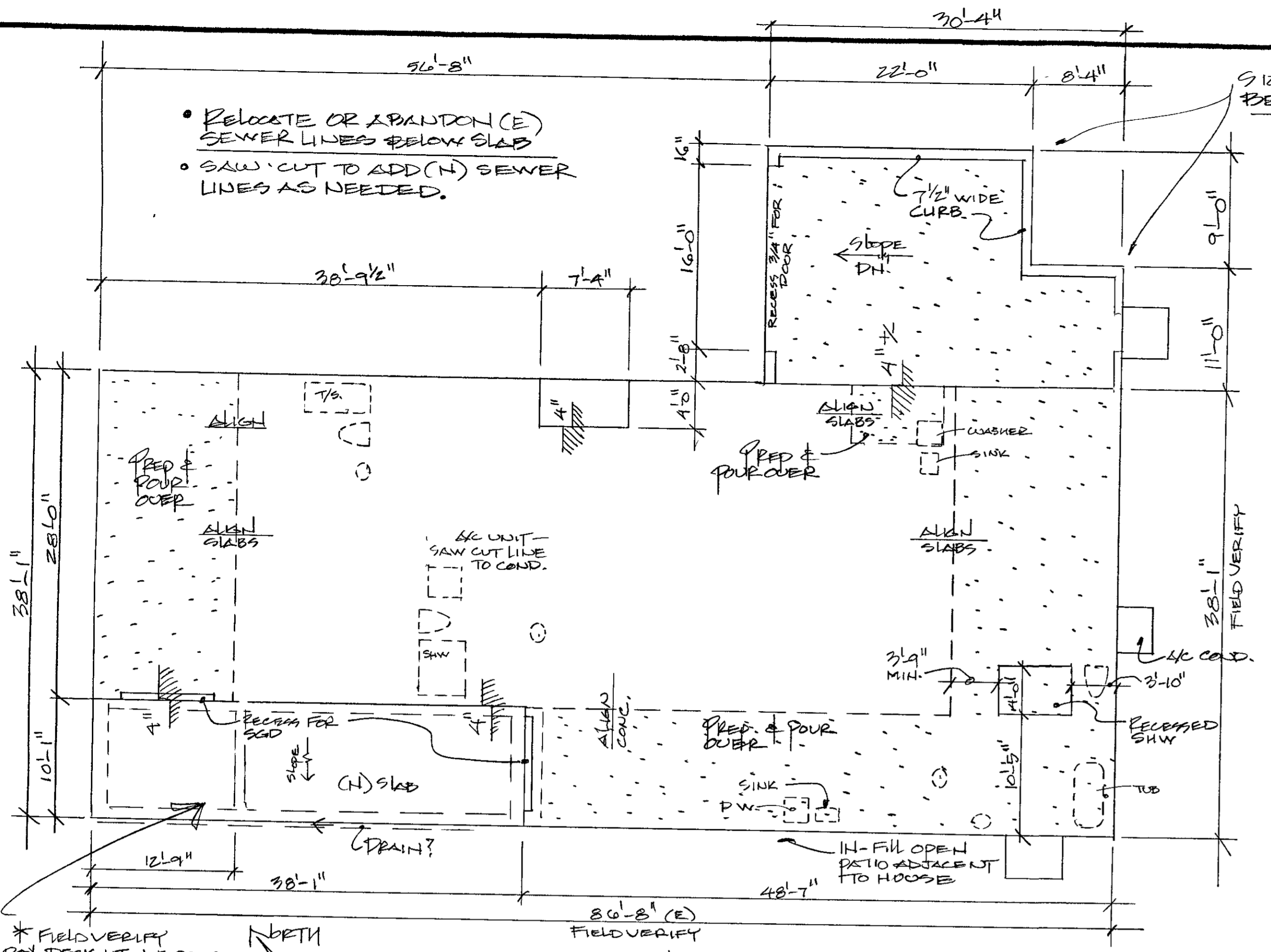
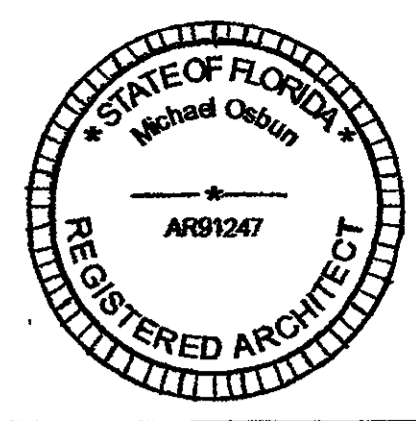
- INSULATE ALL INTERIOR WALLS FOR SOUND.
- A/C & DUCT SIZING, LAYOUTS, ETC., BY OTHERS.

1/4" = 1'-0"

7/28/19

3 of 10

24-6664 Job No



HURRICANE CONNECTORS:
TOP TRUSS TO (N) BLOCK WALLS / LINTEL BMS W/ METAZOS.
UNLESS NOTED OTHERWISE.
ALSO SEE SHT. #5 FOR CONNECTOR LIST.

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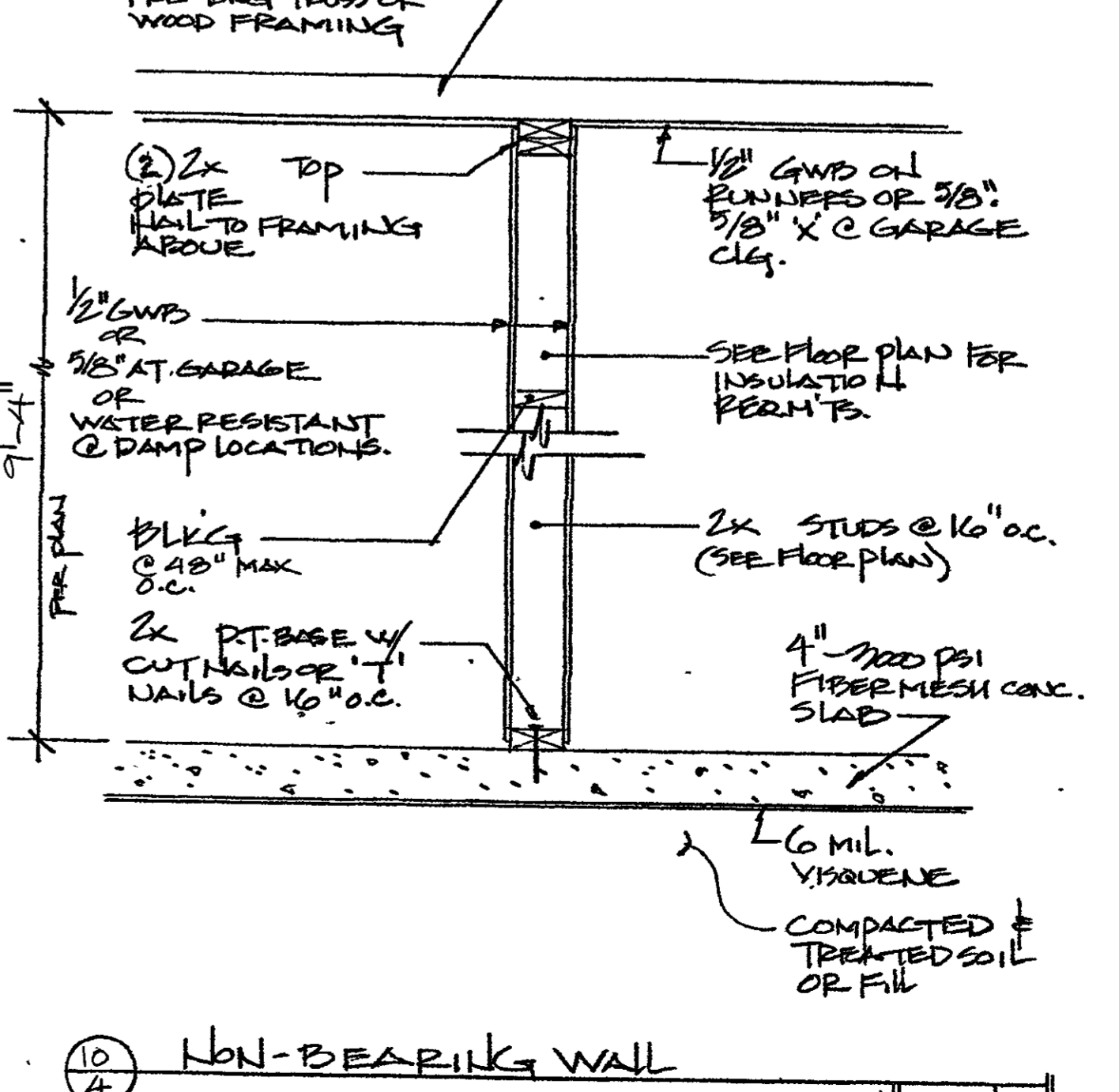
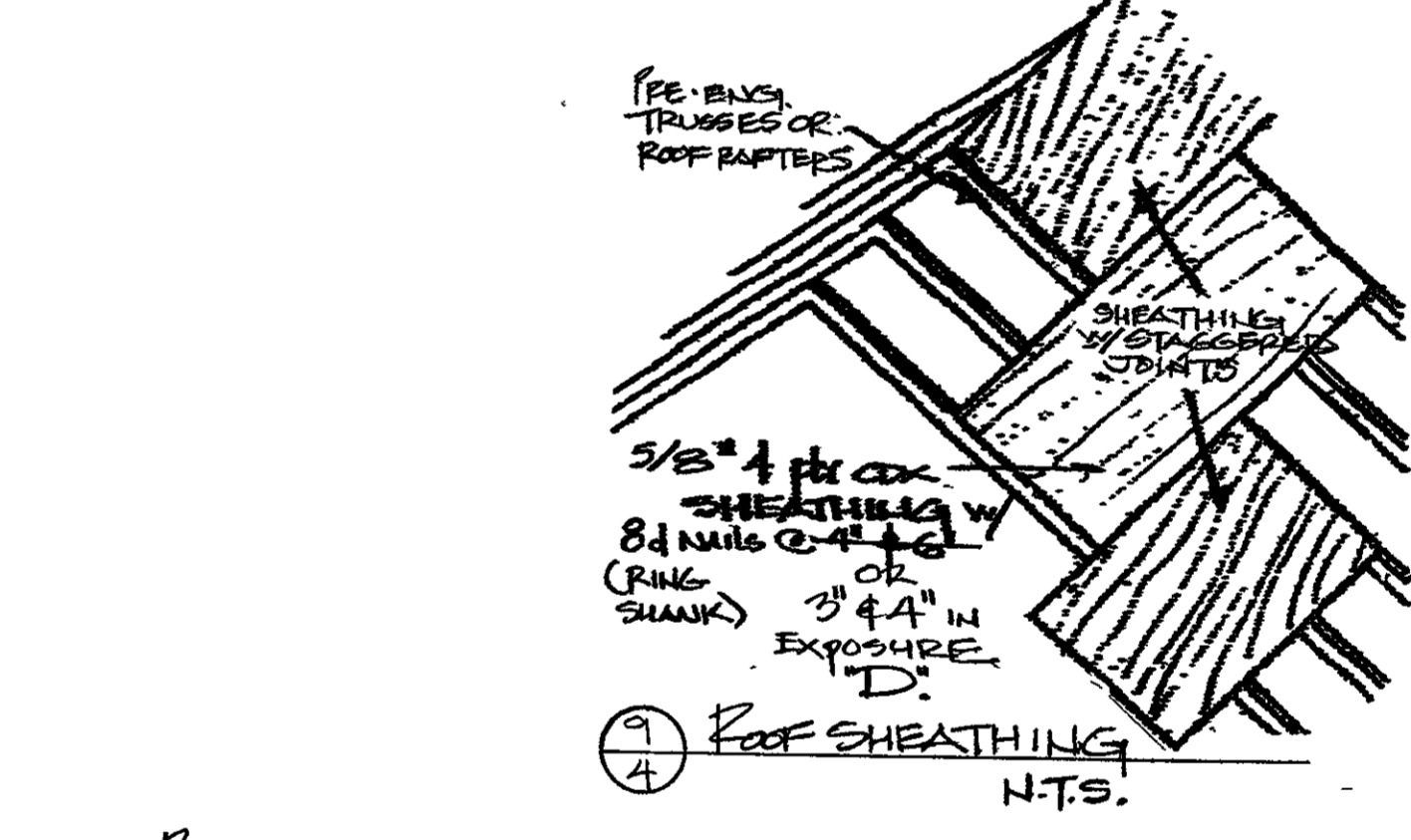
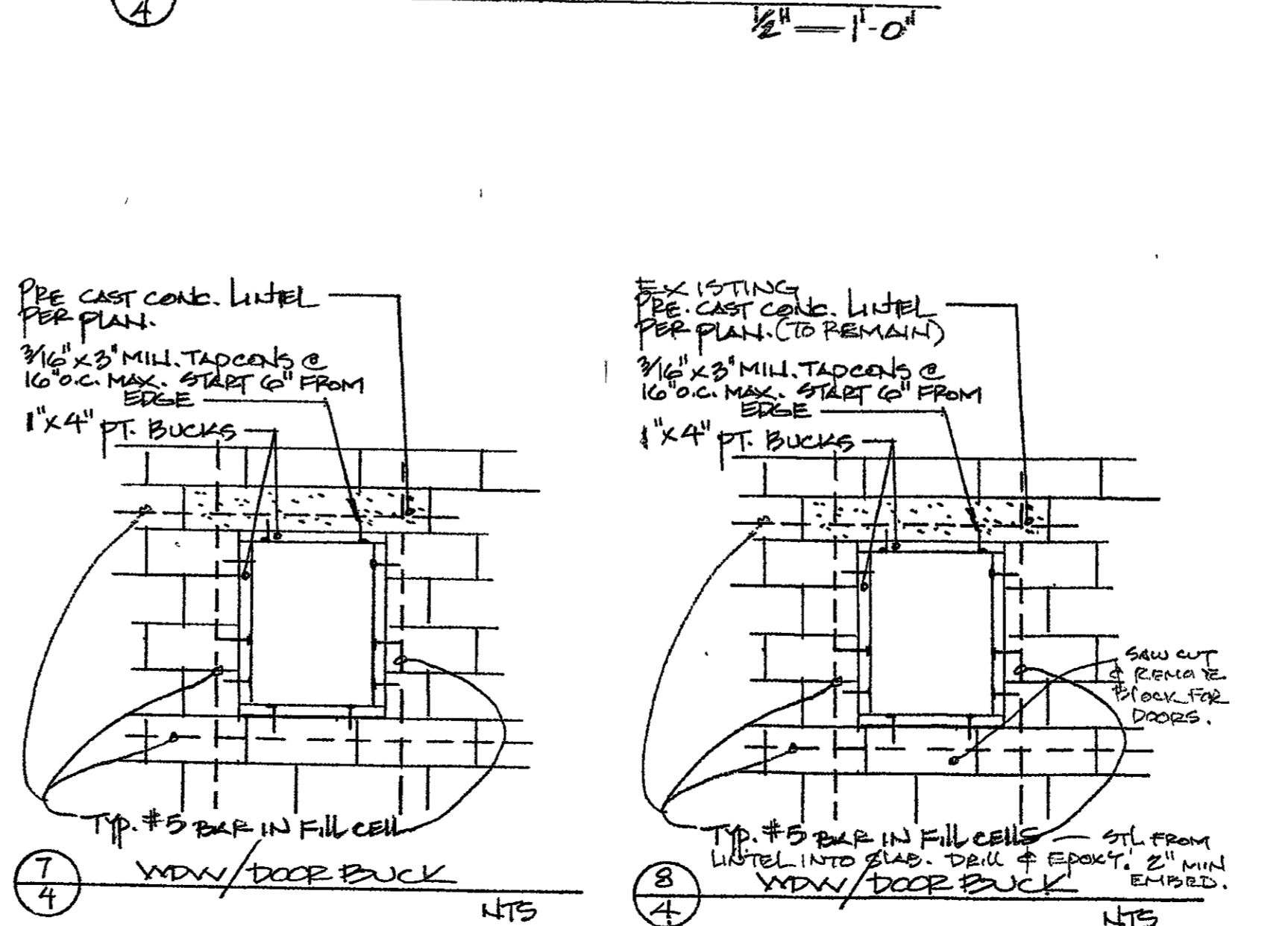
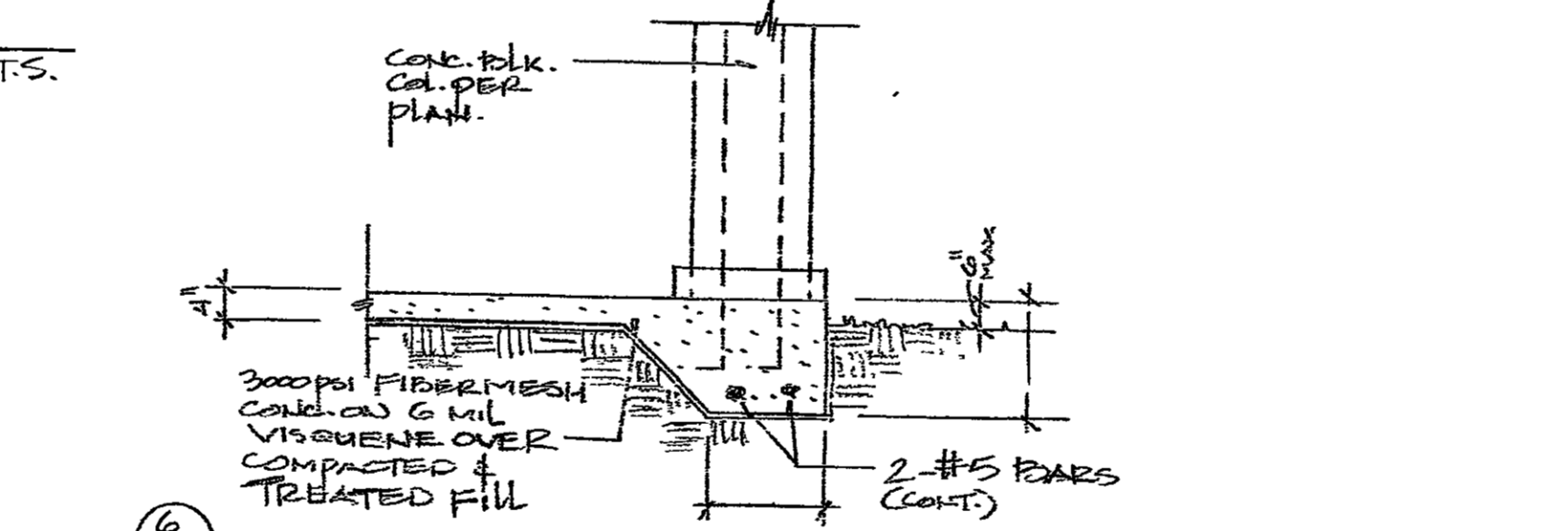
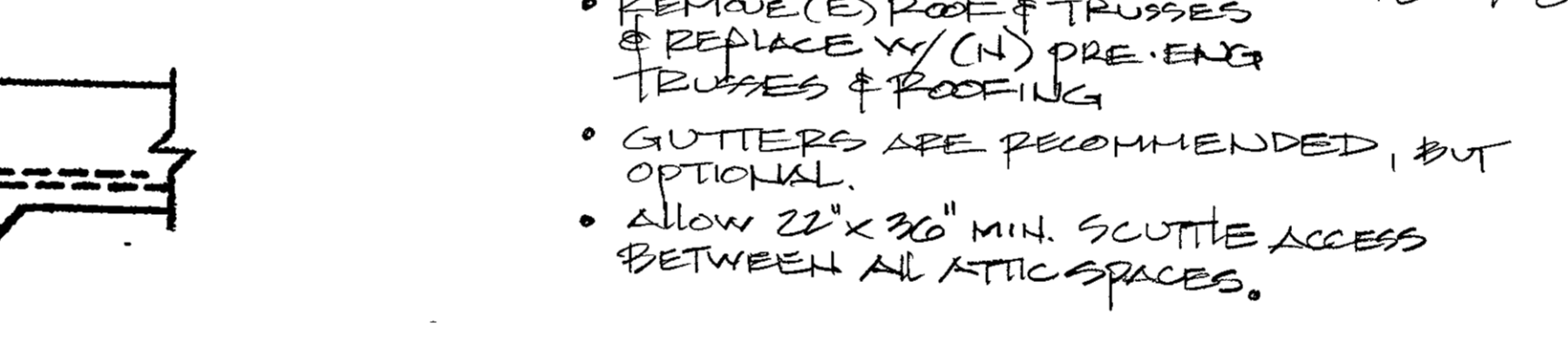
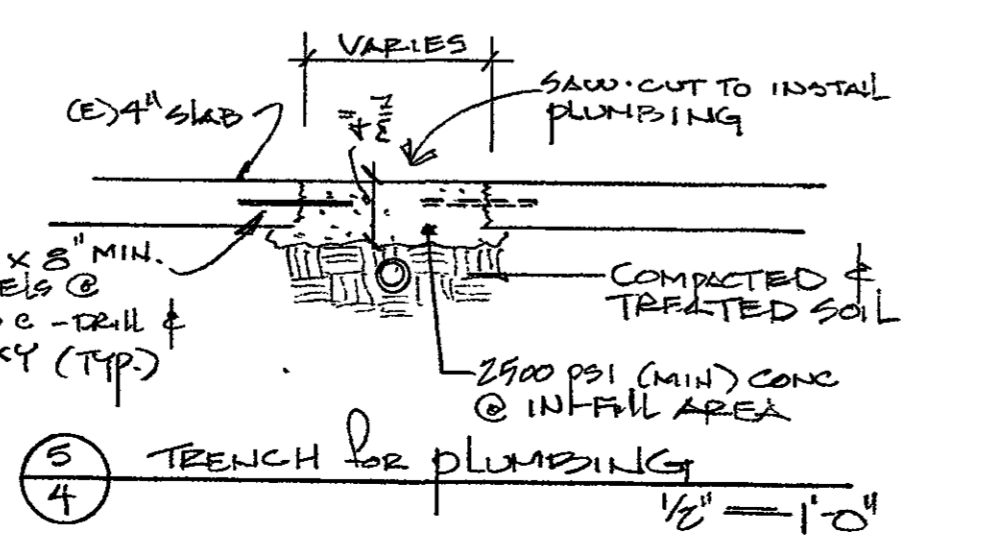
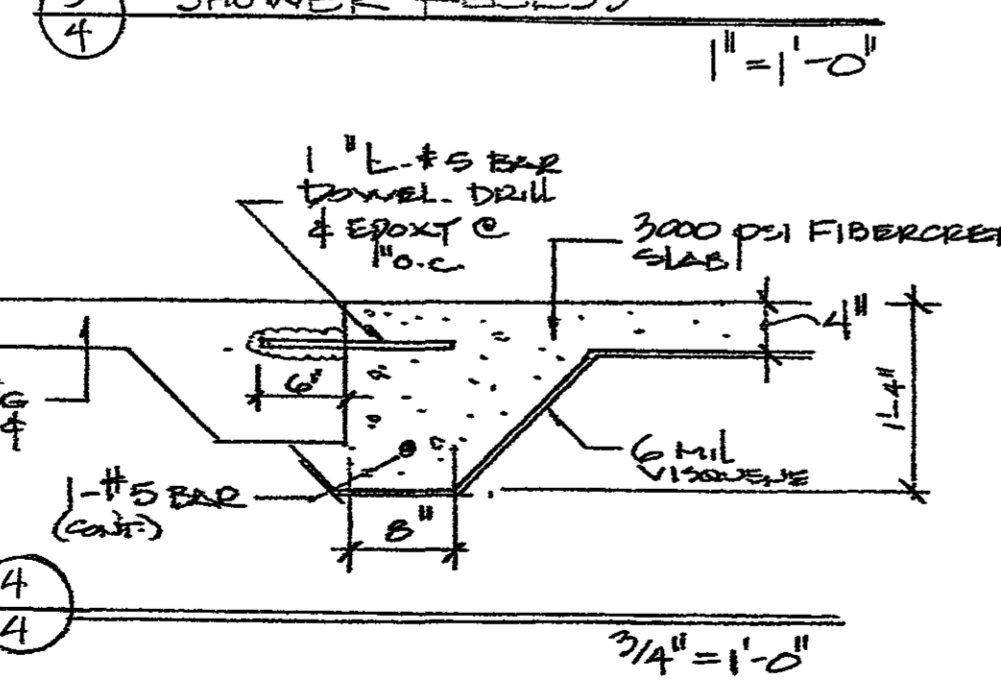
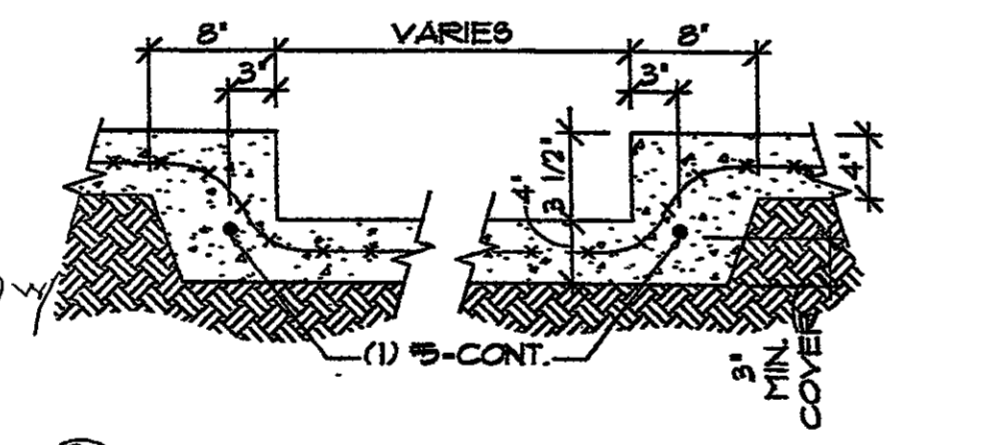
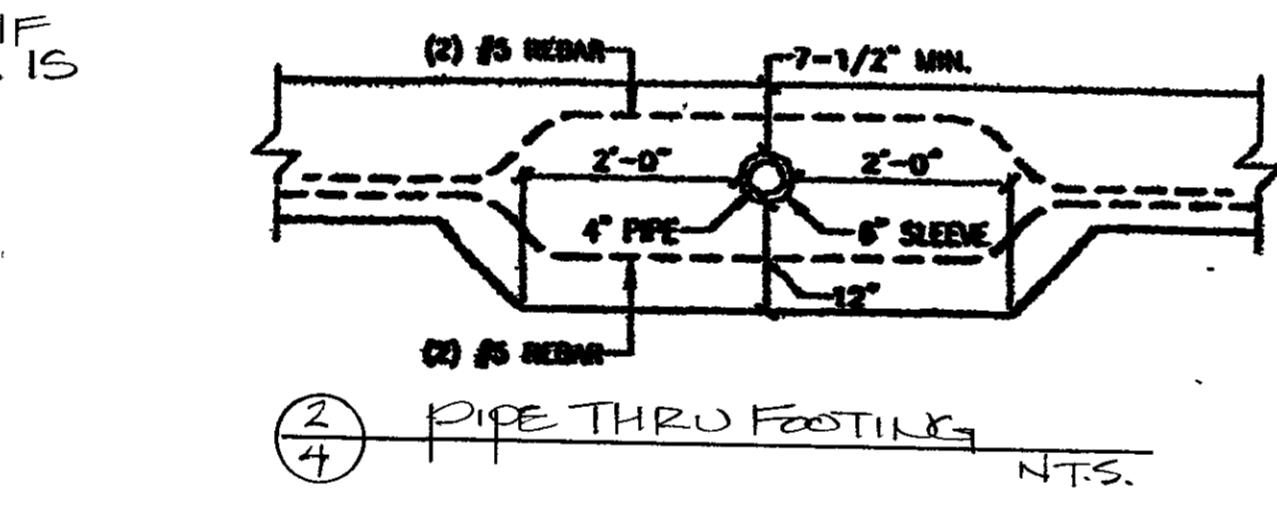
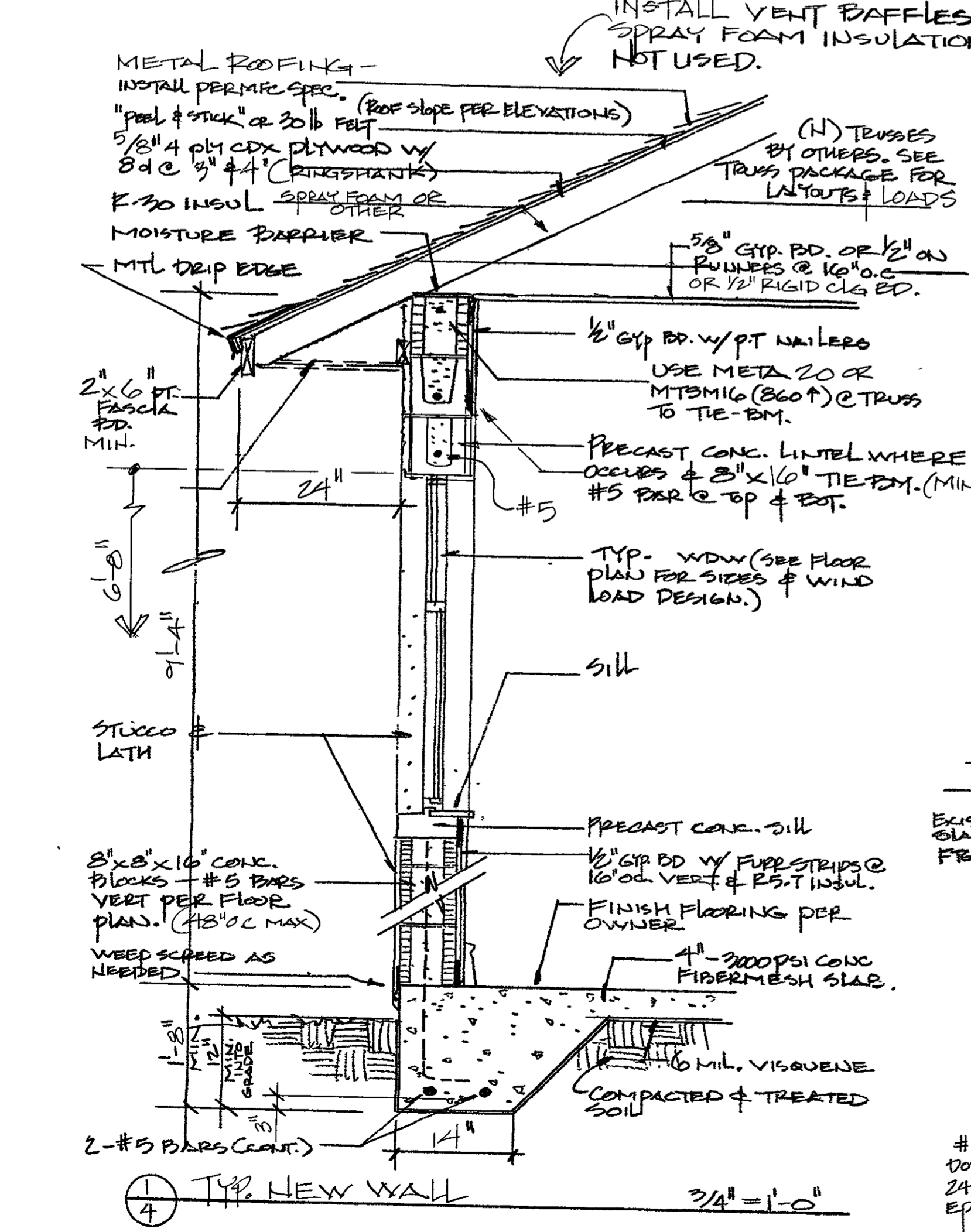
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A Renovation & Addition for:
Victoria & Conner Scalise
200 Shannon Ave.
Melbourne Beach, FL 32951

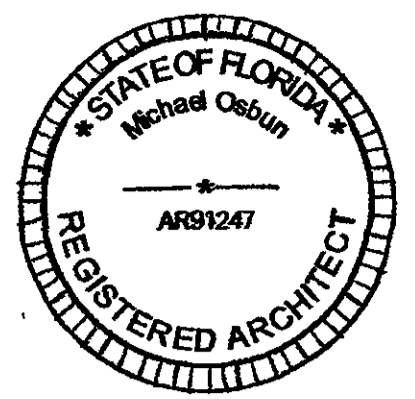
* FIELD VERIFY POOL DECK HT. VERSUS CONCRETE SLAB HT. ADD LARGE TRENCH DRAIN AS NEEDED *

SIZE/DIMENSIONS TO BE VERIFIED BY SURVEY. THESE TWO CORNERS CANNOT BE CLOSER THAN 15'-0" TO THE PROPERTY LINE.

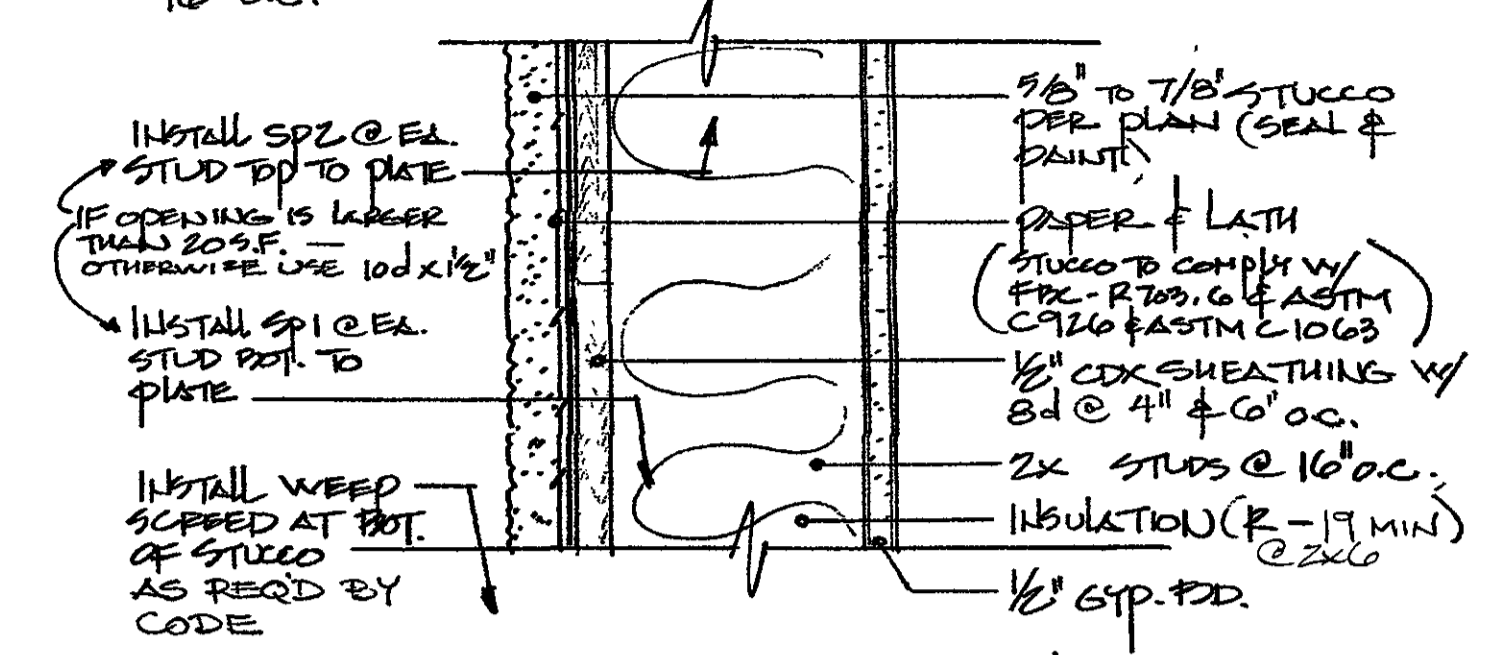
* SEE ATTIC VENTILATION NOTE ON SHT. # 1. VENTS OR NON-VENTING DEPENDS ON TYPE & LOCATION OF ATTIC INSULATION *



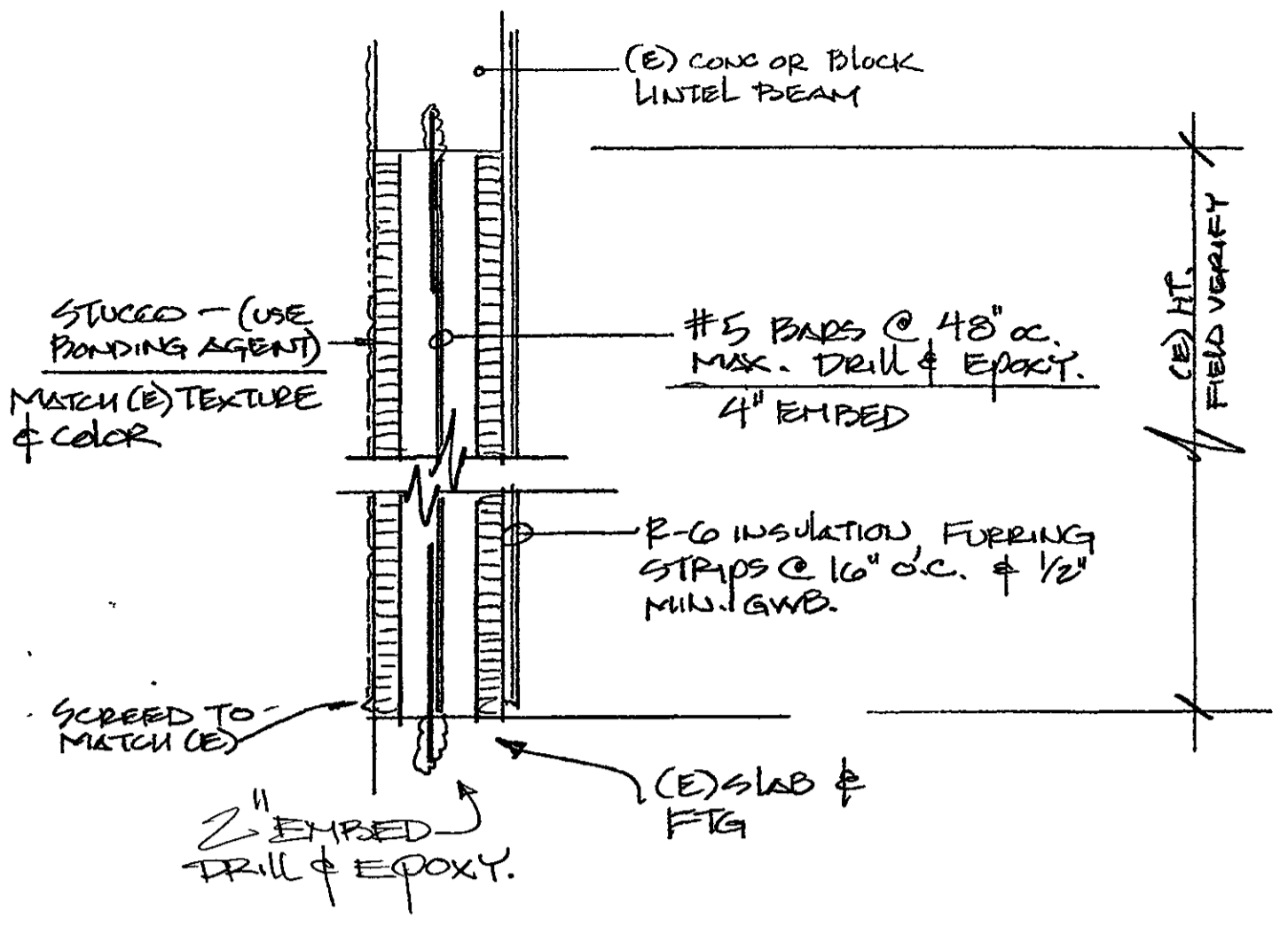
Revisions table with columns for 'By' and 'Date'. Includes a date stamp '7/28/25' and a signature 'Scalise'.



EXT. IN-FILL WALLS
 ANCHOR TOP & BOTTOM PLATES & 1st STUD AGAINST SIDE WALLS TO CONC. SLAB. LINTEL FRM. OR POURED BLOCK SIDE WALL w/ 3/8" (min.) TAPCONS OR RED HEADS @ 16" O.C.



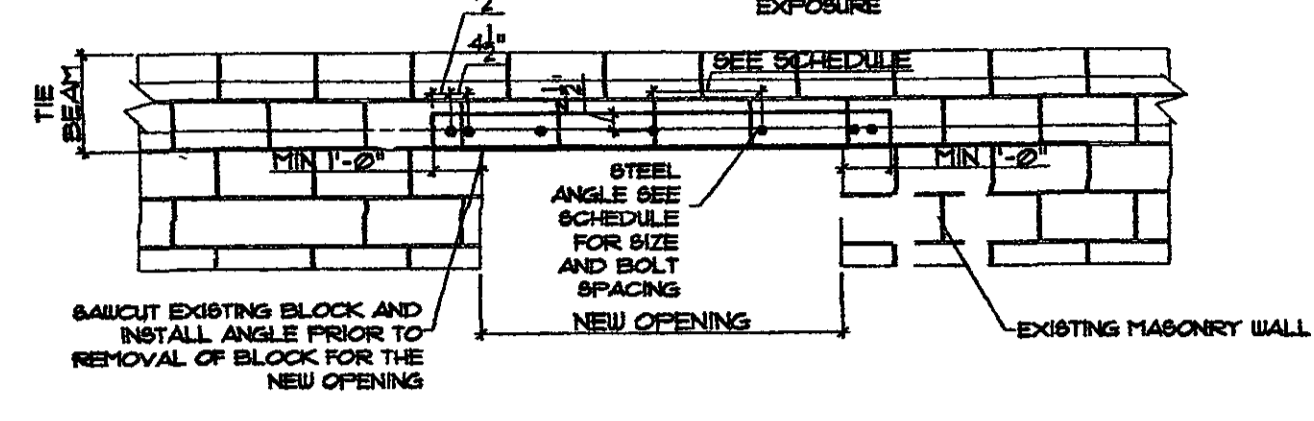
1 EXTERIOR WALL (WOOD IN-FILL OPTION) 3/8" = 1'-0"



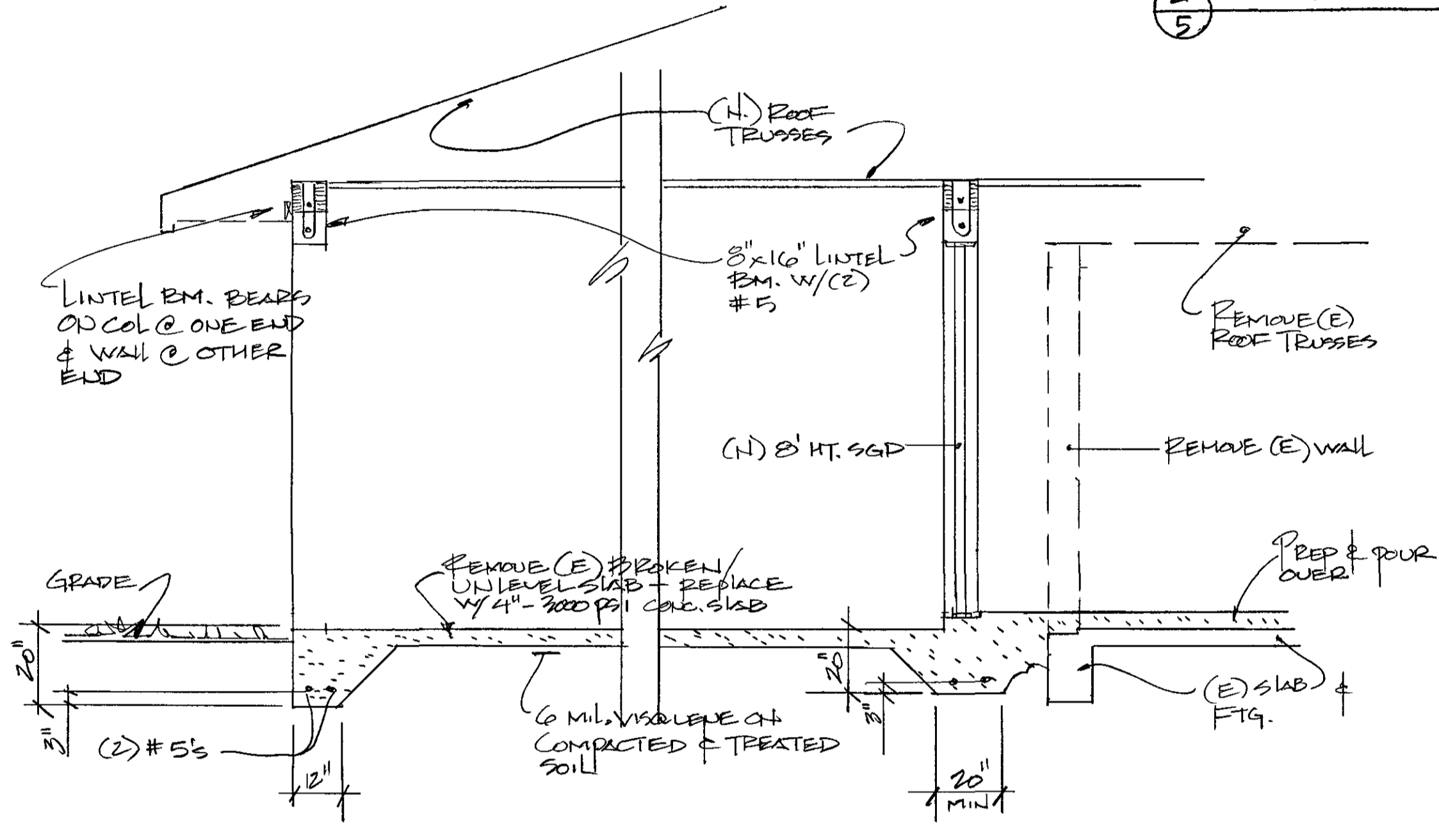
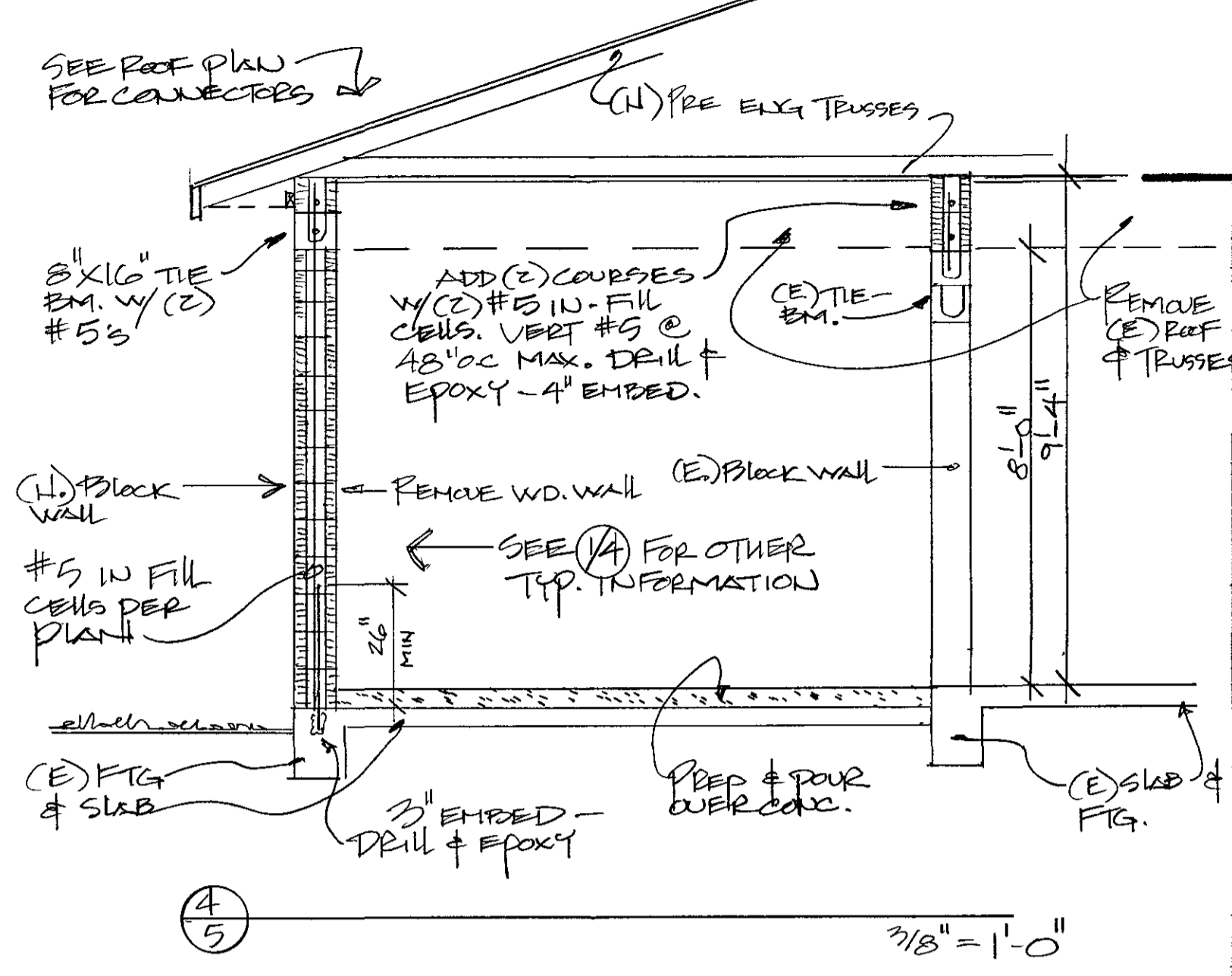
2 1" = 1'-0"

STEEL LINTEL FOR EXISTING MASONRY SUPPORT

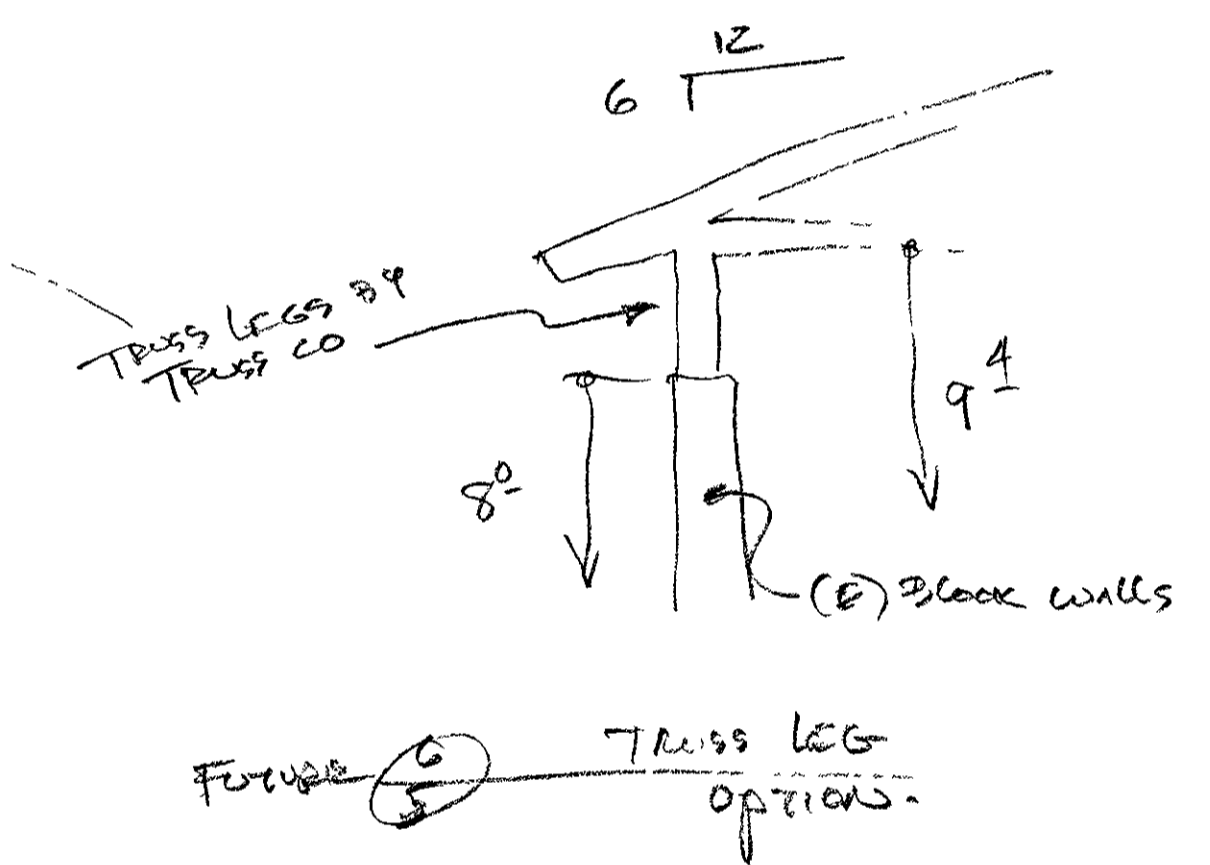
OPENING	SUPPORT ANGLE AND BOLTS (GALVANIZED)
8" TO 4'-0"	3/4" x 3/4" x 1/4" ANGLE w/ 1/2" DIA. BOLTS @ 24" O.C.
4'-1" TO 6'-0"	4" x 3/4" x 1/4" ANGLE LVL w/ 1/2" DIA. BOLTS @ 24" O.C.
6'-1" TO 10'-0"	6" x 3/4" x 1/4" ANGLE LVL w/ 1/2" DIA. BOLTS @ 24" O.C.



3 TYPICAL REINFORCING FOR NEW OPENING IN EXISTING MASONRY WALL NOT TO SCALE



5 11/8" = 1'-0"



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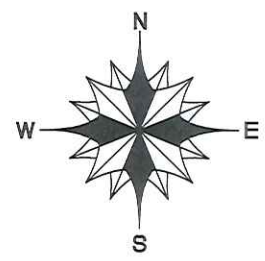
A Renovation & Addition for:
Victoria & Conner Scalise
 200 Shannon Ave.
 Melbourne Beach, FL 32951

- Connector Schedule:**
 See truss package for specific up & down load requirements.
- A- META 20 (1450 up) with 7-10d x 1 1/2" Typ truss to conc
 - B- HHETA20 (2120 up) Typ truss to conc
 - C- LGT2 (2150 up) Girder to conc or wood post
 - D- HUC412 (max) (1505 up) LVL or girder to conc
 - E- HCP (590 up)
 - F- H2.5A. (565 up) Truss to bm or top plate to truss
 - G- H10A. (1040 up) Top plate to truss or beam to truss H10A-2 (930 up)
 - H- MGT (3965 up) Bm to conc. col or truss to wood post
 - I- VTC2 (405 up) Valley sets to roof trusses (also see truss package)
 - J- MSTAM36 (1870 up) Flat strap block to truss at +/- 48" oc max (see plan for spacing)
 - K- HTSM20 (1175 up) Twist strap, block to truss
 - L- SP1 (555 up) Each stud to base plate
 - M- SP2 (1010 up) Each stud to double top plate
 - N- RSP4 (245 & 390 up) Studs to top and bottom plates
 - Q- LSTAB8 (1235 up) Flat strap at conc to wood bm or truss
 - P- (2) 2x10 ledger board with 5/8" dia AB at 24" oc max (see truss reference plan) - staggered, with PA123 (purlin anchors) at 48" oc max.
 - Q- MSTCM60 (3840 up) Stud to block at 32" oc.
 - R- AC4-max (2490 up) and LCE4 (1955 up) 4x4 post to beam above
 - S- ABU44Z post base (1900 up) (7570 dn) with 5/8" anchor with 3" hook embedded 10" min into concrete tie-bm below
 - T- CC46 post cap (24060 dn) @ 6x6 post
 - U- ECCLL end post cap (12030 dn) @ 6x6 post
 - V- HTT5 post or mult studs to concrete (4350 up)

Revisions	By

7/28/25
 11/12/24
 5
 SCALISE
 24-6961
 Job No

BOUNDARY SURVEY OF:
LOT 1, BLOCK 2 AS SHOWN ON THE PLAT OF ISLAND SHORES OF MELBOURNE BEACH
AS RECORDED IN PLAT BOOK 10, PAGE 52A OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.



HIBISCUS TRAIL

ASPHALT ROAD
(60' PUBLIC RIGHT-OF-WAY)

SET N&D
"ID LS5085"

S89°53'58"E 112.9'(P)
S89°53'58"E 112.97'(M)

FD 5/8" I.R.
"NO ID"

FD 3/4" I.P.
"NO ID"

LOT 2
BLOCK 2

N00°06'02"E 115.00'(P)
N00°06'50"E 114.88'(M)

1 STORY CBS RESIDENCE
200 SHANNON AVE
FINISH FLOOR=10.30
GARAGE FLOOR=9.88

PROPOSED
ADDITION

SHANNON AVE
ASPHALT ROAD
(60' PUBLIC RIGHT-OF-WAY)

SET N&D
"ID LS5085"

S05°41'52"E 115.60'(P)
N05°31'00"E 116.60'(M)

FD 5/8" I.R.
"NO ID"

N89°53'58"W 124.57'(P)
N89°49'25"W 124.31'(M)

SET N&D
"ID LS5085"
IN CONC.

LOT 15
BLOCK 2

LOT 16
BLOCK 2



NOTE
ELEVATIONS BASED ON NAVD88

PROFESSIONAL SURVEYOR & MAPPER IN RESPONSIBLE CHARGE
MYRON E. BARKER - FLORIDA CERTIFICATE NO. 5085
CERTIFICATE OF AUTHORIZATION LB. 6586

LEGEND

(AKA)	= ALSO KNOWN AS
BM	= BENCHMARK
CL	= CENTERLINE
CBS	= CONCRETE BLOCK STRUCTURE
CLF	= CHAIN LINK FENCE
CH	= CHORD
CM	= CONCRETE MONUMENT
CONC.	= CONCRETE
COR.	= CORNER
(D)	= DEEDED
DEL	= DELTA
FD	= FOUND
ID	= IDENTIFICATION
I.P.	= IRON PIPE
I.R.	= IRON ROD
L	= LENGTH
LB	= LICENSE BUSINESS
LS	= LICENSE SURVEYOR
(M)	= MEASURED
N&D	= NAIL & DISK
(P)	= PLATTED
PC	= POINT OF CURVATURE
PT	= POINT OF TANGENCY
PL	= PROPERTY LINE
P.S.M.	= PROFESSIONAL SURVEYOR & MAPPER
PRC	= POINT OF REVERSE CURVE
P.U.&D.	= PUBLIC UTILITY & DRAINAGE
R	= RADIUS
R/W	= RIGHT-OF-WAY
(TYP.)	= TYPICAL
WF	= WOOD FENCE

SURVEYOR'S NOTES:

- 1) THE BEARING SYSTEM SHOWN HEREON IS BASED ON A ASSUMED BEARING OF S.89°53'58"E., ALONG THE SOUTH RIGHT-OF-WAY LINE OF HIBISCUS TRAIL.
- 2) AS PER FLOOD INSURANCE RATE MAP NO.12009C 0604 H, INDEX DATED 01-29-2021, THE ABOVE DESCRIBED PROPERTY LIES IN ZONE X.
- 3) THIS SURVEY WAS PREPARED FROM TITLE INFORMATION PROVIDED TO THE SURVEYOR. THERE MAY BE ADDITIONAL RESTRICTIONS OR EASEMENTS THAT AFFECT THE PROPERTY.
- 4) UNDERGROUND UTILITIES AND FOUNDATIONS HAVE NOT BEEN SHOWN.
- 5) LANDS SHOWN HERON WERE NOT ABSTRACTED FOR RIGHT-OF-WAY, RESERVATION, AGREEMENT AND/OR EASEMENTS OF RECORD, SUCH INFORMATION IF DESIRED, SHOULD BE OBTAINED AND CONFIRMED BY OTHER THROUGH APPROPRIATE TITLE VERIFICATION.
- 6) NOT VALID WITHOUT A SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

TYPE OF SURVEY:
BOUNDARY SURVEY

PROJECT:
25-1866

SCALE: **1" = 20'**

DATE: **09/16/2025**

CAD FILE: **25-1866.DWG**

F.B. NUMBER: _____

REVISION:
09/22/25-ADDED SETBACKS

PRECISION
LAND SURVEYING, INC.

2900 LAKE WASHINGTON ROAD, SUITE 1
MELBOURNE, FLORIDA 32935
PHONE: 321-259-4600
EMAIL: PRECISIONSURVEYING1993@GMAIL.COM

CERTIFIED TO:
CONNER AND VICTORIA SCALISE